

**AGENDA
CITY COUNCIL
REGULAR MEETING
CITY OF WYOMING, MINNESOTA
JUNE 20, 2023
7:00 PM**

CALL TO ORDER:

CALL OF ROLL:

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM:

"An opportunity for members of the public to address the City Council on items on/or not on the current agenda. Items requiring Council action maybe deferred to staff or Boards and Commissions for research and future Council Agendas if appropriate. You will be limited to three (3) minutes and we ask that you conduct yourself in a professional, courteous manner, and refrain from the use of profanity. Failure to abide by this policy may result in the loss of your privilege to speak".

APPROVAL OF MINUTES:

1. Consider approving the minutes of the "Regular Meeting" of the Wyoming, Minnesota City Council for June 6, 2023
2. Consider approving the minutes of the "Budget Work Session Meeting" of the Wyoming, Minnesota City Council for June 7, 2023

SCHEDULED BID LETTINGS:

SCHEDULED PUBLIC HEARINGS:

CONSENT AGENDA:

Items under the "Consent Agenda" will be adopted with one motion; however, council members may request individual items to be pulled from the consent agenda for discussion and action if they choose.

3. Consider authorizing the payment of recommended bills, payroll and journal entries for the period of June 7, 2023 to June 20, 2023
4. To consider approving the 2023 City of Wyoming Insurance coverage renewal through the League of Minnesota Cities Insurance Trust for a total cost of \$111,230.00
5. To confirm, the City Council of The City of Wyoming Does Not Waive the monetary limits on

municipal tort liability established by Minnesota Statutes 466.04. When renewing Liability Insurance Coverage with LMCIT (League of Minnesota Cities Insurance Trust)

6. To consider the resignation of Austin Smith from the Wyoming Fire Department
7. To consider the resignation of Scott Boecker as Police Officer and begin the hiring process for a Police Officer
8. To consider the resignation of Austin Rademacher as Building Inspector and begin the hiring process for a Building Inspector
9. To consider **Resolution 23-06-62** approving payment for pay voucher #1 to Dresel Contracting. For the 2023 East Viking Boulevard Improvement Project (WSB Project 018553-000) In the amount of \$497,336.45.

ACKNOWLEDGE RECEIPT OF REPORTS OF OFFICERS, BOARDS, COMMISSIONS AND DEPARTMENT HEADS:

10. Report of the Public Safety Director, Neil Bauer, for June 16, 2023
11. Report of the City Attorney, Tom Loonan, for June 14, 2023
12. Report of City Engineer Mark Erichson, WSB for June 16, 2023
13. Report of the Acting Public Works Superintendent Joe Keding for June 20, 2023

COMMUNICATIONS:

OLD BUSINESS:

NEW BUSINESS:

14. To consider **Resolution 23-06-54** a resolution approving a variance from sections 40-255, (4), (a) & 40-296; to allow the construction of an office building nearer than the 150 foot setback from the Right-of-Way of Highway 8 at PIN 21.10712.10
15. To consider **Resolution 23-06-55** a resolution approving a variance from section 40-296; to allow the construction of a parking lot nearer than the 150 foot setback from the Right-of-Way of Highway 8 at PIN 21.10712.10
16. To consider **Resolution 23-06-56** a resolution approving a variance from section 40-296; to allow the construction of a free standing sign nearer than the 150 foot setback from the Right-of-Way of Highway 8 at PIN 21.10712.10
17. To consider **Resolution 23-06-57** a resolution approving a variance from section 40-451, (2) to allow the construction of an office building with more than 35% of class III building materials on the exterior of the structure at PIN 21.10712.10
18. To consider **Resolution 23-06-58** a resolution approving a site plan review application to construct an office with a showroom and storage space at PIN 21.10712.10

19. To consider **Resolution 23-06-59** a resolution denying a conditional use permit application at Property ID Numbers: 21.106050.00 & 21.10542.10.10
20. To consider **Resolution 23-06-60** a resolution approving plans and specifications and ordering advertisement for bids for the 2023 Fallbrook Avenue and 264th Street Improvement Project
21. To consider **Resolution 23-06-61** a resolution restricting parking on Fallbrook Avenue and 264th Street for the 2023 Fallbrook Avenue and 264th Street Improvement Project
22. To consider approving a job description for a part-time Project Coordinator for Age-Friendly work and authorize advertising the position
23. To consider a council work session to discuss the potential apartment project from Rueter Walton on June 27th at 5:30pm

COUNCIL REPORTS:

ADJOURN

**DRAFT MINUTES
CITY COUNCIL
REGULAR MEETING
CITY OF WYOMING, MINNESOTA
JUNE 6, 2023
7:00PM**

CALL TO ORDER:

Mayor Lisa Iverson called the Regular Meeting of the Wyoming City Council for June 6, 2023 to order at 7:00 PM

CALL OF ROLL:

On a Call of the Roll the following members of the Wyoming City Council were present: Councilmembers Lisa Iverson, Linda Nanko Yeager, Claire Luger, and Brett Ohnstad (participated remotely via electronic means from Breezy Point with appropriate notice)

ABSENT: Councilmember Dennis Schilling

Also Present: Tom Loonan, Eckberg Lammers, Robb Linwood, City Administrator, Alex Saxe, Assistant City Administrator, Mark Erichson-WSB, Neil Bauer - Public Safety Director, Fred Weck, Zoning Administrator/Building Official and Joe Keding, Acting Public Works Superintendent

Mayor Iverson – Noted that all votes for tonight’s meeting would take place via roll call.

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM:

John Bergum, 26345 Fenwick Avenue – Expressed concern about the new garbage hauler. He explained that they had tried to get Ace, but could not because they would have to back up all the way down which they felt was just ‘an accident waiting to happen’. He noted that when they had originally put in the dead end street he thought there had been discussion about putting in a round about on the end so trucks or buses could turn around which had not happened. He stated that the way it is now requires backing all the way down which he felt was very dangerous. He asked the City to consider doing something so trucks and large vehicles have an option to turn around and not have to back down the entire street.

City Engineer Erichson – Noted that they can take a look and see if there may be a simple solution to this issue.

APPROVAL OF MINUTES:

- 1. Consider approving the minutes of the “Regular Meeting” of the Wyoming, Minnesota City Council for May 16, 2023**

A MOTION WAS MADE BY COUNCILMEMBER LUGER, SECONDED BY COUNCILMEMBER OHNSTAD, TO APPROVE THE MINUTES OF THE “REGULAR MEETING” OF THE WYOMING, MINNESOTA CITY COUNCIL FOR MAY 16, 2023, AS SUBMITTED

Roll Call Vote:

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: Schilling

2. Consider approving the minutes of the “Work Session Meeting” of the Wyoming, Minnesota City Council for May 5, 2023

A MOTION WAS MADE BY COUNCILMEMBER LUGER, SECONDED BY COUNCILMEMBER OHNSTAD, TO APPROVE THE MINUTES OF THE “WORK SESSION MEETING” OF THE WYOMING, MINNESOTA CITY COUNCIL FOR MAY 5, 2023, AS SUBMITTED.

Roll Call Vote:

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: Schilling

3. Consider approving the minutes of the “Budget Work Session Meeting” of the Wyoming, Minnesota City Council for May 16, 2023

A MOTION WAS MADE BY COUNCILMEMBER LUGER, SECONDED BY COUNCILMEMBER IVERSON, TO APPROVE THE MINUTES OF THE “BUDGET WORK SESSION MEETING” OF THE WYOMING, MINNESOTA CITY COUNCIL FOR MAY 16, 2023 AS SUBMITTED.

Roll Call Vote:

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: Schilling

SCHEDULED BID LETTINGS: NONE

SCHEDULED PUBLIC HEARINGS:

4. To consider **Resolution 23-06-48** a resolution ordering the project and authorizing the preparation of plans and specifications for the 2023 Fallbrook Avenue and 264th Street Improvement

City Engineer Erichson – Gave an overview of the 2023 Fallbrook Avenue and 264th Street Improvement project.

A MOTION WAS MADE BY COUNCILMEMBER LUGER, SECONDED BY COUNCILMEMBER NANKO YEAGER TO OPEN THE PUBLIC HEARING FOR THE 2023 FALLBROOK AVENUE AND 264TH STREET IMPROVEMENT

Roll Call Vote:

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: Schilling

A MOTION WAS MADE BY COUNCILMEMBER LUGER, SECONDED BY COUNCILMEMBER OHNSTAD, TO CLOSE THE PUBLIC HEARING FOR THE 2023 FALLBROOK AVENUE AND 264TH STREET IMPROVEMENT

Roll Call Vote:

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: Schilling

A MOTION WAS MADE BY COUNCILMEMBER OHNSTAD, SECONDED BY COUNCILMEMBER LUGER, TO APPROVE RESOLUTION 23-06-48 A RESOLUTION ORDERING THE PROJECT AND AUTHORIZING THE PREPARATION OF PLANS AND SPECIFICATIONS FOR THE 2023 FALLBROOK AVENUE AND 264TH STREET IMPROVEMENT

Roll Call Vote:

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: Schilling

CONSENT AGENDA:

Items under the "Consent Agenda" will be adopted with one motion; however, council members may request individual items to be pulled from the consent agenda for discussion and action if they choose.

5. To consider authorizing the payment of recommended bills, payroll, and journal entries for the period of May 17, 2023 to June 6, 2023
6. To consider the application for a Temporary ON-SALE Liquor License from the Wyoming Fire Relief Association for September 16, 2023 located on East Viking Boulevard and Felton Avenue for Wyoming Stagecoach Celebration
7. To consider approving a Food Truck application from Scoops ice Cream and Candy
8. To consider approve Acting Public Works Superintendent, Joe Keding, for a City credit card per the credit card policy
9. To consider the resignation of Chris Kubai from the Wyoming Fire Department
10. To consider a Trail Easement Agreement between Premier Custom Homes and the City of Wyoming for public trail access to City park land
11. To consider **Resolution 23-06-49** a resolution accepting a donation from Widseth to the Railroad Park Project

A MOTION WAS MADE BY COUNCILMEMBER IVERSON, SECONDED BY COUNCILMEMBER LUGER, TO APPROVE #5, #6, #7, #8, #9, #10 and #11 OF THE WYOMING CITY COUNCIL CONSENT AGENDA

Roll Call Vote:

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: Schilling

ACKNOWLEDGE RECEIPT OF REPORTS OF OFFICERS, BOARDS, COMMISSIONS AND DEPARTMENT HEADS:

12. Report of the Public Safety Director, Neil Bauer for May 31, 2023
13. Report of City Building Official, Fred Weck, IV for May 31, 2023
14. Report of City Attorney Tom Loonan for June 2, 2023
15. Report of City Engineer Mark Erichson, WSB for June 2, 2023
16. Report of Acting Public Works Superintendent Joe Keding for June 6, 2023

COMMUNICATIONS: NONE

OLD BUSINESS: NONE

NEW BUSINESS

17. To consider approving the Eagle Scout Project construction of Little Free Libraries

Assistant City Administrator Saxe – Gave an overview of past discussion of a possible Eagle Scout project that included a Little Free Library. He noted that the Park Advisory Commission recommends approval.

Robert Pundt – Reviewed his proposal for construction of Little Free Libraries in Goodview Park and Lions Park as part of his Eagle Scout project.

Mayor Iverson – Asked about funding for this project.

Mr. Pundt – Explained that the books will be donated by friends/family and noted that he works at Menard's so he will be able to get a discount on materials. He stated that his father is an electrician and may also assist him in obtaining some of the necessary supplies.

A MOTION WAS MADE BY COUNCILMEMBER IVERSON, SECONDED BY COUNCILMEMBER LUGER, TO APPROVE THE EAGLE SCOUT PROJECT CONSTRUCTION OF LITTLE FREE LIBRARIES.

Roll Call Vote:

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: Schilling

18. To consider **Resolution 23-06-50** a resolution approving a Conditional Use Permit for Sight-In Days Structures: C-23-002
Location: 4648 240th Street
Applicant/Owner: Forest Lake Sportsman's Club, Rob Westberg
Property ID Number: 21.10632.00

Zoning Administrator/Building Official Weck – Gave an overview of the request from Forest Lake Sportsman's Club for their Sight-in structure to be construction in the same location as the current cabin. He noted that the Planning Commission held a public hearing and recommended approval of the request for a Conditional Use Permit subject to the three conditions, as noted in the staff report.

A MOTION WAS MADE BY COUNCILMEMBER OHNSTAD, SECONDED BY COUNCILMEMBER LUGER, TO APPROVE RESOLUTION 23-06-50 A RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR SIGHT-IN DAYS STRUCTURES: C-23-002; LOCATION: 4648 240TH STREET; APPLICANT/OWNER:FOREST LAKE SPORTSMAN'S CLUB, ROB WESTBERG;PROPERTY ID NUMBER: 21.10632.00

Roll Call Vote:

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: Schilling

19. To consider **Resolution 23-06-51** a resolution awarding Blackstone Contractors, LLC the site package contract for construction of the Veteran's Memorial at Railroad Park in the amount of \$63,109.75

20. To consider **Resolution 23-06-52** a resolution awarding Vinco the electrical contract for the Veteran's Memorial at Railroad Park in the amount of \$25,690.00

Assistant City Administrator Saxe – Gave an overview of the quotes received for the site construction and the electrical contract for work on the Veteran’s Memorial at Railroad Park. He noted that the Park Advisory Commission recommended approval.

Council Member Nanko Yeager – Asked if these expenses would be coming totally out of donations.

Assistant City Administrator Saxe – Explained that the entire Railroad Park project is donation based.

Council Member Nanko Yeager – Expressed concerns about how the rest of the park will look after the Memorial is built and questioned whether there may be difficulty accessing the park.

City Administrator Linwood – Noted that the Council had approved the Master Plan for the park a few years ago, but noted that it would be done in stages. He noted that the City has received a grant from the State for \$100,000 so they are hopeful that they will be able to start the next phase this year.

Assistant City Administrator Saxe – Noted that he had lost the connection with Council Member Ohnstad.

City Attorney Loonan – Noted that the Council had a quorum without Council Member Ohnstad, so they could go ahead and vote with those who are present.

A MOTION WAS MADE BY COUNCILMEMBER LUGER, SECONDED BY COUNCILMEMBER NANKO YEAGER, TO APPROVE RESOLUTION 23-06-51 A RESOLUTION AWARDDING BLACKSTONE CONTRACTORS, LLC THE SITE PACKAGE CONTRACT FOR CONSTRUCTION OF THE VETERAN’S MEMORIAL AT RAILROAD PARK IN THE AMOUNT OF \$63,109.75

Roll Call Vote:
Voting Aye: Nanko Yeager, Luger, Iverson
Voting Nay: None
Abstain: None
Absent: Schilling and Ohnstad

A MOTION WAS MADE BY COUNCILMEMBER IVERSON, SECONDED BY COUNCILMEMBER LUGER, TO APPROVE RESOLUTION 23-06-52 A RESOLUTION AWARDDING VINCO THE ELECTRICAL CONTRACT FOR THE VETERAN’S MEMORIAL AT RAILROAD PARK IN THE AMOUNT OF \$25,690.00

Roll Call Vote:
Voting Aye: Nanko Yeager, Luger, Iverson
Voting Nay: None
Abstain: None
Absent: Schilling and Ohnstad

Mayor Iverson – Stated that she would like to acknowledge donations for the Veteran’s Memorial at Railroad Park.

Assistant City Administrator Saxe – Read aloud a list if those individuals and entities who had made donations towards the Veteran’s Memorial. He noted that, to date, 107 people have purchased bricks and noted that once they break ground another local business has pledged an additional donation.

21. To consider Resolution 23-06-53 a resolution of support for the Minnesota Management and Budget Capital Project Application for the City of Wyoming Public Safety Building

City Administrator Linwood – Gave an overview of the possible funding source through the Minnesota Management and Budget capital Project and the need for a resolution of support.

A MOTION WAS MADE BY COUNCILMEMBER IVERSON, SECONDED BY COUNCILMEMBER LUGER, TO APPROVE RESOLUTION 23-06-53 A RESOLUTION OF SUPPORT FOR THE MINNESOTA MANAGEMENT AND BUDGET CAPITAL PROJECT APPLICATION FOR THE CITY OF WYOMING PUBLIC SAFETY BUILDING

Roll Call Vote:

Voting Aye: Nanko Yeager, Luger, Iverson

Voting Nay: None

Abstain: None

Absent: Schilling and Ohnstad

22. To consider the resignation of Assistant City Administrator Alex Saxe and to authorize for Assistant City Administrator position

City Administrator Linwood – Explained that Assistant City Administrator Saxe's last day with the City will be June 26, 2023. He gave a brief overview of the job description and duties for the Assistant City Administrator position and expressed his appreciation for the work that Assistant City Administrator Saxe has done with the City and noted that he would be missed.

Assistant City Administrator Saxe – Noted that he has able to reconnect on-line with Council Member Ohnstad.

A MOTION WAS MADE BY COUNCILMEMBER IVERSON, SECONDED BY COUNCILMEMBER LUGER, TO APPROVE THE RESIGNATION OF ASSISTANT CITY ADMINISTRATOR ALEX SAXE AND TO AUTHORIZE FOR ASSISTANT CITY ADMINISTRATOR POSITION

Roll Call Vote:

Voting Aye: Nanko Yeager, Luger, Ohnstad

Voting Nay: Iverson

Abstain: None

Absent: Schilling

COUNCIL REPORTS:

Council Member Ohnstad – Attended the Park Advisory Commission meeting.

Council Member Nanko Yeager – No report.

Council Member Luger – Attended the Sewer Commission meeting

Mayor Iverson – Noted that she was not able to attend the Bike Rodeo or the Touch-A-Truck event, but believes they went very well. She stated that she attended the Sewer Commission and the Park Advisory Commission meeting, as a resident.

Mayor Iverson recessed the meeting at 7:49 p.m. and reconvened at 7:56 p.m.

23. To consider the Wyoming City Council entering a closed session under MN Statute 13D.03 to discuss labor negotiation strategies for a contract with the bargaining unit of Law Enforcement Labor Services and Local 49ers

A MOTION WAS MADE BY COUNCILMEMBER LUGER SECONDED BY COUNCILMEMBER OHNSTAD TO ENTER THE CLOSED SESSION AT 7:57

Roll Call Vote:
Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson
Voting Nay: None
Abstain: None
Absent: Schilling

A MOTION WAS MADE BY COUNCILMEMBER LUGER SECONDED BY COUNCILMEMBER OHNSTAD TO ENTER INTO CLOSED SESSION UNDER MN STATE STATUTE 13.D.03 TO DISCUSS LABOR NEGOTIATION STRATEGIES FOR A CONTRACT WITH THE BARGAINING UNIT OF LAW ENFORCEMENT LABOR AND LOCAL 49ERS AT 7:57PM

Roll Call Vote:
Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson
Voting Nay: None
Abstain: None
Absent: Schilling

A MOTION WAS MADE BY COUNCILMEMBER IVERSON SECONDED BY COUNCILMEMBER LUGER TO RETURN TO OPEN SESSION UNDER MN STATE STATUTE 13D.03 TO DISCUSS LABOR NEGOTIATION STRATEGIES FOR A CONTRACT WITH THE BARGAINING UNIT OF LAW ENFORCEMENT LABOR SERVICES AND LOCAL 49ERS AT 8:02PM

Roll Call Vote:
Voting Aye: Luger, Nanko Yeager, Ohnstad, Iverson
Voting Nay: None
Abstain: None
Absent: Schilling

Summation of the closed session

The closed meeting was relative to the matters for bargaining purposes and contract negotiations between the City of Wyoming and bargaining unit of Law Enforcement Labor Services and Local 49ers. The meeting was closed under MN State Statute 13D.03. The closed meeting was attended by Mayor Lisa Iverson and City Council Members Linda Nanko Yeager, Claire Luger and Brett Ohnstad. Also, in attendance was City Administrator- Robb Linwood, Assistant City Administrator- Alex Saxe, and City Attorney, Tom Loonan. The council reviewed the current contract from the bargaining units. The city council provided advice and direction to legal and city staff but made no formal votes.

A MOTION WAS MADE BY COUNCILMEMBER LUGER SECONDED BY COUNCILMEMBER ONHSTAD TO APPROVE A MEMORANDUM OF UNDERSTANDING (MOU) BETWEEN THE CITY OF WYOMING AND IUOE LOCAL 49ERS

Roll Call Vote:
Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson
Voting Nay: None
Abstain: None
Absent: Schilling

A MOTION WAS MADE BY COUNCILMEMBER LUGER SECONDED BY COUNCILMEMBER ONHSTAD TO APPROVE A MEMORANDUM OF UNDERSTANDING (MOU) BETWEEN THE CITY OF WYOMING AND LAW ENFORCEMENT LABOR SERVICES (LELS) LOCAL 507

Roll Call Vote:

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: Schilling

A MOTION WAS MADE BY COUNCILMEMBER IVERSON SECONDED BY COUNCILMEMBER LUGER TO APPROVE A MEMORANDUM OF UNDERSTANDING (MOU) BETWEEN THE CITY OF WYOMING AND LAW ENFORCEMENT LABOR SERVICES (LELS) LOCAL 365

Roll Call Vote:

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: Schilling

A MOTION WAS MADE BY COUNCILMEMBER IVERSON SECONDED BY COUNCILMEMBER LUGER TO APPROVE AN UPDATE TO THE WYOMING PERSONNEL POLICY UNDER SECTION 9.04 HOLIDAYS TO ADD JUNETEENTH AS A PAID HOLIDAY

Roll Call Vote:

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: Schilling

A MOTION WAS MADE BY COUNCILMEMBER IVERSON SECONDED BY COUNCILMEMBER LUGER TO ADJOURN THE JUNE 6, 2023 “REGULAR MEETING” OF THE WYOMING, MINNESOTA CITY COUNCIL REGULAR MEETING AT 8:04PM

A portion of this public meeting may be closed to discuss “Labor Negotiation Strategies”; “Misconduct allegations or charges”; “Attorney-client privilege”; or “Performance evaluations” as per MN State Statute 13D.01-.05.

NEXT REGULAR MEETING:
JUNE 20, 2023
7:00PM

**DRAFT MINUTES
CITY COUNCIL
BUDGET WORK SESSION MEETING
CITY OF WYOMING, MINNESOTA
JUNE 7, 2023
6:00 PM**

CALL TO ORDER:

Mayor Lisa Iverson called the Budget Work Session Meeting of the Wyoming City Council for June 7, 2023 to order at 6:00 P.M.

CALL OF ROLL:

On a Call of the Roll the following members of the Wyoming City Council were present: Councilmembers Lisa Iverson, Linda Nanko Yeager, Claire Luger and Brett Ohnstad (participated remotely via electronic means from Breezy Point with appropriate notice)

Absent: Councilmember Dennis Schilling

Also Present: Robb Linwood- City Administrator, Neil Bauer - Public Safety Director, Fred Weck-Building Official/Zoning Administrator, Joe Keding- Acting Public Works Superintendent and Jessi Sturtz- Abdo Financial

DETERMINATION OF A QUORUM:

Mayor Iverson determined a Quorum was present.

PLEDEGE OF ALLEGIANCE:

NEW BUSINESS:

1. 2024 Budget Considerations and Discussion

City Administrator Linwood- Gave an overview of the budget calendar for 2023 and the factors for the Council to consider that may influence the 2024 budget and Council priorities. Mr. Linwood discussed that the Council just had their retreat a few weeks ago and that a summation of the goals and priorities are included in the packet from the retreat. Tonight, Department Heads will present on preliminary factors and considerations for their 2024 budgets.

City Administrator Linwood- Provided information and updates on the Administration Department budget. He highlighted items that will see budget increases: elections, software upgrades and contracted services. He provided the council with an updated CIP for Council to review and noted Administration has no items in the CIP this year.

Acting Public Works Superintendent Keding- Provided an updated on the Public Works budget. He noted equipment costs are going up. He talked about pavement conditions this year and how year to date Public Works has put down 500 tons plus the 100 ton they contracted out. This year's asphalt budget is already gone as we approach the summer

and he expects to go over budget and they will ask for an increase. Public Works is also right at budget for salt and with an early winter, will most likely go over budget. He brought up fuel and electrical costs as those continue to go up.

Public Safety Director Bauer- Provided an overview of the Police Department budget. He talked about technology upgrades that are needed for the network at the police department, they will be asking for a part time CSO position, creating additional recruiting and retention efforts and they will explore implementing a wellness program. The addition of a wellness program and incentive pay will be discussed more during union negotiations.

The council had discussions on mental health benefits and why it would be beneficial to offer additional resources beyond what is offered through the city's insurance.

Public Safety Director Bauer- Covered CIP items. They will be requesting a new UTV along with a new squad. They are exploring in-car camera systems to work with body worn cameras with data being stored by Axon. He covered some items for the Fire Department. Lifting airbags need replacing. Tires need to be replaced on Engine 3.

Public Safety Director Bauer- Presented info on staffing needs using comparable cities. The info showed that in the future, Wyoming will need additional officers to effectively serve the community. In the near future, he would like to explore a CSO position and an Administrative Sergeant position.

Building Official/Zoning Administrator Weck- Provided an update on the Building Department. Explained that in the CIP it is noted to replace the Inspector vehicle which is well over 100,000 miles. Staff is exploring a new vehicle, possibly a Ford Maverick which is a small pickup truck with good gas mileage.

MAYOR IVERSON ADJOURNED THE JUNE 7, 2023 BUDGET WORK SESSION MEETING AT 7:18 PM.

For Check Dates 06/06/2023 to 06/06/2023

Check Number	Name	Check Date
Text Label	54913 PACIFIC LIFE INSURANCE	06/06/2023
Item Code	GL Number	Amount
ROTH	101-0000-21712	250.00
		<u>250.00</u>
Text Label	54914 LAW ENFORCEMENT LABOR	06/06/2023
Item Code	GL Number	Amount
UNION POLICE	101-0000-21713	540.00
		<u>540.00</u>
Text Label	54915 CENTRAL PENSION FUND,	06/06/2023
Item Code	GL Number	Amount
CENT PENS FUND	101-0000-21716	480.00
		<u>480.00</u>
Text Label	54916 WI SCTF,	06/06/2023
Item Code	GL Number	Amount
WI CHILD SUPPOR	101-0000-21710	215.42
		<u>215.42</u>
Text Label	EFT997 SELECTACCOUNT,	06/06/2023
Item Code	GL Number	Amount
DEP CARE	101-0000-21711	0.00
FSA CONT	101-0000-21711	0.00
HSA CITY CONT	101-0000-21707	0.00
HSA CONT	101-0000-21707	1,841.16
		<u>1,841.16</u>
Text Label	EFT998 P.E.R.A.,	06/06/2023
Item Code	GL Number	Amount
CORD PERA	101-0000-21704	2,937.27
DCP PERA	101-0000-21704	0.00
DCP PERA MATCH	101-0000-21704	0.00
PERA CITY MATCH	101-0000-21704	3,389.16
PF PERA	101-0000-21704	3,962.05
PF PERA CITY	101-0000-21704	5,943.08
		<u>16,231.56</u>
Text Label	EFT999 INTERNAL REVENUE SERVICE,	06/06/2023

For Check Dates 06/06/2023 to 06/06/2023

Check Number Name

Check Date

Item Code	GL Number	Amount
FITW	101-0000-21701	7,237.69
SOCSEC_EE	101-0000-21703	2,751.64
MEDICARE_ER	101-0000-21703	1,097.58
SOCSEC_ER	101-0000-21703	2,751.64
MEDICARE_EE	101-0000-21703	1,097.58
		14,936.13

Text Label EFT1000 STATE OF MINNESOTA,

06/06/2023

Item Code	GL Number	Amount
SITW	101-0000-21702	3,315.92
		3,315.92

Text Label

General Checking Account 10100
Total Amount Being Paid: \$37,810.19
Total Number of Checks: 8

 Mayor Iverson

 Councilmember Luger

 Councilmember Nanko Yeager

 Councilmember Schilling

 Councilmember Ohnstad

City of Wyoming Check Detail Register

1/10
June 16, 2023 08:42 AM
User: ssaxe
DR: Wyoming

06-20-2023

Check # Invoice #	Check Date	Vendor Name		
	General Ledger #	Amount	Comment	
54918	06/20/2023	ABDO FINANCIAL SOLUTIONS, LLC		
472456	101-1500-43000	PROFESSIONAL SE	\$4,583.33	PROFESSIONAL SERVICE (GENERAL)
Total for ABDO FINANCIAL SOLUTIONS, LLC			<u>\$4,583.33</u>	
54919	06/20/2023	ADAM'S PEST CONTROL INC		
3668729	101-2110-42310	CONTRACTED SER	\$47.25	CONTRACTED SERVICES
3668728	101-3100-42310	CONTRACTED SER	\$71.94	CONTRACTED SERVICES
3668727	101-3100-42310	CONTRACTED SER	\$47.25	CONTRACTED SERVICES
Total for ADAM'S PEST CONTROL INC			<u>\$166.44</u>	
54920	06/20/2023	ALL SAFE		
207202	101-2110-42300	SAFETY EQUIPME	\$139.88	SAFETY EQUIPMENT
207205	101-3100-42310	CONTRACTED SER	\$575.11	CONTRACTED SERVICES
207203	101-2110-42300	SAFETY EQUIPME	\$655.56	SAFETY EQUIPMENT
Total for ALL SAFE			<u>\$1,370.55</u>	
54921	06/20/2023	APPLEWOOD NURSERY		
5128	101-3100-42250	LANDSCAPING MA	\$208.66	LANDSCAPING MATERIALS
5129	101-3100-42250	LANDSCAPING MA	\$16.31	LANDSCAPING MATERIALS
5130	101-3100-42250	LANDSCAPING MA	\$195.66	LANDSCAPING MATERIALS
5133	101-3100-42250	LANDSCAPING MA	\$65.22	LANDSCAPING MATERIALS
5134	101-3100-42250	LANDSCAPING MA	\$65.22	LANDSCAPING MATERIALS
5135	101-3100-42250	LANDSCAPING MA	\$208.66	LANDSCAPING MATERIALS
Total for APPLEWOOD NURSERY			<u>\$759.73</u>	
54922	06/20/2023	AT & T MOBILITY		
6032023	101-2110-43200	COMMUNICATIONS	\$1,136.63	COMMUNICATIONS (GENERAL)
	101-2200-43200	COMMUNICATIONS	\$271.71	COMMUNICATIONS (GENERAL)
Total for AT & T MOBILITY			<u>\$1,408.34</u>	
54923	06/20/2023	BITUMINOUS ROADWAYS, INC		
32621	101-3100-44410	STREET MAINT MA	\$8,690.78	STREET MAINT MATERIALS
Total for BITUMINOUS ROADWAYS, INC			<u>\$8,690.78</u>	

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54924	06/20/2023	CHISAGO COUNTY PRESS, INC		
05312023				
	800-0000-20810	VANG ESCROW	\$51.24	VANG ESCROW
	800-0000-20811	FOREST LAKE SPO	\$44.35	FOREST LAKE SPORTSMENS CLUB
	601-9425-43510	LEGAL NOTICE PUI	\$35.24	LEGAL NOTICE PUBLICATION
	408-3100-43510	LEGAL NOTICE PUI	\$84.42	LEGAL NOTICE PUBLICATION
		Total for CHISAGO COUNTY PRESS, IN	\$215.25	
54925	06/20/2023	CINTAS		
4158038318				
	101-2110-43600	CLEANING SERVIC	\$28.51	CLEANING SERVICE-PUBLIC SAFETY
4158029382				
	101-1400-43600	CLEANING SERVIC	\$31.05	CLEANING SERVICE-CITY HALL
4158029411				
	101-3100-44180	UNIFORMS	\$65.28	STREETS
	101-3100-42100	OPERATING SUPPL	\$48.00	SHOP SUPPLIES
4157460365				
	101-3100-44180	UNIFORMS	\$67.48	STREETS
	101-3100-42100	OPERATING SUPPL	\$33.55	SHOP SUPPLIES
		Total for CINTAS	\$273.87	
54926	06/20/2023	CONNEXUS ENERGY		
05302023				
	101-3100-43800	UTILITIES-GAS/ELI	\$34.07	LAKE DR & HEATH - ST LIGHTS
	101-2110-43800	UTILITIES-GAS/ELI	\$5.25	HAMLET DR
	101-2110-43800	UTILITIES-GAS/ELI	\$5.25	FALLBROOK SIREN
	101-3100-43860	STREET LIGHTS	\$19.74	250TH STREET NE SIGN
	101-2110-43800	UTILITIES-GAS/ELI	\$5.25	PIONEER RD
		Total for CONNEXUS ENERGY	\$69.56	
54927	06/20/2023	ECKBERG LAMMERS P.C.		
35316				
	101-1400-43040	ATTORNEY FEES	\$280.00	GENERAL
	101-1400-43040	ATTORNEY FEES	\$520.00	MEETINGS
	101-1400-43040	ATTORNEY FEES	\$936.25	GENERAL EMPLOYMENT
	800-0000-20594	COMFORT LAKE O	\$350.00	COMFORT LAKE OVERLOOK ESCROW
	800-0000-20496	HEIMS LAKE VILLA	\$70.00	HEIMS LAKE VILLAS
	101-1400-43040	ATTORNEY FEES	\$210.00	ATTORNEY FEES
	101-2110-43040	ATTORNEY FEES	\$323.75	GENERAL EMPLOYMENT
	101-2200-43040	ATTORNEY FEES	\$402.50	GENERAL EMPLOYMENT
		Total for ECKBERG LAMMERS P.C.	\$3,092.50	
54928	06/20/2023	FERGUSON WATERWORKS		
0512228				
	601-9425-42400	SMALL TOOLS/MIN	\$427.40	SMALL TOOLS/MINOR EQUIPMENT
0513050				
	601-9425-44040	REPAIRS & MAINT.	\$844.46	REPAIRS & MAINT. - EQUIPMENT
		Total for FERGUSON WATERWORKS	\$1,271.86	

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Check # Invoice #	Check Date	Vendor Name	General Ledger #	Amount	Comment
54929	06/20/2023	FOREST LAKE CONTRACTING			
6787			101-3100-43860	STREET LIGHTS \$2,662.88	STREET LIGHTS
6792			101-3100-43860	STREET LIGHTS \$316.27	STREET LIGHTS
Total for FOREST LAKE CONTRACTING				\$2,979.15	
54930	06/20/2023	GOPHER STATE ONE CALL			
3050859			601-9425-44650	LOCATES (GOPHEF) \$72.90	LOCATES (GOPHER STATE)
			602-9425-44650	LOCATES (GOPHEF) \$72.90	LOCATES (GOPHER STATE)
			651-9425-44650	LOCATES (GOPHEF) \$72.90	LOCATES (GOPHER STATE)
Total for GOPHER STATE ONE CALL				\$218.70	
54931	06/20/2023	H & W FUND I.U.O.E LOCAL 49			
06152023			101-0000-21706	HOSPITALIZATION \$8,520.00	PREMIUMS
Total for H & W FUND I.U.O.E LOCAL 4				\$8,520.00	
54932	06/20/2023	HEALTH PARTNERS			
036081116893			101-0000-21706	HOSPITALIZATION \$1,855.28	HOSPITALIZATION/MEDICAL INS
Total for HEALTH PARTNERS				\$1,855.28	
54933	06/20/2023	HOLIDAY COMPANIES			
060101062300			101-2110-43900	VEHICLE MAINTEN \$121.50	VEHICLE MAINTENANCE
			101-2200-43900	VEHICLE MAINTEN \$18.00	VEHICLE MAINTENANCE
Total for HOLIDAY COMPANIES				\$139.50	
54934	06/20/2023	INNOVATIVE OFFICE SOLUTIONS			
IN4227226			101-1400-42000	SUPPLIES - OFFICE \$100.10	SUPPLIES - OFFICE/COPY/COMPUTR
			101-3100-42000	SUPPLIES - OFFICE \$609.49	SUPPLIES - OFFICE/COPY/COMPUTR
Total for INNOVATIVE OFFICE SOLUTI				\$709.59	
54935	06/20/2023	IUOE LOCAL #49			
06052023			101-0000-21714	PW UNION DUES \$210.00	MONTHLY DUES
Total for IUOE LOCAL #49				\$210.00	
54936	06/20/2023	LEAGUE OF MN CITIES INS TRUST			
06052023			101-1400-43630	GENERAL LIABILIT \$4,285.55	GENERAL LIABILITY INSURANCE
			101-2110-43630	GENERAL LIABILIT \$42,067.48	GENERAL LIABILITY INSURANCE
			101-2400-43630	GENERAL LIABILIT \$4,350.32	GENERAL LIABILITY INSURANCE
			101-3100-43630	GENERAL LIABILIT \$18,200.10	GENERAL LIABILITY INSURANCE
			101-5200-43630	GENERAL LIABILIT \$6,919.49	GENERAL LIABILITY INSURANCE
			601-9425-43630	GENERAL LIABILIT \$13,979.31	GENERAL LIABILITY INSURANCE
			602-9425-43630	GENERAL LIABILIT \$21,427.75	GENERAL LIABILITY INSURANCE
Total for LEAGUE OF MN CITIES INS TI				\$111,230.00	

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54937	06/20/2023	LRS PORTABLES, LLC				
MP225498			101-5200-42310	CONTRACTED SER	\$100.00	CONTRACTED SERVICES
MP225082			101-5200-44050	SATALLITE RENTAL	\$1,020.00	SATALLITE RENTAL
Total for LRS PORTABLES, LLC					\$1,120.00	
54938	06/20/2023	MC TOOL & SAFETY SALES				
016569			101-3100-42100	OPERATING SUPPL	\$143.08	OPERATING SUPPLIES
Total for MC TOOL & SAFETY SALES					\$143.08	
54939	06/20/2023	MENARDS- FOREST LAKE				
9985			101-5200-42100	OPERATING SUPPL	\$47.14	OPERATING SUPPLIES
Total for MENARDS- FOREST LAKE					\$47.14	
54940	06/20/2023	MIDCONTINENT COMMUNICATIONS				
14463230113387			101-1400-43210	TELEPHONE	\$110.06	CITY HALL
			101-1400-42310	CONTRACTED SER	\$900.64	FIBER
			101-2110-43210	TELEPHONE	\$406.19	POLICE DEPT
			101-3100-43210	TELEPHONE	\$69.13	PUBLIC WORKS
			601-9425-43210	TELEPHONE	\$191.93	WELL
			602-9425-43210	TELEPHONE	\$143.96	LIFTSTATIONS
Total for MIDCONTINENT COMMUNIC/					\$1,821.91	
54941	06/20/2023	MIDWEST COMPLIANCE INC				
55298			101-3100-43060	PERSONNEL TESTI	\$42.00	PERSONNEL TESTING
Total for MIDWEST COMPLIANCE INC					\$42.00	
54942	06/20/2023	MINNESOTA RURAL WATER ASSOC.				
2023-24			601-9425-44330	DUES & SUBSCRIP	\$200.00	DUES & SUBSCRIPTIONS
			602-9425-44330	DUES & SUBSCRIP	\$200.00	DUES & SUBSCRIPTIONS
Total for MINNESOTA RURAL WATER A					\$400.00	
54943	06/20/2023	NAPA AUTO PARTS				
156201			101-5200-44040	REPAIRS & MAINT.	\$360.98	REPAIRS & MAINT. - EQUIPMENT
155910			101-2200-43900	VEHICLE MAINTEN	\$68.94	VEHICLE MAINTENANCE
158240			602-9425-44040	REPAIRS & MAINT.	\$28.46	REPAIRS & MAINT. - EQUIPMENT
Total for NAPA AUTO PARTS					\$458.38	
54944	06/20/2023	POSTMASTER				
06302023			101-1400-43220	POSTAGE	\$146.00	POSTAGE
Total for POSTMASTER					\$146.00	

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54945	06/20/2023	RAPIT PRINTING INC			
400940			280-1000-43000	PROFESSIONAL SE \$349.31	PROFESSIONAL SERVICE (GENERAL)
400946			101-1400-44180	UNIFORMS \$220.32	UNIFORMS
Total for RAPIT PRINTING INC				\$569.63	
54946	06/20/2023	REINDERS, INC.			
3095973-00			101-5200-42400	SMALL TOOLS/MIN \$469.12	SMALL TOOLS/MINOR EQUIPMENT
Total for REINDERS, INC.				\$469.12	
54947	06/20/2023	RICOH BUSINESS SYSTEMS			
107276654			101-1400-42150	COPIER \$50.21	CITY HALL
			101-2110-42240	MAINTENANCE CO \$50.00	POLICE DEPT
107292856			101-1400-42150	COPIER \$144.05	CITY HALL
			101-2110-42240	MAINTENANCE CO \$77.19	POLICE DEPT
			101-2110-42240	MAINTENANCE CO \$20.71	FIRE DEPT
Total for RICOH BUSINESS SYSTEMS				\$342.16	
54948	06/20/2023	RICOH USA			
5067415306			101-2110-42240	MAINTENANCE CO \$63.64	POLICE DEPT
			101-2110-42240	MAINTENANCE CO \$1.90	FIRE DEPT
			101-1400-42150	COPIER \$145.22	CITY HALL
Total for RICOH USA				\$210.76	
54949	06/20/2023	RUFFRIDGE JOHNSON EQUIPMENT CO, INC			
IA24878			101-3100-42400	SMALL TOOLS/MIN \$217.90	SMALL TOOLS/MINOR EQUIPMENT
Total for RUFFRIDGE JOHNSON EQUIP				\$217.90	
54950	06/20/2023	SARA A. PETERSON			
2023-08			101-1400-43000	PROFESSIONAL SE \$5,035.00	PROFESSIONAL SERVICE (GENERAL)
Total for SARA A. PETERSON				\$5,035.00	
54951	06/20/2023	SEMLER CONSTRUCTION INC			
06/07/2023			601-0000-11500	ACCOUNTS RECEIV \$47.63	Water Usage
			601-0000-11500	ACCOUNTS RECEIV \$32.09	Water - Meter Charge
			651-0000-11500	ACCOUNTS RECEIV \$7.19	Surface Water Mgmt
			602-0000-11500	ACCOUNTS RECEIV \$6.81	Sewer Usage
			601-0000-11500	ACCOUNTS RECEIV \$1.87	State Surcharge
Total for SEMLER CONSTRUCTION INC				\$95.59	

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Check # Invoice #	Check Date	Vendor Name		
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54952	06/20/2023	STEVE & HEATHER BATCHELDER		
06/12/2023				
	602-0000-11500	ACCOUNTS RECEIV	\$31.28	Sewer Usage
	601-0000-11500	ACCOUNTS RECEIV	\$21.92	Water - Meter Charge
	601-0000-11500	ACCOUNTS RECEIV	\$8.03	Water Usage
	651-0000-11500	ACCOUNTS RECEIV	\$4.92	Surface Water Mgmt
	601-0000-11500	ACCOUNTS RECEIV	\$1.28	State Surcharge
Total for STEVE & HEATHER BATCHELDER			\$67.43	
54953	06/20/2023	THEODORE VADNAIS		
06/13/2023				
	602-0000-11500	ACCOUNTS RECEIV	\$347.43	Sewer Usage
	601-0000-11500	ACCOUNTS RECEIV	\$121.27	Water - Meter Charge
	601-0000-11500	ACCOUNTS RECEIV	\$89.35	Water Usage
	651-0000-11500	ACCOUNTS RECEIV	\$27.19	Surface Water Mgmt
	601-0000-11500	ACCOUNTS RECEIV	\$7.07	State Surcharge
Total for THEODORE VADNAIS			\$592.31	
54954	06/20/2023	THOMSON REUTERS-WEST PUBLISH		
848412292				
	101-2110-44360	INVESTIGATIONS	\$169.26	INVESTIGATIVE SUITE
Total for THOMSON REUTERS-WEST PI			\$169.26	
54955	06/20/2023	TIMESAVER OFF SITE SECRETARIAL		
M28291				
	101-1400-42310	CONTRACTED SER	\$426.00	PLANNING COMMISSION MEETING
	101-1400-42310	CONTRACTED SER	\$159.00	CITY COUNCIL MEETING
Total for TIMESAVER OFF SITE SECRE1			\$585.00	
54956	06/20/2023	TOTAL CONTROL SYSTEMS		
10726				
	101-5200-42310	CONTRACTED SER	\$315.50	CONTRACTED SERVICES
Total for TOTAL CONTROL SYSTEMS			\$315.50	
54957	06/20/2023	TOWN & COUNTRY DISPOSAL		
06012023				
	101-5200-43840	REFUSE	\$10.00	REFUSE
DS000008080				
	101-5200-43840	REFUSE	\$140.00	930 WYOMING CITY GARAGE
Total for TOWN & COUNTRY DISPOSAL			\$150.00	

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54958	06/20/2023	UNUM LIFE INSURANCE				
07012023			101-1400-41310	LIFE INSURANCE	\$185.86	ADMIN
			101-2110-41310	LIFE INSURANCE	\$731.06	POLICE
			101-1910-41310	LIFE INSURANCE	\$67.19	PLAN & ZONE
			101-2400-41310	LIFE INSURANCE	\$143.19	BLDG
			101-3100-41310	LIFE INSURANCE	\$284.38	STREETS
			601-9425-41310	LIFE INSURANCE	\$144.71	WATER
			602-9425-41310	LIFE INSURANCE	\$144.71	SEWER
			101-1400-41220	FICA	\$447.14	UNUM-ALMHJELD
070123			101-0000-21715	VOLUNTARY TERM	\$364.71	VOLUNTARY TERM LIFE
Total for UNUM LIFE INSURANCE					<u>\$2,512.95</u>	
54959	06/20/2023	US BANK EQUIPMENT FINANCE				
503454548			101-2400-44330	DUES & SUBSCRIP	\$146.00	DUES & SUBSCRIPTIONS
Total for US BANK EQUIPMENT FINANCE					<u>\$146.00</u>	
54960	06/20/2023	VC3, INC.				
CW79817			101-2110-45800	OTHER EQUIPMEN	\$803.56	OTHER EQUIPMENT
Total for VC3, INC.					<u>\$803.56</u>	
54961	06/20/2023	VC3, INC.				
113014			101-1400-42090	NETWORK MUNICI	\$3,433.75	NETWORK MUNICIPAL COMPUTERS
INV00077194			101-1400-42090	NETWORK MUNICI	\$3,083.00	NETWORK MUNICIPAL COMPUTERS
Total for VC3, INC.					<u>\$6,516.75</u>	
54962	06/20/2023	VERIZON				
9935882715			602-9425-43210	TELEPHONE	\$245.96	TELEPHONE
			601-9425-43210	TELEPHONE	\$245.96	TELEPHONE
			101-1400-43210	TELEPHONE	\$82.64	TELEPHONE
			101-2400-43210	TELEPHONE	\$82.63	TELEPHONE
Total for VERIZON					<u>\$657.19</u>	
54963	06/20/2023	VICTORY AUTOMOTIVE SERVICE				
816658			101-2110-43900	VEHICLE MAINTEN	\$91.48	VEHICLE MAINTENANCE
816702			101-2110-43900	VEHICLE MAINTEN	\$46.94	VEHICLE MAINTENANCE
816771			101-2110-43900	VEHICLE MAINTEN	\$78.86	VEHICLE MAINTENANCE
816849			101-2110-43900	VEHICLE MAINTEN	\$78.86	VEHICLE MAINTENANCE
816851			101-2110-43900	VEHICLE MAINTEN	\$45.85	VEHICLE MAINTENANCE
Total for VICTORY AUTOMOTIVE SERVICE					<u>\$341.99</u>	

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54964	06/20/2023	VISA			
20230427	101-2110-42100	OPERATING SUPPL		\$41.75	OPERATING SUPPLIES
1532	101-2110-43000	PROFESSIONAL SE		\$650.00	PROFESSIONAL SERVICE (GENERAL)
2217	101-2110-44350	WELLNESS		\$480.00	WELLNESS
3712379	101-2110-42100	OPERATING SUPPL		\$390.47	OPERATING SUPPLIES
VP GPC5W54G	101-2110-42100	OPERATING SUPPL		\$60.23	OPERATING SUPPLIES
	101-2200-42100	OPERATING SUPPL		\$60.00	OPERATING SUPPLIES
3512219	101-2200-42100	OPERATING SUPPL		\$68.99	OPERATING SUPPLIES
0261855	101-2110-42100	OPERATING SUPPL		\$11.99	OPERATING SUPPLIES
5093812	101-2110-42100	OPERATING SUPPL		\$77.54	OPERATING SUPPLIES
1158623	101-2110-44080	UNIFORMS		\$39.95	UNIFORMS
5476220	101-2110-44080	UNIFORMS		\$198.14	UNIFORMS
18584	101-2110-42100	OPERATING SUPPL		\$111.00	OPERATING SUPPLIES
	101-2200-42100	OPERATING SUPPL		\$138.75	OPERATING SUPPLIES
11158	101-2200-42080	TRAINING AND IN:		\$178.50	TRAINING AND INSTRUCTION
40021	101-2110-42080	TRAINING AND IN:		\$50.00	TRAINING AND INSTRUCTION
5917031	101-2110-42100	OPERATING SUPPL		\$45.72	OPERATING SUPPLIES
4240	101-2110-42350	RESERVES		\$88.78	RESERVES
5440240	101-2110-42000	SUPPLIES - OFFICE		\$139.00	SUPPLIES - OFFICE/COPY/COMPUTR
05262023	101-2110-42000	SUPPLIES - OFFICE		\$49.27	SUPPLIES - OFFICE/COPY/COMPUTR
MT18KDB26Y	101-2110-44330	DUES & SUBSCRIP		\$2.99	DUES & SUBSCRIPTIONS
05202023	101-2110-42000	SUPPLIES - OFFICE		\$5.99	SUPPLIES - OFFICE/COPY/COMPUTR
78428	101-2110-42080	TRAINING AND IN:		\$219.06	TRAINING AND INSTRUCTION
	101-2110-42080	TRAINING AND IN:		\$(169.06)	TRAINING AND INSTRUCTION
Total for VISA				\$2,939.06	
54965	06/20/2023	VISA			
127947	101-2400-43310	TRAVEL EXPENSES		\$17.26	TRAVEL EXPENSES
Total for VISA				\$17.26	

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54966	06/20/2023	VISA			
INV198395604			101-1400-44330	DUES & SUBSCRIP	\$15.99 DUES & SUBSCRIPTIONS
100014			101-1110-42080	TRAINING AND IN	\$192.53 TRAINING AND INSTRUCTION
INV202802934			101-1400-42100	OPERATING SUPPL	\$15.99 OPERATING SUPPLIES
9596244			101-1400-42000	SUPPLIES - OFFICE	\$6.99 SUPPLIES - OFFICE/COPY/COMPUTR
Total for VISA				<u>\$231.50</u>	
54967	06/20/2023	WASTE MANAGEMENT CORP SERVICES			
0037878-4812-0			101-5500-43840	REFUSE	\$16.50 LIBRARY 27-16928-33002
			101-5200-43840	REFUSE	\$93.95 CITY MAINT 27-16916-73007
			101-3100-43840	REFUSE	\$80.85 CITY HALL 27-16916-83005
			101-5200-43840	REFUSE	\$110.68 CITY GARAGE 27-16920-33000
Total for WASTE MANAGEMENT CORP				<u>\$301.98</u>	
54968	06/20/2023	XCEL ENERGY			
830978926			101-3100-43860	STREET LIGHTS	\$6,128.10 ST LIGHTS
831647277			101-3100-43800	UTILITIES-GAS/ELI	\$49.33 UTILITIES-GAS/ELEC/SEWER/WATER
Total for XCEL ENERGY				<u>\$6,177.43</u>	
54969	06/20/2023	DRESEL CONTRACTING			
PAYVOUCHER1			408-3100-45350	IMPROVEMENTS	\$497,336.45 PAY VOUCHER #
Total for DRESEL CONTRACTING				<u>\$497,336.45</u>	

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General Checking Account 10100
Total Amount Being Paid: \$678,744.72
Total Number of Checks: 52

Mayor Iverson

Councilmember Luger

Councilmember Nanko Yeager

Councilmember Schilling

Councilmember Ohnstad

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Check # Invoice #	Check Date	Vendor Name	General Ledger #	Amount	Comment
12573	06/06/2023	MN. DEPARTMENT OF REVENUE			
05312023			601-0000-20201	SALES TAX PAYABI \$2,227.00	SALES TAX PAYABLE
			101-0000-20201	SALES TAX PAYABI \$30.00	SALES TAX PAYABLE
			Total for MN. DEPARTMENT OF REVENUE	\$2,257.00	

City of Wyoming Check Detail Register

06-06-2023 Sales Tax

Check #	Check Date	Vendor Name		
Invoice #	General Ledger #	Amount	Comment	

General Checking Account 10100
Total Amount Being Paid: \$2,257.00
Total Number of Checks: 1

Mayor Iverson

Councilmember Luger

Councilmember Nanko Yeager

Councilmember Schilling

Councilmember Ohnstad



Request for Council Action

Date: June 12, 2023

Presented to: Mayor Iverson and City Council Members

Presented by: Robb Linwood, City Administrator

Department: Administration

Reference: The 2023 City of Wyoming Insurance coverage renewal through the League of Minnesota Cities Insurance Trust/ Monetary limits on municipal tort liability

Method: Consent Agenda

Background Information:

Each year as the City of Wyoming renews its liability insurance coverage with the League of Minnesota Cities Insurance Trust (LMCIT) it is requested to act on this declaration. LMCIT was created in the 70's when Minnesota Cities were having difficulty finding insurance due to numerous insurance claims for park accidents, sewer back-ups etc. and over the LMCIT years has created an affordable option for cities to provide insurance coverage and city policies that provide excellent maintenance procedures to prevent accidents in parks, sidewalks and sewer back-ups etc. so that today LMCIT and Minnesota Cities function as a well-managed partnership to serve their communities with cost effective services.

The Current statutory limits of liability for Minnesota cities are \$500,000 for an individual claimant and \$1,500,000 per occurrence. Cities can waive these limits to allow an individual claimant to recover more than \$500,000, up to the \$1,500,000 per occurrence limit, if excess liability insurance is purchased. However the cost of excess liability insurance continues to be very expensive. The city historically has NOT WAIVED the limits of liability and nearly 2/3rds of Minnesota Cities do the same. No court has ever established a monetary award in excess of the statutory limits against a municipality. This item confirms the City Council of The City of Wyoming Does Not Waive the monetary limits on municipal tort liability established by Minnesota Statutes 466.04. When renewing Liability Insurance Coverage with LMCIT (League of Minnesota Cities Insurance Trust)

Recommendation: To approve The 2023 City of Wyoming Insurance coverage renewal through the League of Minnesota Cities Insurance Trust in the amount of \$111,230.00 and to confirm the City Council of The City of Wyoming Does Not Waive the monetary limits on municipal tort liability established by Minnesota Statutes 466.04



CITY OF WYOMING

P.O. Box 188, 26885 Forest Blvd., Wyoming, MN 55092
Phone: 651-462-0575 Fax: 651-462-0576



CONNECTING & INNOVATING
SINCE 1913

Invoice

Member Name and Address

Wyoming, City Of
Po Box 188
Wyoming, MN 55092-0188

Invoice Date

06/05/2023

Agent

SF Insurance Group LLC
Po Box 441
Chisago City, MN 55013-0441
(651)257-6562

Account Number: 40003652
Account Type: Property/Casualty Coverage Premium
Current Balance: \$ 111,230.00
Minimum Due: \$ 111,230.00
Due Date: 07/02/2023

Summary of activity since last Billing Invoice	Date	Activity	Account Balance	Minimum Due
		Previous Invoice Balance	1,040.00	
		Payments Received	-1,040.00	
		Total of Transactions and Fees shown on reverse or attached	111,230.00	
See reverse side and attachments for additional information		Current Balance	\$ 111,230.00	\$ 111,230.00

Detach and return this Payment Coupon with your payment

Account Number
40003652

Invoice Date
06/05/2023

Due Date
07/02/2023

Current Balance
\$ 111,230.00

Minimum Due
111,230.00

Amount Enclosed
\$ _____

Member Name Wyoming, City Of

BILLING INVOICE - Return stub with payment - make checks payable to:

Mail payment 7 days before Due Date to ensure timely receipt

League of MN Cities Insurance Trust P&C
c/o Berkley Risk Administrators Company
222 South Ninth Street, Suite 2700
P.O. Box 581517
Minneapolis, MN 55458-1517

LIABILITY COVERAGE – WAIVER FORM

Members who obtain liability coverage through the League of Minnesota Cities Insurance Trust (LMCIT) must complete and return this form to LMCIT before the member’s effective date of coverage. Return completed form to your underwriter or email to pstech@lmc.org.

The decision to waive or not waive the statutory tort limits must be made annually by the member’s governing body, in consultation with its attorney if necessary.

Members who obtain liability coverage from LMCIT must decide whether to waive the statutory tort liability limits to the extent of the coverage purchased. The decision has the following effects:

- *If the member does not waive the statutory tort limits, an individual claimant could recover no more than \$500,000 on any claim to which the statutory tort limits apply. The total all claimants could recover for a single occurrence to which the statutory tort limits apply would be limited to \$1,500,000. These statutory tort limits would apply regardless of whether the member purchases the optional LMCIT excess liability coverage.*
- *If the member waives the statutory tort limits and does not purchase excess liability coverage, a single claimant could recover up to \$2,000,000 for a single occurrence (under the waive option, the tort cap liability limits are only waived to the extent of the member’s liability coverage limits, and the LMCIT per occurrence limit is \$2,000,000). The total all claimants could recover for a single occurrence to which the statutory tort limits apply would also be limited to \$2,000,000, regardless of the number of claimants.*
- *If the member waives the statutory tort limits and purchases excess liability coverage, a single claimant could potentially recover an amount up to the limit of the coverage purchased. The total all claimants could recover for a single occurrence to which the statutory tort limits apply would also be limited to the amount of coverage purchased, regardless of the number of claimants.*

Claims to which the statutory municipal tort limits do not apply are not affected by this decision.

LMCIT Member Name:

Check one:

- The member **DOES NOT WAIVE** the monetary limits on municipal tort liability established by [Minn. Stat. § 466.04](#).
- The member **WAIVES** the monetary limits on municipal tort liability established by [Minn. Stat. § 466.04](#), to the extent of the limits of the liability coverage obtained from LMCIT.

Date of member's governing body meeting: _____

Signature: _____ Position: _____

Austin Smith

(763) 219-5152

Austinjsmith35@gmail.com

Wyoming Fire Department

6/12/23

To whom it may concern Wyoming Public Safety,

The purpose of this letter is to inform you that as of June 12, 2022, I am formally resigning my position of Firefighter with Wyoming Fire Department. I will be forever thankful for the opportunities, experiences, and knowledge provided to me while being allowed to be a part of such an outstanding fire department.

I do not regret making the career change that I did, but do miss the fire service, mainly WFD and the people that make WFD what it is. I am humbled to have been part of such a great department and have the utmost respect for all that you guys do and wish you all well in all that you will accomplish.

Sincerely,

A handwritten signature in black ink, appearing to read 'Austin Smith', with a long horizontal flourish extending to the right.

Austin Smith



June 16, 2023

Presented To: Mayor Iverson and City Council Members
Presented By: Chief Neil Bauer
Department: Public Safety
Reference: Resignation of Police Officer Scott Boecker
Method: Consent Agenda

Background Information:

Full-Time police officer Scott Boecker has submitted his letter of resignation. A copy of his resignation letter is attached. His last day will be July 2, 2023.

Recommendation:

It is my recommendation that the City Council accept the resignation of Scott Boecker.

Neil D. Bauer, Ed.D.
Public Safety Director



PUBLIC SAFETY

P.O. Box 188, 7665 Wyoming Trl., Wyoming, MN 55092
Phone: 651-462-0577 Fax: 651-462-0506

06/05/23


Dear Chief Neil Bauer,

I write this letter to inform you of my resignation/retirement effective July 2, 2023.

It has been a great time working as a police officer in the force for the last fourteen years. Unfortunately, I must quit the force to start a new journey in my life, I must admit this was a tough decision, but I believe it's the best decision.

I'm thankful for the opportunity to serve in the police force. I wish you all the best. In the remaining period, please let me know if you'll require my assistance in ensuring a smooth transition.

Regards,

A handwritten signature in black ink, appearing to read 'S. Boecker', with a long horizontal flourish extending to the right.

Officer Scott Boecker



June 16, 2023

Presented To: Mayor Iverson and City Council Members

Presented By: Chief Neil Bauer

Department: Public Safety

Reference: Begin the Process for a Full-Time Police Officer Position

Method: Consent

Background Information:

With the resignation of Officer Scott Boecker on July 2, 2023 there is a vacancy for a police officer position. Staffing needs require that this position be filled as soon as possible. Salary for the position will be based on the current LELS contract for the Wyoming Police Officers, dependent on prior qualifications.

The position notice would be posted on the League of Minnesota Cities website, the Minnesota Police Officer Standards and Training website and the City of Wyoming website for 14 days. Staff will review applications to select potential candidates to move forward in the hiring process. Qualified candidates will be scheduled for the next steps of the selection process. Once a candidate is selected, the individual will be brought forward to the City Council for hiring approval.

Recommendation:

Staff recommends the full-time Police Officer position be opened and posted on the League of Minnesota Cities website, the Minnesota Police Officer Standards and Training website and the City of Wyoming website to begin the hiring process.

Neil D. Bauer, Ed.D.
Public Safety Director



PUBLIC SAFETY

P.O. Box 188, 7665 Wyoming Trl., Wyoming, MN 55092
Phone: 651-462-0577 Fax: 651-462-0506



Request for Council Action

Date: June 16, 2023

Presented to: Mayor Iverson and City Council Members

Presented by: Fred Weck, Building Official / Zoning Administrator

Department: Department of Building Safety

Reference: Full Time Building Inspector Position

Method: Consent

Background Information:

Building Inspector Austin Rademacher has submitted his letter of resignation from his position and his last day with the city will be June 23, 2023.

The Building Inspector position will help with the building inspection workload. The Building Inspector position's main responsibilities are as follows:

- Performs duties and responsibilities as directed by the Building/Zoning Official.
- Reviews building permit applications and ensures that they are accurate, complete, and in compliance with City codes and requirements.
- Reviews detailed and complex building plans and specifications for compliance with city and state codes and regulations.
- Reviews and issues building permits and certificates of occupancy as determined by the building official.
- Issues verbal and/or written orders for correction of faulty, improper, or illegal construction.
- Conducts additional inspections including: energy, plumbing, and mechanical.
- Receives and answers written, telephone and face-to-face inquiries concerning permits, building standards, and code requirements.
- Performs related duties as assigned by building/zoning official.

Recommendation:

To accept the resignation of Austin Rademacher and authorize advertisement for a Building Inspector.

To whom it may concern,

The intent of this letter is to inform Fred and any other interested parties that I have accepted an offer with the City of Arden Hills. I am very grateful for the opportunities that I've had, and the knowledge gained during my tenure here. I am truly grateful for the time I've spent here and all the training, lessons, and knowledge of the field that has been bestowed upon me in the past year and a half. My last day with the city of Wyoming will be Friday June 23rd.

Kind regards, Austin Rademacher



June 14, 2023

Mr. Robb Linwood
City of Wyoming
26885 Forest Boulevard
Wyoming, MN 55092

Re: 2023 East Viking Boulevard Improvement Project
SAP 248-108-003 and SAP 248-594-002
City of Wyoming, MN
WSB Project No. 018553-000

Dear Mr. Linwood:

Please find enclosed Construction Pay Voucher No. 1 for the above referenced project in the amount of \$497,336.45. The quantities completed to date have been reviewed and agreed upon by the contractor, and we hereby recommend that the City of Wyoming approve Construction Pay Voucher No. 1 for Dresel Contracting, Inc.

The amount indicated above reflects work certified through June 13, 2023, with a 5% retainage applied. Please include one executed copy with the payment to Dresel Contracting and return one executed copy to our office for our file. If you have any questions or comments regarding this voucher, please contact me at 651.325.6849. Thank you.

Sincerely,

WSB

Paul Hornby
Sr. Project Manager

Attachments

kkp

178 E 9TH STREET | SUITE 200 | SAINT PAUL, MN | 55101 | 651.286.8450 | WSBENG.COM



Client: City of Wyoming 26885 Forest Blvd. Wyoming, MN 55092-0188	Contractor: Dresel Contracting, Inc. 24044 July Ave Chisago City, MN 55013
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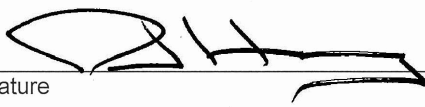
WSB Project No.: 018553-000
Client Project No.:
State Project No.: SAP 248-108-002
Federal Project No.:

Contract Amount		Funds Encumbered	
Original Contract	\$2,785,711.80	Original	\$2,785,711.80
Contract Changes	\$0.00	Additional	N/A
Revised Contract	\$2,785,711.80	Total	\$2,785,711.80

Work Certified To Date	
Base Bid Items	\$523,512.05
Contract Changes	\$0.00
Material On Hand	\$0.00
Total	\$523,512.05

Work Certified This Voucher	Work Certified To Date	Less Amount Retained	Less Previous Payments	Amount Paid This Voucher	Total Amount Paid To Date
\$523,512.05	\$523,512.05	\$26,175.60	\$0.00	\$497,336.45	\$497,336.45
Percent Retained: 5%			Percent Complete: 18.79%		

This is to certify that the items of work shown in this Pay Voucher have been actually furnished for the work comprising the above-mentioned project in accordance with the plans and specifications heretofore approved.

Approved By WSB


 Signature

Approved By Dresel Contracting, Inc.


 Signature

06/14/2023

 Date

6/14/23

 Date

Approved By City of Wyoming

 Signature

 Date

Payment Summary				
No.	Up Through Date	Work Certified Per Voucher	Amount Retained Per Voucher	Amount Paid Per Voucher
1	06/13/23	\$523,512.05	\$26,175.60	\$497,336.45

Funding Category Name	Work Certified To Date	Less Amount Retained	Less Previous Payments	Amount Paid This Voucher	Total Amount Paid To Date
LOCAL E VIKING	\$292,157.30	\$14,607.86	\$0.00	\$277,549.44	\$277,549.44
SAP 248-108-003	\$231,354.75	\$11,567.74	\$0.00	\$219,787.01	\$219,787.01

Accounting Number	Funding Source	Amount Paid This Voucher	Revised Contract Amount	Funds Encumbered To Date	Paid Contractor To Date
1	State Aid	\$219,787.01	\$1,259,380.41	\$1,259,380.41	\$219,787.01
2	Local	\$277,549.44	\$738,098.75	\$738,098.75	\$277,549.44
3	Local	\$0.00	\$294,112.78	\$294,112.78	\$0.00
4	State Aid	\$0.00	\$494,119.86	\$494,119.86	\$0.00

Contract Item Status

Line No.	Item	Description	Unit	Unit Price	Contract Quantity	Quantity This Voucher	Amount This Voucher	Quantity To Date	Amount To Date
1	2021.501	MOBILIZATION	LS	\$131,660.00	1	0.75	\$98,745.00	0.75	\$98,745.00
2	2101.502	CLEARING	EACH	\$1,616.00	10	3	\$4,848.00	3	\$4,848.00
3	2101.502	GRUBBING	EACH	\$606.00	10	4	\$2,424.00	4	\$2,424.00
4	2101.505	CLEARING	ACRE	\$50,500.00	0.05	0.2	\$10,100.00	0.2	\$10,100.00
5	2101.505	GRUBBING	ACRE	\$20,200.00	0.05	0.2	\$4,040.00	0.2	\$4,040.00
6	2104.502	REMOVE SIGN	EACH	\$40.40	11	0	\$0.00	0	\$0.00
7	2104.503	SAWING CONCRETE PAVEMENT (FULL DEPTH)	L F	\$3.15	100	89	\$280.35	89	\$280.35
8	2104.503	SAWING BIT PAVEMENT (FULL DEPTH)	L F	\$2.10	900	325	\$682.50	325	\$682.50
9	2104.503	REMOVE CURB & GUTTER	L F	\$1.85	7200	7200	\$13,320.00	7200	\$13,320.00
10	2104.503	SALVAGE FENCE	L F	\$10.80	100	0	\$0.00	0	\$0.00
11	2104.504	REMOVE CONCRETE DRIVEWAY PAVEMENT	S Y	\$5.40	400	448	\$2,419.20	448	\$2,419.20
12	2104.504	REMOVE BITUMINOUS DRIVEWAY PAVEMENT	S Y	\$3.60	600	271	\$975.60	271	\$975.60
13	2104.504	REMOVE BITUMINOUS PAVEMENT	S Y	\$1.92	17700	17700	\$33,984.00	17700	\$33,984.00
14	2104.518	REMOVE CONCRETE WALK	S F	\$0.26	14000	1636	\$425.36	1636	\$425.36
15	2104.601	SALVAGE AND REINSTALL LANDSCAPE STRUCTURES	L S	\$5,000.00	1	0	\$0.00	0	\$0.00
16	2104.602	SALVAGE SIGN SPECIAL	EACH	\$525.00	1	0	\$0.00	0	\$0.00

Contract Item Status									
Line No.	Item	Description	Unit	Unit Price	Contract Quantity	Quantity This Voucher	Amount This Voucher	Quantity To Date	Amount To Date
17	2106.507	EXCAVATION - COMMON (P)	C Y	\$18.38	8119	1879	\$34,536.02	1879	\$34,536.02
18	2106.507	EXCAVATION - SUBGRADE	C Y	\$0.01	1000	0	\$0.00	0	\$0.00
19	2106.507	SELECT GRANULAR EMBANKMENT (CV)	C Y	\$0.01	1000	0	\$0.00	0	\$0.00
20	2108.504	GEOTEXTILE FABRIC TYPE 5	S Y	\$1.31	1500	671	\$879.01	671	\$879.01
21	2112.519	SUBGRADE PREPARATION	RDST	\$0.01	38	15	\$0.15	15	\$0.15
22	2123.610	STREET SWEEPER (WITH PICKUP BROOM)	HOURL	\$96.00	100	0	\$0.00	0	\$0.00
23	2123.610	1.5 CU YD BACKHOE	HOURL	\$108.00	10	0	\$0.00	0	\$0.00
24	2130.523	WATER	MGAL	\$46.50	100	0	\$0.00	0	\$0.00
25	2211.507	AGGREGATE BASE (CV) CLASS 5 (P)	C Y	\$0.01	4011	1214.25	\$12.14	1214.25	\$12.14
26	2331.603	JOINT ADHESIVE	L F	\$1.16	8100	0	\$0.00	0	\$0.00
27	2357.506	BITUMINOUS MATERIAL FOR TACK COAT	GAL	\$4.19	900	0	\$0.00	0	\$0.00
28	2360.504	TYPE SP 9.5 WEAR CRS MIX (2,B) 3.0" THICK	S Y	\$60.46	400	0	\$0.00	0	\$0.00
29	2360.509	TYPE SP 9.5 WEARING COURSE MIX (2,C)	TON	\$80.58	1500	0	\$0.00	0	\$0.00
30	2360.509	TYPE SP 12.5 WEARING COURSE MIX (2,C)	TON	\$76.57	2400	0	\$0.00	0	\$0.00
31	2411.502	CONCRETE STAIRWAY	EACH	\$440.00	6	0	\$0.00	0	\$0.00
32	2504.602	ADJUST GATE VALVE & BOX	EACH	\$495.00	16	0	\$0.00	0	\$0.00
33	2504.602	ADJUST CURB BOX	EACH	\$198.00	10	0	\$0.00	0	\$0.00
34	2504.602	IRRIGATION SYSTEM REPAIR	EACH	\$220.00	10	0	\$0.00	0	\$0.00
35	2506.502	ADJUST FRAME & RING CASTING	EACH	\$330.00	9	0	\$0.00	0	\$0.00
36	2506.602	CHIMNEY SEAL	EACH	\$165.00	9	0	\$0.00	0	\$0.00
37	2521.518	6" CONCRETE WALK	S F	\$7.32	29000	0	\$0.00	0	\$0.00
38	2531.503	CONCRETE CURB & GUTTER DESIGN B618	L F	\$16.61	7700	0	\$0.00	0	\$0.00
39	2531.504	6" CONCRETE DRIVEWAY PAVEMENT	S Y	\$76.13	700	0	\$0.00	0	\$0.00
40	2531.618	TRUNCATED DOMES	S F	\$50.50	120	0	\$0.00	0	\$0.00

Contract Item Status									
Line No.	Item	Description	Unit	Unit Price	Contract Quantity	Quantity This Voucher	Amount This Voucher	Quantity To Date	Amount To Date
41	2540.602	MAIL BOX SUPPORT	EACH	\$120.00	10	0	\$0.00	0	\$0.00
42	2540.602	TEMPORARY MAIL BOX	EACH	\$90.00	24	28	\$2,520.00	28	\$2,520.00
43	2557.602	REPAIR DOG FENCE	EACH	\$120.00	5	0	\$0.00	0	\$0.00
44	2557.603	INSTALL FENCE	L F	\$12.96	100	0	\$0.00	0	\$0.00
45	2563.601	TRAFFIC CONTROL	LS	\$13,750.00	1	0.74	\$10,175.00	0.74	\$10,175.00
46	2564.518	SIGN PANELS TYPE C	S F	\$50.40	189	0	\$0.00	0	\$0.00
47	2563.618	CONSTRUCTION SIGN SPECIAL	SF	\$26.25	30	12	\$315.00	12	\$315.00
48	2564.602	INSTALL SIGN SPECIAL	EACH	\$1,050.00	1	0	\$0.00	0	\$0.00
49	2564.602	SIGN PANELS TYPE SPECIAL	EACH	\$341.25	14	0	\$0.00	0	\$0.00
50	2571.502	CONIFEROUS TREE 12' HT B&B	EACH	\$2,089.50	5	0	\$0.00	0	\$0.00
51	2571.502	DECIDUOUS TREE 3" CAL B&B	EACH	\$1,155.00	5	0	\$0.00	0	\$0.00
52	2573.501	STABILIZED CONSTRUCTION EXIT	LS	\$1,821.75	1	0	\$0.00	0	\$0.00
53	2573.502	STORM DRAIN INLET PROTECTION	EACH	\$110.00	40	9	\$990.00	9	\$990.00
54	2573.503	SILT FENCE, TYPE MS	L F	\$1.87	4000	410	\$766.70	410	\$766.70
55	2573.503	SEDIMENT CONTROL LOG TYPE STRAW	L F	\$2.02	4000	0	\$0.00	0	\$0.00
56	2574.507	COMMON TOPSOIL BORROW	C Y	\$0.01	1055	372	\$3.72	372	\$3.72
57	2574.508	FERTILIZER TYPE 3	LB	\$1.11	370	350	\$388.50	350	\$388.50
58	2575.504	SODDING TYPE LAWN	S Y	\$5.94	2300	0	\$0.00	0	\$0.00
59	2575.504	SODDING TYPE MINERAL	S Y	\$5.94	6100	0	\$0.00	0	\$0.00
60	2575.508	HYDRAULIC STABILIZED FIBER MATRIX	LB	\$2.02	5500	2000	\$4,040.00	2000	\$4,040.00
61	2575.523	WATER	MGAL	\$50.50	150	6	\$303.00	6	\$303.00
62	2582.503	4" SOLID LINE PAINT	L F	\$0.26	6500	0	\$0.00	0	\$0.00
63	2582.503	4" DBLE SOLID LINE PAINT	L F	\$0.41	3500	0	\$0.00	0	\$0.00
64	2582.518	CROSSWALK PAINT	S F	\$3.06	300	0	\$0.00	0	\$0.00
65	2104.502	REMOVE MANHOLE	EACH	\$450.50	2	2	\$901.00	2	\$901.00

Contract Item Status									
Line No.	Item	Description	Unit	Unit Price	Contract Quantity	Quantity This Voucher	Amount This Voucher	Quantity To Date	Amount To Date
66	2104.503	REMOVE SEWER PIPE (SANITARY)	L F	\$7.19	390	385	\$2,768.15	385	\$2,768.15
67	2106.507	EXCAVATION - MUCK	C Y	\$11.90	300	142.6	\$1,696.94	142.6	\$1,696.94
68	2106.507	SELECT GRANULAR EMBANKMENT (CV)	C Y	\$20.74	300	0	\$0.00	0	\$0.00
69	2106.601	DEWATERING	LS	\$16,500.00	1	1	\$16,500.00	1	\$16,500.00
70	2451.603	AGGREGATE BEDDING	L F	\$21.00	390	385	\$8,085.00	385	\$8,085.00
71	2503.503	4" PVC PIPE SEWER	L F	\$32.45	200	18	\$584.10	18	\$584.10
72	2503.503	12" PVC PIPE SEWER	L F	\$95.17	390	385	\$36,640.45	385	\$36,640.45
73	2503.602	CONNECT TO EXISTING SANITARY SEWER	EACH	\$511.50	2	2	\$1,023.00	2	\$1,023.00
74	2503.602	CONNECT TO EXISTING SANITARY SEWER SER	EACH	\$478.50	4	3	\$1,435.50	3	\$1,435.50
75	2503.602	12"X4" PVC WYE	EACH	\$880.00	4	3	\$2,640.00	3	\$2,640.00
76	2503.603	TELEWISE SANITARY SEWER	LF	\$10.10	390	0	\$0.00	0	\$0.00
77	2506.502	CASTING ASSEMBLY	EACH	\$687.50	2	0	\$0.00	0	\$0.00
78	2506.602	RECONSTRUCT MANHOLE (SANITARY)	EACH	\$4,152.50	2	1	\$4,152.50	1	\$4,152.50
79	2506.603	CONSTRUCT 48" DIA SANITARY MANHOLE	L F	\$442.50	21	21	\$9,292.50	21	\$9,292.50
80	2504.602	HYDRANT	EACH	\$6,380.00	10	9	\$57,420.00	9	\$57,420.00
81	2504.602	6" GATE VALVE & BOX	EACH	\$1,980.00	10	0	\$0.00	0	\$0.00
82	2504.602	16"X6" WET TAP	EACH	\$1,980.00	10	9	\$17,820.00	9	\$17,820.00
83	2504.603	6" WATERMAIN DUCTILE IRON CL 52	L F	\$63.80	100	45.5	\$2,902.90	45.5	\$2,902.90
84	2504.604	4" POLYSTYRENE INSULATION	S Y	\$58.30	100	10.8	\$629.64	10.8	\$629.64
85	2104.502	REMOVE DRAINAGE STRUCTURE	EACH	\$216.56	20	9	\$1,949.04	9	\$1,949.04
86	2104.503	REMOVE SEWER PIPE (STORM)	L F	\$12.74	680	160	\$2,038.40	160	\$2,038.40
87	2106.601	DEWATERING	LS	\$0.01	1	0	\$0.00	0	\$0.00
88	2451.603	AGGREGATE BEDDING	L F	\$0.01	400	0	\$0.00	0	\$0.00
89	2501.502	18" RC PIPE APRON	EACH	\$1,139.25	3	1	\$1,139.25	1	\$1,139.25

Contract Item Status									
Line No.	Item	Description	Unit	Unit Price	Contract Quantity	Quantity This Voucher	Amount This Voucher	Quantity To Date	Amount To Date
90	2501.502	22" SPAN RC PIPE-ARCH APRON	EACH	\$1,172.06	2	2	\$2,344.12	2	\$2,344.12
91	2501.502	51" SPAN RC PIPE-ARCH APRON	EACH	\$3,218.25	1	0	\$0.00	0	\$0.00
92	2501.602	TRASH GUARD FOR 18" PIPE APRON	EACH	\$939.75	3	0	\$0.00	0	\$0.00
93	2501.602	TRASH GUARD FOR 22" SPAN PIPE APRON	EACH	\$1,156.31	2	0	\$0.00	0	\$0.00
94	2501.602	TRASH GUARD FOR 51" SPAN PIPE APRON	EACH	\$3,917.81	1	0	\$0.00	0	\$0.00
95	2503.503	22" SPAN RC PIPE-ARCH SEWER CL IIA	L F	\$118.56	36	36	\$4,268.16	36	\$4,268.16
96	2503.503	51" SPAN RC PIPE-ARCH SEWER CL IIA	L F	\$324.19	12	0	\$0.00	0	\$0.00
97	2503.503	12" RC PIPE SEWER DES 3006 CL V	L F	\$52.01	46	46	\$2,392.46	46	\$2,392.46
98	2503.503	15" RC PIPE SEWER DES 3006 CL V	L F	\$64.07	466	239	\$15,312.73	239	\$15,312.73
99	2503.503	18" RC PIPE SEWER DES 3006 CL V	L F	\$78.05	314	263	\$20,527.15	263	\$20,527.15
100	2503.503	21" RC PIPE SEWER DES 3006 CL III	L F	\$88.52	25	0	\$0.00	0	\$0.00
101	2503.503	27" RC PIPE SEWER DES 3006 CL III	L F	\$105.30	48	48	\$5,054.40	48	\$5,054.40
102	2503.503	30" RC PIPE SEWER DES 3006 CL III	L F	\$137.16	482	0	\$0.00	0	\$0.00
103	2503.602	CONNECT TO EXISTING STORM SEWER	EACH	\$649.69	16	7	\$4,547.83	7	\$4,547.83
104	2503.602	CONNECT INTO EXISTING DRAINAGE STRUCTURE	EACH	\$866.25	2	0	\$0.00	0	\$0.00
105	2506.502	CONST DRAINAGE STRUCTURE DESIGN G	EACH	\$2,557.80	1	1	\$2,557.80	1	\$2,557.80
106	2506.502	CONST DRAINAGE STRUCTURE DESIGN SPECIAL	EACH	\$2,481.75	21	10	\$24,817.50	10	\$24,817.50
107	2506.502	CASTING ASSEMBLY	EACH	\$630.00	14	0	\$0.00	0	\$0.00
108	2506.503	CONST DRAINAGE STRUCTURE DES 48-4020	L F	\$600.83	64.1	59.7	\$35,869.55	59.7	\$35,869.55
109	2506.503	CONST DRAINAGE STRUCTURE DES 60-4020	L F	\$851.83	24.9	9	\$7,666.47	9	\$7,666.47
110	2506.503	CONST DRAINAGE STRUCTURE DES 96-4020	L F	\$2,635.50	5.5	0	\$0.00	0	\$0.00
111	2506.602	CHIMNEY SEAL	EACH	\$240.00	11	0	\$0.00	0	\$0.00
112	2511.507	RANDOM RIPRAP CLASS III	C Y	\$73.24	35.8	18.6	\$1,362.26	18.6	\$1,362.26
113	2021.501	MOBILIZATION	LS	\$117,624.00	1	0	\$0.00	0	\$0.00

Contract Item Status									
Line No.	Item	Description	Unit	Unit Price	Contract Quantity	Quantity This Voucher	Amount This Voucher	Quantity To Date	Amount To Date
114	2101.502	CLEARING	EACH	\$240.00	6	0	\$0.00	0	\$0.00
115	2101.502	GRUBBING	EACH	\$180.00	6	0	\$0.00	0	\$0.00
116	2101.505	CLEARING	ACRE	\$11,000.00	0.4	0	\$0.00	0	\$0.00
117	2101.505	GRUBBING	ACRE	\$11,000.00	0.4	0	\$0.00	0	\$0.00
118	2104.502	REMOVE MANHOLE	EACH	\$300.00	1	0	\$0.00	0	\$0.00
119	2104.502	REMOVE SIGN	EACH	\$42.00	2	0	\$0.00	0	\$0.00
120	2104.502	SALVAGE SIGN	EACH	\$42.00	2	0	\$0.00	0	\$0.00
121	2104.503	SAWING BITUMINOUS PAVEMENT (FULL DEPTH)	LF	\$2.20	60	0	\$0.00	0	\$0.00
122	2104.503	REMOVE GUARDRAIL	L F	\$2.40	1092	0	\$0.00	0	\$0.00
123	2104.503	REMOVE FORCE MAIN	L F	\$12.00	200	0	\$0.00	0	\$0.00
124	2104.504	REMOVE BITUMINOUS PAVEMENT	S Y	\$4.14	290	0	\$0.00	0	\$0.00
125	2105.607	SELECT GRANULAR BORROW MOD 10% (CV)	C Y	\$15.19	219	0	\$0.00	0	\$0.00
126	2106.507	EXCAVATION - COMMON (P)	C Y	\$19.57	586	0	\$0.00	0	\$0.00
127	2106.507	EXCAVATION - MUCK	C Y	\$14.77	553	0	\$0.00	0	\$0.00
128	2106.507	SELECT GRANULAR EMBANKMENT (CV) (P)	C Y	\$0.01	1160	0	\$0.00	0	\$0.00
129	2112.519	SUBGRADE PREPARATION	RDST	\$240.00	5.25	0	\$0.00	0	\$0.00
130	2123.610	STREET SWEEPER (WITH PICKUP BROOM)	HOURL	\$162.00	10	0	\$0.00	0	\$0.00
131	2123.610	UTILITY CREW	HOURL	\$0.01	20	0	\$0.00	0	\$0.00
132	2211.507	AGGREGATE BASE (CV) CLASS 5	C Y	\$25.99	80	0	\$0.00	0	\$0.00
133	2215.504	FULL DEPTH RECLAMATION	S Y	\$2.20	1200	0	\$0.00	0	\$0.00
134	2357.506	BITUMINOUS MATERIAL FOR TACK COAT	GAL	\$4.19	100	0	\$0.00	0	\$0.00
135	2360.509	TYPE SP 12.5 WEARING COURSE MIX (2,C)	TON	\$86.80	470	0	\$0.00	0	\$0.00
136	2401.601	STRUCTURE EXCAVATION	LS	\$8,505.00	1	0	\$0.00	0	\$0.00
137	2412.502	6X6 PRECAST CONCRETE BOX CULV END SECT	EACH	\$19,950.00	2	0	\$0.00	0	\$0.00

Contract Item Status									
Line No.	Item	Description	Unit	Unit Price	Contract Quantity	Quantity This Voucher	Amount This Voucher	Quantity To Date	Amount To Date
138	2412.502	16X6 PRECAST CONCRETE BOX CULV END SEC	EACH	\$41,737.50	2	0	\$0.00	0	\$0.00
139	2412.503	6X6 PRECAST CONCRETE BOX CULVERT	L F	\$1,585.50	50	0	\$0.00	0	\$0.00
140	2412.503	16X6 PRECAST CONCRETE BOX CULVERT	L F	\$3,018.75	48	0	\$0.00	0	\$0.00
141	2442.501	REMOVE EXISTING BRIDGE	LS	\$9,060.00	1	0	\$0.00	0	\$0.00
142	2451.507	FINE AGGREGATE BEDDING (CV)	C Y	\$34.11	175	0	\$0.00	0	\$0.00
143	2501.502	28" SPAN RC PIPE-ARCH APRON	EACH	\$1,995.00	2	0	\$0.00	0	\$0.00
144	2503.503	28" SPAN RC PIPE-ARCH SEWER CL IIIA	L F	\$217.00	48	0	\$0.00	0	\$0.00
145	2511.507	RANDOM RIPRAP CLASS II	C Y	\$108.60	10	0	\$0.00	0	\$0.00
146	2511.507	RANDOM RIPRAP CLASS III	C Y	\$108.60	10	0	\$0.00	0	\$0.00
147	2554.502	END TREATMENT-ENERGY ABSORBING TERMINAL	EACH	\$3,468.00	4	0	\$0.00	0	\$0.00
148	2554.503	TRAFFIC BARRIER DESIGN TYPE 31	L F	\$30.60	1020	0	\$0.00	0	\$0.00
149	2554.602	GUARDRAIL POST SEAT	EACH	\$1,020.00	12	0	\$0.00	0	\$0.00
150	2557.503	WIRE FENCE DESIGN 48V-9322	L F	\$78.30	500	0	\$0.00	0	\$0.00
151	2563.601	TRAFFIC CONTROL	LS	\$8,470.00	1	0	\$0.00	0	\$0.00
152	2564.518	SIGN PANELS TYPE C	S F	\$48.96	40	0	\$0.00	0	\$0.00
153	2564.602	INSTALL SALVAGED SIGN	EACH	\$229.50	2	0	\$0.00	0	\$0.00
154	2573.501	STABILIZED CONSTRUCTION EXIT	LS	\$1,100.00	1	0	\$0.00	0	\$0.00
155	2573.503	SILT FENCE, TYPE MS	L F	\$1.87	1800	0	\$0.00	0	\$0.00
156	2573.503	SEDIMENT CONTROL LOG TYPE WOOD FIBER	L F	\$2.02	1800	0	\$0.00	0	\$0.00
157	2106.601	TEMPORARY STREAM DIVERSION SYSTEM	LS	\$63,000.00	1	0	\$0.00	0	\$0.00
158	2574.507	COMMON TOPSOIL BORROW	C Y	\$0.01	50	0	\$0.00	0	\$0.00
159	2574.508	FERTILIZER TYPE 3	LB	\$1.11	110	0	\$0.00	0	\$0.00
160	2574.508	FERTILIZER TYPE 4	LB	\$1.21	30	0	\$0.00	0	\$0.00
161	2573.503	FLOATING SILT FENCE	L F	\$25.25	200	0	\$0.00	0	\$0.00

Contract Item Status									
Line No.	Item	Description	Unit	Unit Price	Contract Quantity	Quantity This Voucher	Amount This Voucher	Quantity To Date	Amount To Date
162	2575.504	ROLLED EROSION PREVENTION CATEGORY 25	S Y	\$2.02	2200	0	\$0.00	0	\$0.00
163	2575.505	SEEDING	ACRE	\$505.00	0.5	0	\$0.00	0	\$0.00
164	2575.505	DISK ANCHORING	ACRE	\$252.50	0.5	0	\$0.00	0	\$0.00
165	2575.508	SEED MIXTURE 25-121	LB	\$8.08	20	0	\$0.00	0	\$0.00
166	2575.508	SEED MIXTURE 33-261	LB	\$25.25	30	0	\$0.00	0	\$0.00
167	2575.523	RAPID STABILIZATION METHOD 3	MGAL	\$1,010.00	3	0	\$0.00	0	\$0.00
168	2582.503	4" SOLID LINE PAINT	L F	\$0.31	1060	0	\$0.00	0	\$0.00
169	2582.503	4" DBLE SOLID LINE PAINT	L F	\$0.46	530	0	\$0.00	0	\$0.00
170	2021.501	MOBILIZATION	LS	\$7,200.00	1	0	\$0.00	0	\$0.00
171	2104.503	SAWING BIT PAVEMENT (FULL DEPTH)	L F	\$2.40	200	0	\$0.00	0	\$0.00
172	2104.504	REMOVE BITUMINOUS DRIVEWAY PAVEMENT	S Y	\$3.14	130	0	\$0.00	0	\$0.00
173	2104.504	REMOVE BITUMINOUS PAVEMENT	S Y	\$4.08	200	0	\$0.00	0	\$0.00
174	2123.610	STREET SWEEPER (WITH PICKUP BROOM)	HOUR	\$153.45	2	0	\$0.00	0	\$0.00
175	2231.509	BITUMINOUS PATCHING MIXTURE	TON	\$237.01	70	0	\$0.00	0	\$0.00
176	2357.506	BITUMINOUS MATERIAL FOR TACK COAT	GAL	\$4.15	710	0	\$0.00	0	\$0.00
177	2360.504	TYPE SP 9.5 WEAR CRS MIX (2,B) 3.0" THICK	S Y	\$37.79	130	0	\$0.00	0	\$0.00
178	2360.509	TYPE SP 9.5 WEARING COURSE MIX (2,B)	TON	\$67.81	1700	0	\$0.00	0	\$0.00
179	2563.601	TRAFFIC CONTROL	LS	\$960.00	1	0	\$0.00	0	\$0.00
180	2573.503	SEDIMENT CONTROL LOG TYPE STRAW	L F	\$4.80	200	0	\$0.00	0	\$0.00
Bid Totals:							\$523,512.05		\$523,512.05

Project Category Totals		
Category	Amount This Voucher	Amount To Date
ALTERNATE 1 - BRIDGE 13J22 EAST VIKING BOULEVARD OVER SOUTH BRANCH SUNRISE RIVER	\$0.00	\$0.00
ALTERNATE 2 - BITUMINOUS OVERLAY	\$0.00	\$0.00
SCHEDULE A. - SURFACE IMPROVEMENTS	\$227,173.25	\$227,173.25
SCHEDULE B. - SANITARY SEWER IMPROVEMENTS	\$85,719.14	\$85,719.14
SCHEDULE C. - WATERMAIN IMPROVEMENTS	\$78,772.54	\$78,772.54

Project Category Totals		
Category	Amount This Voucher	Amount To Date
SCHEDULE D. - STORM SEWER IMPROVEMENTS	\$131,847.12	\$131,847.12

Contract Change Item Status											
CC	CC No.	Line No.	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Voucher	Amount This Voucher	Quantity To Date	Amount To Date
Contract Change Totals:											

Contract Change Totals				
No.	Contract Change	Description	Amount This Voucher	Amount To Date

Material On Hand Additions					
Line No.	Item	Description	Date	Added	Comments

Material On Hand Balance						
Line No.	Item	Description	Date	Added	Used	Remaining

RESOLUTION NO. 23-06-62

A RESOLUTION APPROVING PAYMENT FOR PAY VOUCHER #1 TO DRESEL CONTRACTING FOR THE 2023 EAST VIKING BOULEVARD IMPROVEMENT PROJECT (WSB PROJECT 018553-000) IN THE AMOUNT OF \$497,336.45.

WHEREAS, the City of Wyoming entered into a Contract with Dresel Contracting, to complete the 2023 East Viking Boulevard Improvement Project; and.

WHEREAS, the City Engineer, Mark Erichson, has inspected and approved the work on this project.

NOW, THEREFORE BE IT RESOLVED that the City of Wyoming authorizes the "Payment of Pay Voucher #1" in the amount of \$497,336.45 to Dresel Contracting for the 2023 East Viking Boulevard Improvement Project.

This resolution was adopted by the City Council of the City of Wyoming on the 20th day of June 2023.

Lisa Iverson, Mayor

ATTEST:

Robb Linwood, City Administrator/Clerk

(seal)



June 16, 2023

Mayor Iverson and City Council Members

Re: Public Safety Activity Report – June 20, 2023, City Council Meeting

Police Update

Officer Scott Boecker Retiring

Officer Boecker has made the decision to retire from law enforcement after 14+ years with the City of Wyoming. He takes pride interacting with community members and has always done an awesome job organizing community events, like the annual bike rodeo. Officer Boecker is looking to spending more time with his daughters and is planning a long needed vacation for this summer. We wish him well in retirement!

Fraud Awareness Presentations

Officer Trevor Minor has led 2 presentations for community members recently, receiving rave reviews afterwards. He held an elder fraud presentation at the Wyoming United Methodist Church after a Sunday service. The congregation had great questions for Officer Minor. He also presented to a community group at First State Bank of Wyoming on June 13th. He was part of a larger event to bring awareness to their customers about fraud that can occur. We appreciate the work the he has put into these presentations and the community is appreciative as well.

Fire Update

No update at this time.

Upcoming Community Outreach Events

- June 23, 2023 – Law Enforcement Torch Run
- August 1, 2023 – Night to Unite @ Goodview Park

A handwritten signature in black ink, appearing to read "Neil D. Bauer".

Neil D. Bauer, Ed.D.
Public Safety Director/Police Chief



PUBLIC SAFETY

P.O. Box 188, 7665 Wyoming Trl., Wyoming, MN 55092
Phone: 651-462-0577 Fax: 651-462-0506



June 14, 2023

Robb Linwood
City of Wyoming
26885 Forest Boulevard
Wyoming, MN 55092

Delivered via Email

Re: *City of Wyoming*
Status Update for the Period of – June 3, 2023 – June 14, 2023

Dear Robb:

Our office is assisting in the review and revision of City contracts and analysis of City development matters. We continue to field general legal questions and review items as requested by City staff while serving in our general counsel role of addressing all general legal concerns raised by City staff relating to any other legal matters relevant to the City.

Please contact me directly if you have any questions regarding this correspondence. Thank you for allowing us to serve the City of Wyoming.

Very Truly Yours,

s/ Thomas R. Loonan

Thomas R. Loonan
City Attorney



Engineer's Report



June 16, 2023

Honorable Mayor and City Council
City of Wyoming, MN
26885 Forest Boulevard
Wyoming, MN 55092

Re: June 20, 2023, City Council Meeting
WSB Project No. 021007-000

Dear Mayor and Council Members:

This engineers report is intended to update you on engineering activities within the City since the last council meeting. Some of the items below may be on the agenda with more detailed information provided, while the other items below are for informational purposes only.

Fallbrook Avenue and 264th Street Improvement Project

City Council recently held a public hearing on the project and ordered the improvements and authorized the preparation of plans and specifications. Staff is asking Council to consider approving the plans and specifications and authorizing the advertisement for bids. Because of the nature of the roadway use and needing to comply with municipal state aid standards, staff is also asking Council to approve the no parking resolution for the project that will prohibit parking along the roadway, except for the portion of Fallbrook Avenue near the hospital (400-ft on the west side).

East Viking Boulevard (Fenwick to Glen Oak) and Bridge No. 13J22

The project is progressing, and updates will continue to be added to the City website. The sanitary sewer repairs have been completed and storm sewer construction is nearly complete. Roadway construction is underway and curb and gutter will begin being placed the week of June 26th.

Bridge replacement is scheduled for October/November. Roadway work east of Polaris on East Viking is scheduled for July.

Diamond Ridge Development

Utility construction is complete. Sanitary Sewer and Watermain testing have passed. The dewatering system has been removed and curb and gutter will be completed the week of June

19th. Construction brings inconveniences and staff is working with the adjacent property owner to try and minimize the inconveniences and communicating schedules.

Polaris Site Improvements

Staff has reviewed and approved the site plan. Polaris is moving forward with the construction of the project and is nearly complete.

Katies Glenn

Staff is finalizing review of the recently submitted plans.

Helium Court Storm Sewer Repair / 266th Street Storm Sewer Addition

These projects are planned to begin the week of June 19th. A preconstruction meeting is scheduled for June 16, 2023.

Bingham Property – Hallberg Project (Multi-Tennent)

No new update:

All testing has now passed, and a site walk through has been completed. A final punch list has been provided to the contractor.

Sunrise Riverbank Development (residential and commercial)

No new update:

The developer has submitted a revised concept. Staff has met with the applicant's team, and we have provided initial feedback. Staff will be meeting with the development team in the future to provide additional feedback.

The developer is working on the remediation of potentially contaminated soils from previous use as a golf course. Golf courses previously used materials on greens and tee boxes to prevent damage from mold and fungus. The work consists of excavation potentially contaminated soil and hauling to a certified facility. The developer will provide the City with complete documentation report of the remediation.

2021 Street Improvement Project

No new update:

Staff has met with the contractor the week of 7/18, 9/1 and 9/6 with their subcontractor to go over remaining work. Punch list items, and additional seeding has occurred. Staff will be reviewing to ensure restoration efforts have taken. We are also working with the contractor to go over final payment quantities. Once restoration is acceptable, staff will bring a final pay voucher to the City Council for consideration. Once the project is accepted, the two-year warranty period will begin.

Summer Fields Development

No new update:

First Addition (19 lots): The contractor has indicated the project has been completed and all punch list items are complete as well. Upon inspection, there are a few items that remain; however, it is expected that this will be brought to the City in the near future for consideration of acceptance and release of escrow. The developer is working to address these remaining punch list items.

The Developer started work installing pipes in the filtration basin on 12/12/2022. Staff has reduced the cash escrow to \$10,000. Remaining work is primarily related to the removal of silt fence and ensure restoration efforts have taken.

Second Addition (15 lots):

No New Update:

Utility Construction, curb and gutter placement and asphalt has been placed. An escrow reduction has been requested and staff is confirming the value of work completed and what remains now that they have submitted the remaining. The escrow reduction has taken place.

Third Addition

No new update.

The developer has indicated that they are currently working on the third addition final plat and construction plans. This is for the completion of the site on the east side of Kettle River Boulevard. Earlier indication was that the third addition was for the next phase on the west side of Kettle River Boulevard.

The next addition on the West side of Kettle River Boulevard will involve the design of a city lift station within the site and will require design and ordering of lift station components. An on-site generator will also be required to be installed at the downstream lift station. The lead time on this is significant and that information has been provided to the developer to make sure these do not impede the timing of this next phase. Lift station design is currently underway as requested by the developer.

Preserve at Comfort Lake

The developer indicated all punch list items were complete and requested final acceptance of the project and release of the Letter of Credit. Upon inspection, very little of the punch list was completed. The punch list was sent to them again along with photos indicating what needs to be completed for the city to consider final acceptance. The developer has indicated these remaining items have now been completed. The only remaining item is the trail construction leading from the road to the park. An on-site meeting will be taking place on May 2nd to address this. Staff will be reducing the letter of credit to an amount of 125% of the cost to construct this trail. Once these have been addressed, staff will be ready to recommend acceptance of the improvements and start the two-year warranty period. As-builts have been provided for the project.

Heims Lake Villas North

All sanitary sewer, watermain, and storm sewer have been completed. Aggregate base and curb and gutter and first layer of asphalt has been completed, allowing building permits to be issued. The concrete sidewalk has been completed. The bituminous wearing course will be placed in 2023.

Aadland Development (Hunter Hill)

No new update:

Punch list items are currently underway and final layer of asphalt has been placed. Project acceptance is expected in the spring once restoration is acceptable. Due to the drought, many areas of the seeding have not come in adequately. Project acceptance is expected in the spring. Staff will reduce the letter of credit accordingly.

Hallberg Storage

No new update:

Final Punch list has been created and project completion is near.

Thank you for the opportunity to update the Council on current matters in the City.

Sincerely,

WSB and Associates, Inc.

Mark Erichson, P.E., City Engineer



Public Works Report

Date: June 20, 2023

Mayor Iverson and Councilmembers

Public Works Report for June 20, 2023 City Council Meeting

Streets:

The Public Works Crew has continued to fill potholes and patch areas with significant issues. As of June 16th, Public Works has used 656 tons of material. 556 tons of that has been in-house work done by Wyoming staff. The other 100 ton, was the work contracted to Prefer Construction. There is still a significant amount of work to be done and staff will be out addressing those as quickly as we can. Staff has also been working closely with WSB on the East Viking project.

Sanitary Sewer:

Crews have responded to three lift station call out over the last two week. The cause appears to have been related to brief power outages in two locations and a float that got tangled up and kept the station on in another. The crew started cleaning lift stations the week of June 12. All 14 stations were cleaned by June 15.

Water:

Daily and monthly water tests have been completed. Public Works staff has completed the spring flush and there were very few calls from residents during the process. The water meter change out has started and staff has been working with the contractors to provide a work area for meter storage and disposal.

Surface Water:

No news to report.

Parks:

Public Works has been removing trash weekly from the parks. There have been pavilion reservations that staff monitors to ensure that the facilities are in good condition before and after the events. Staff has also been dealing with an irrigation problem at Goodview Park. Staff has replaced numerous irrigation heads and valve bodies that have been failing. We have recently received a quote for a new VFD and another for VFD parts. Staff will evaluate the options and schedule the appropriate repair.



CITY OF WYOMING

P.O. Box 188, 26885 Forest Blvd., Wyoming, MN
55092 Phone: 651-462-0575 Fax: 651-462-0576

**CITY OF WYOMING
PLANNING AND ZONING**

TO: City Council
DATE: June 20, 2023
FROM: Kim Lindquist, City Planner
Fred Weck, Zoning Administrator
RE: Site Plan Review,
APPLICANT: Piper Properties, LLC
Gregory Contracting, Inc.
PROPERTY: R.21.10712.10
FILE NO.: SP-23-004 & V-23-001

OVERVIEW

Piper Properties, LLC (“Applicant”) has requested a site plan review to construct a new 8,623 square foot office building on their property at 7310 Lake Boulevard. The new building would be leased to Gregory Contracting, Inc. The parcel currently abuts County Road 8 to the south and Hazel Avenue to the east and is presently vacant. In the future, with the changes to Hwy 8, the road configuration around the site will change. The site was rezoned and reguired from residential to commercial in early 2022.

The applicant originally requested a site review in August 2022 but withdrew the application before presenting to the planning commission. The project was review was postponed and plans changed to address concerns noted in the first project review.

The applicant’s proposal is to build an office building, which includes some storage and showroom space, on the southwest portion of the parcel. The proposed building will have two different parking areas serving the main structure – with both lots accessible through separate access points from Hazel Avenue. As compared to the prior plan, the current proposal no longer references a future building that would be located on the northeastern portion of the parcel.

In addition, plans illustrating site grading, storm sewer and access have been revised and are provided. Given the property location the plan must meet both C-Commercial District standards and Highway 8 Overlay District Regulations. Unfortunately, the site plan does not comply with ordinance setback standards for front yard setback from Hwy 8 for the parking and principal structure. Therefore, setback variances are required for the project as proposed.

STAFF RECOMMENDATION

Based on review of the request and the standards for approval, staff is recommending approval of a site plan for the new Gregory Contracting, Inc. office building at 7310 Lake Boulevard subject to the following conditions:

1. The Applicant shall revise the building elevations to provide a wainscoting around the entire building comprised of stone, rockface block, or brick.
2. The Applicant shall submit a lighting plan that complies with all standards in ordinance lighting requirements Article VII, Division 15, including turning off site lighting, except for security lighting one (1) hour after closing.

3. Any signage on site will require a separate sign permit (s).
4. The Applicant address all engineering comments provided to the applicant.
5. The Applicant shall install screening consistent with the ordinance requirements along the western parcel boundary.
6. All required local, state and/or federal permitting must be obtained.

Based on review of the request and the standards for approval, staff is recommending approval of the following five variances for the Gregory Contracting, Inc. office building at 7310 Lake Boulevard based upon the following findings of fact:

Variances:

- 117.5' principal structure setback when 150' from the right-of-way line is required.
- 48' parking setback when 150' from the right-of-way line is required.
- 47.5' sign setback when 150' from the right-of-way line is required.
- A variance from the architecture standards Section 40-451 for exterior materials to permit the proposed design subject to the conditions of the site plan approval.
- A variance from the screening standards Section 40-720 to omit screening for the north property line subject to the conditions of the site plan approval.

Based upon the following findings of fact:

- (a) Impair an adequate supply of light and air to adjacent property.
- (b) Unreasonably increase the congestion in the public right-of-way.
- (c) Increase the danger of fire or endanger the public safety.
- (d) Unreasonably diminish or impair established property values within the neighborhood.
- (e) Cause an unreasonable strain upon existing municipal facilities and services.
- (f) Be contrary in any way to the spirit and intent of this Ordinance.
- (g) Have a negative direct or indirect fiscal impact upon the City or school district unless the proposed use is determined to be in the public interest.

STAFF REVIEW

Site Plan Review

The subject property was rezoned and reguided to C-Commercial District in Spring 2022, and it is not currently developed. The zoning and surrounding uses are as follows:

North – R2–Rural Residential II District; low-density housing.

South – Hwy 8, C-Commercial, A-Agriculture, and R1-Rural Residential I Districts. Light commercial use and low-density housing.

East –R2-Rural Residential II; low-density housing and agricultural uses.

West –R2-Rural Residential II District; low-density housing.

The applicant is proposing that the lot will serve as a newly constructed office space with a public showroom and warehousing space. Office buildings are a permitted use in the Commercial District. This parcel is not located within either the Shoreland or Floodplain Districts, however, is located within the Highway 8 Overlay District. The site is unusually shaped, a triangular shape, and therefore

the site plan is being evaluated with one front yard and two side yards. The following table summarizes the regulations associated with the site, noting the Commercial District requirements standards:

Zoning District	<u>C- Commercial District</u>	<u>Proposed</u>
Lot Width	200 feet	351 feet (existing condition)
Lot Size	2.5 acres (minimum)	1.78 acres (existing condition)
Front Yard Setback	150 feet from right-of-way of Trunk Highway 8 for principal structure and parking	117.5 feet principal structure, * 48' for parking *
Side Yard Setback (west)	20 feet (principal building), 20 feet (parking area)(adjacent to residential districts)	20 feet
Side Yard Setback (east)	20 feet (principal building), 20 feet (parking area) (adjacent to residential districts)	139 feet, 89 feet
Building Height	45 feet (four stories) maximum	28.5 feet
Impervious Surface	75% (maximum)	31.5%

variance from the front yard parking setback is required

Lot Layout

There are a total of five variances that will be needed to permit the site plan as proposed. Three are for setbacks from Hwy 8 and the fourth is for the exterior building materials.

There is a front yard principal structure and parking setback requirement of 150' to the Hwy 8 right of way. Currently the office structure is set back 117.5' feet and the parking is set back 48'. The proposed monument sign has a 48.5' set back. The setback standard is found in the Hwy 8 overlay district and is required to ensure there is enough distance from any new construction to the future road. Because plans are almost completed for Hwy 8, it is anticipated that after installation of the Hwy 8 road system, two of the three variances will be moot. The new setback requirements, after road construction will be 135' front yard for the principal structure and 10' setbacks for parking and the monument sign. The parking and sign would be in compliance in the future.

The fourth variance is from the architectural standards of the ordinance given the very residential character and materials proposed. More information is provided below. And the fifth variance is from the screening requirements for a commercial site adjacent to residential development.

Architecture

The proposed one-story building is residential in character with a pitched roof. The building footprint is 130' x 62' with a small vestibule at the southern main entrance and 519 square feet of mezzanine space and unoccupied attic space. Total building square footage is 8554 square feet. The provided floor plan indicates eleven offices with showroom and storage, along with break room, restrooms, conference room, and reception area. A deck and paver patio is also proposed along the south and southwest side of the building.

Property developing in the Commercial District must adhere to the architectural standards and exterior materials contained in Division 5 Architectural Standards, Section 40-451(2). As part of these standards, commercial structures must be composed of at least sixty-five percent (65%) Class I materials; and not more than thirty-five percent (35%) percent Class II or Class III materials. The building elevations provided indicate that fiber cement lap siding will be used for the majority of all the sides of the principal building totaling over 68% of all the exterior material. Therefore, the building will have over 35% of the exterior covered in fiber-cement exterior lap siding, a material that is classified as a Class III material. Previously staff had indicated that the exterior material should be altered to meet ordinance standards. However, it is recognized that the Planning Commission is reviewing the city's architectural standards and anticipates some changes will occur. While it is impossible to predict the final outcome, it is anticipated that there would be some relaxation in the amount of "high quality" standards currently required. In recognition of the residential character of the building staff is suggesting a variance be granted for the exterior materials. However, it is also recommended that the applicant provide a wainscoting around the entire perimeter of the building, including the front façade, comprised of a decorate block or brick facing or the stone used on the front entrance, not the concrete block proposed.

Other design standards are met by having a consistent architectural expression on all sides of the building and being compatible with its surroundings.

Landscaping

City standards require landscaping with a combination of overstory trees, understory trees, and shrubs within one year following the completion of development. The site must have a minimum of one overstory tree and two understory trees per 1/10 acre of land not being used for structures or parking, which will require at least 7 overstory trees and 14 understory trees. As currently proposed, the site plan meets the standards though the use of coniferous and deciduous trees as the plan proposes 2 evergreen trees, 5 overstory trees and 14 understory trees. Proposed trees meet all size and height requirements as shown on the plant schedule. All site areas not covered by buildings, sidewalks, parking lots, driveways, or similar hard surface materials must be covered with plantings or an equivalent groundcover – excluding site areas that are preserved in a natural state. The landscaping plan illustrates compliance with this standard.

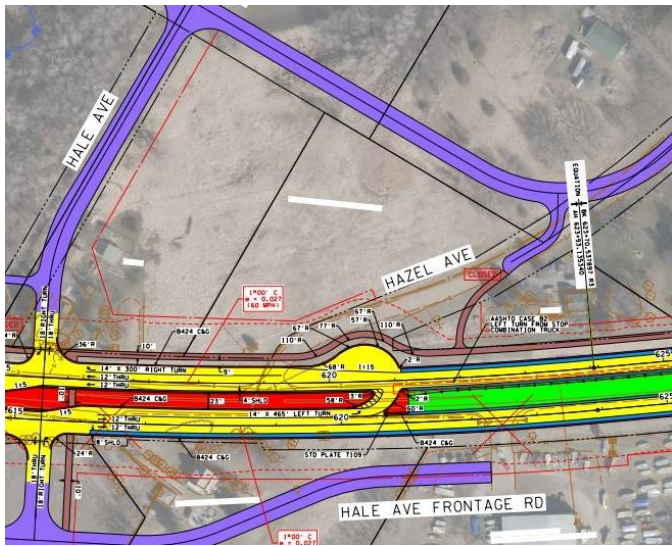
There are two differing plans relating to screening on the west side of the site. The landscape plan illustrates groupings of landscaping while other plans show a row of trees to aid in screening to the residential use in the west. Previously there was a privacy fence proposed along the western property line to provide screening. The applicant has requested a variance from the screening standards to the west and north due to the future configuration of the roadway system. Staff continues to recommend some screening treatment along the west due to the existing development to remain. Staff does not support the same treatment on the other sides of the site given the future roadway changes that are anticipated.

Screening standards also require a fully enclosed gate surrounding any trash storage facility and the site has a planned trash enclosure to the northwest of the main structure that meets this standard.

No additional tree removal is proposed to occur.

Roads, Traffic, and Access

The proposed development would create one new access point on Hazel Blvd. Currently Hazel Avenue is the only option for access to the site. In the future, Hwy 8 will be reconstructed, and local roads reconfigured, eliminating direct access to Hazel Avenue from Hwy 8 as shown below. At that time a new access will be created from the north, where a new road will be constructed. The future access is visible on the landscape and utility plans.



Drainage/Natural Resource/Wetlands

The site is within the Comfort Lake – Forest Lake Watershed District (CLFLWD) and permitting will be required through the CLFLWD. The site has obtained conditional approval from CLFLWD. Based on the proposed disturbance area being over an acre, a NPDES permit is also required. The SWPPP in the plans should be updated to provide all requirements noted in the NPDES Permit. There is no floodplain in the area so no floodplain permitting is required. The site is proposing to meet all stormwater management requirements using one filtration basins onsite. The basin is being designed and sized for the impervious proposed. The site is meeting City freeboard requirements as currently designed. Drainage and utility easements are required over stormwater management facilities and a stormwater maintenance agreement will be required. The stormwater plan meets current standards and is sized for the principal structure. Additional comments on the drainage design have been provided to the applicant and should be addressed as the project moves forward.

The farmed wetlands onsite will be filled and mitigated offsite; therefore, the proposed project is not required to meet any wetland bounce and inundation period requirements.

Utilities

City sewer and water are not available in the area of the proposed site. There are several plumbing fixtures shown as part of the proposed floor plan of the building including bathrooms as well as sinks

in the break and maintenance rooms. The applicant will need to provide details and show on the Utility Plan Sheet how the building will be served on-site by well and septic system.

Parking

The proposed development contains both office, mezzanine and storage space for a total of 8,623 square feet of office space. The parking standard for office space is 1 stall/250 square feet meaning 34 parking spaces are required for the project. As shown, the site plan depicts 25 parking stalls, and 6 “Proof Parking” spots, 3 below the ordinance requirement. In reviewing the floor plans, a portion of the building is dedicated to storage and showroom. The applicant’s narrative indicates there is 1669 square feet of showroom, 3193 square feet of office space and 3173 square feet of storage on the main floor with an additional 519 square feet of storage in the mezzanine. Using the land uses indicated by the applicant, the parking requirements would be reduced to approximately 20 stalls; 13 for the office use and 7 for the storage/showroom use. Because there is no room for on-street parking in this area the applicant should maintain the number of stalls shown with the 6 proof of parking. The City appreciates not adding stalls if unnecessary, which allows more green space. However, the property owner should not significantly change the use of the building space given the parking available on the site.

Lighting

As part of the site plan review, the applicant must illustrate adherence to all ordinance performance standards including lighting standards. Lighting standards require that any development cannot have a light intensity that exceeds 1 foot candle on the right-of-way line of a public street or a residential property. Also, light fixtures may not be taller than 25 ft, to limit potential spillover lighting on public streets. Lighting location performance standards state that light fixtures must be setback a minimum of 10 ft from a street right-of-way and 5 ft from interior and rear lot lines. Furthermore, there shall be no light fixtures on the roof of the building. The applicant indicates there will be no parking lot lighting and the building will have lighting at the building entrance.

Highway 8 Overlay District

Chapter 40; Article VI, Division 14 of the City of Wyoming’s municipal code outlines the requirements for any use within 500 ft of either side of Highway 8 ROW. Because the entire parcel is within this overlay zone, all buildings, parking areas, and other structures in the site plan must be setback at least 150 ft from the Highway 8 ROW. This standard prompts the need of a variance for the southern parking area.

Variance Review

Section 40-120(5) outlines the criteria for granting a variance to provide relief to the landowner. The current proposal requires a variance from the Hwy 8 setback standards for the principal structure, parking lot, and monument sign setbacks. They are also requesting variances from the screening and exterior materials regulations. As noted in the report, staff would support some exceptions to the performance standards but is asking for some changes to the materials and site screening.

The following are the criteria for granting of a variance:

- (a) The property is question cannot be put to a reasonable use if used under the conditions allowed by this Ordinance.
- (b) Exceptional or extraordinary circumstances apply to the property which does not apply generally to other properties in the same zone or vicinity, and result from lot size or shape, topography, or other

circumstances over which the owners of the property, since enactment of this Ordinance, have had no control.

(c) That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this Ordinance.

(d) The special conditions or circumstances do not result from actions of the applicant.

(e) That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to owners of other lands, structures, or buildings in the same district.

(f) The variance requested is the minimum variance which would alleviate the hardship.

(g) The variance would not be materially detrimental to the purposes of this Ordinance, or to property in the same zone.

(h) Economic conditions or circumstances alone shall not be considered in the granting of a variance request if a reasonable use of the property exists under the terms of the ordinance

As mentioned throughout the report, staff supports the setback variances and notes that once Hwy 8 is constructed the parking and monument sign would meet the ordinance setback standards. The principal structure will still need a variance but not as severe at the current condition.

The two other variances are from performance standards associated with the site plan. Staff is supportive of a modification to exterior materials to allow the proposal but is recommending a wainscoting around the entire building perimeter of high-quality materials as defined in the ordinance, like stone, brick, or rockface block. The other performance-based variance relates to screening between a residential and commercial use. The applicant has not proposed any screening to the north or west. Staff can support the lack of screening in the north, knowing that the frontage road will ultimately be adjacent to the north property line. However, in the west, a residential use currently exists. It is unclear when or if that use will be removed or modified in the near future. Staff believes screening should occur along the west property line consistent with the ordinance requirement.

Staff believes the requests meet the 8 criteria for granting a variance with the above clarifications.

The ordinance also provides 7 findings of fact for granting of a variance:

(a) Impair an adequate supply of light and air to adjacent property.

(b) Unreasonably increase the congestion in the public right-of-way.

(c) Increase the danger of fire or endanger the public safety.

(d) Unreasonably diminish or impair established property values within the neighborhood.

(e) Cause an unreasonable strain upon existing municipal facilities and services.

(f) Be contrary in any way to the spirit and intent of this Ordinance.

(g) Have a negative direct or indirect fiscal impact upon the City or school district unless the proposed use is determined to be in the public interest.

Staff believes these findings of fact have been met for the 5 variance requests with the recommended changes found in the recommended conditions of approval.

Site Plan Review Standards

In accordance with Sec. 40 – 86, the following criteria shall be met during the site plan review application process:

- (1) Consistency with the various elements and objectives of the City’s long-range plans, including, but not limited to, the Comprehensive Plan;
- (2) Consistency with the purposes of this Code;
- (3) Preservation of the site in its natural state, insofar as practicable, by minimizing tree and soil removal, and designing any grade changes so as to be in keeping with the general appearance of neighboring developed or developing areas;
- (4) Creation of a harmonious relationship of buildings and open spaces with the terrain and with existing and future buildings having a visual relationship to the proposed development;
- (5) Creation of a functional and harmonious design for structures and site features including;
 - (a) Creation of an internal sense of order for the various functions and buildings on the site and provision of a desirable environment for occupants, visitors and the general community;
 - (b) Appropriateness of the amount and arrangement of open space and landscaping to the design and function of the development;
 - (c) Appropriateness of the materials, textures, colors and details of construction as an expression the design concept of the project and the compatibility of the same with the adjacent and neighboring structures and functions; and
 - (d) Adequacy of vehicular, cycling and pedestrian circulation, including walkways, interior drives and parking, in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian, cycling and vehicular traffic and arrangement and amount of parking so as to be safe, convenient and, insofar as practicable, compatible with the design of proposed buildings, structures and neighboring properties.
- (6) Creation of an energy-conserving design through design, location, orientation and elevation of structures, the use and location of glass in structures, and the use of landscape materials and site grading; and
- (7) Protection of adjacent and neighboring properties through reasonable provisions for such matters as surface water drainage, sound and sight buffers, preservation of views, light and air, and those aspects of design, not adequately covered by other regulations, which may have substantial effects on neighboring land uses.

These standards are met subject to conditions of approval.

Planning Commission Recommendation

VariANCES – On June 13, 2023 he Planning Commission publicly heard the petitioner’s request. After hearing testimony and discussion, the Planning Commission voted unanimously to recommend approval of the requested variances from Sections 40 – 255, (4), (a) & 40-296; and 40 – 720 of the; based on the following findings of fact:

1. The standards contained in Sec. 40 – 120, (5), Items a, b, c, d, e, f, g, and h of the City of Wyoming Zoning Ordinance have been met.
2. The proposed variance will not impair an adequate supply of light and air to adjacent property.
3. The proposed variance will not unreasonably increase the congestion in the public right-of-way; increase the danger of fire or endanger the public safety.
4. The proposed variance will not unreasonably diminish or impair established property values within the neighborhood.
5. The proposed variance will not cause an unreasonable strain upon existing municipal facilities and services.
6. The proposed variance will not be contrary in any way to the spirit and intent of this Ordinance.
7. The proposed variance will not have a negative direct or indirect fiscal impact upon the City or school district.

The recommendation for the approval of requested variance from Section 40-720 for omitting screening has the following condition consistent with the proposed site plan review conditions:

1. The Applicant shall install screening consistent with the ordinance requirements along the western parcel boundary.

Site Plan Review - On June 13, 2023 the Planning Commission publicly heard the petitioner's Site Plan Review request. The applicant stated to the Planning Commission that they are pursuing a permanent solution to the temporary membrane structure; whether that be a permanent building to replace it or they find warehousing space somewhere else. After hearing testimony and discussion, the Planning Commission voted unanimously to recommend approval of the request with the following conditions:

1. The Applicant shall revise the building elevations to provide a wainscoting around the entire building comprised of stone, rockface block, or brick.
2. The Applicant shall submit a lighting plan that complies with all standards in ordinance lighting requirements Article VII, Division 15, including turning off site lighting, except for security lighting one (1) hour after closing.
3. Any signage on site will require a separate sign permit (s).
4. The Applicant address all engineering comments provided to the applicant.
5. The Applicant shall install screening consistent with the ordinance requirements along the western parcel boundary.
6. All required local, state and/or federal permitting must be obtained.



City Of Wyoming
 26885 Forest Blvd., PO Box 188
 Wyoming, MN 55092
 Phone (651) 462-4947 Fax (651) 462-3938

SITE PLAN REVIEW
LAND USE APPLICATION

A site plan review application requests a use permitted in a particular zoning district, but regulated and controlled through conditions placed upon it by the City Council after review by the Planning Commission.

Property Address: ~~730 LAKE BLVD~~ 246 XX Hazel Avenue

Applicant(s) Information:

Name(s) RICHARD A. GREGORY JR. / PIPER PROPERTIES LLC Home _____
 Address 23090 HAVELKNCT N Work 651-206-2853
 City FOREST LAKE State MN Zip 55026 Email 651-213-0668
DJ @ GREGORY CONTRACTING

Owner(s) Information: (if other than Applicant(s))
 Same as Applicant

Name(s) _____ Home 651-206-2853
 Address _____ Work 651-213-0668
 City _____ State _____ Zip _____ Email dj@gregorycontracting.com
 Date 05/17/2023

Owner(s) Signature(s) [Signature]

Legal description of property: _____

Property Identification Number: R.21. 10712.10 Present zoning: C.

Present use of property: VACANT.

Proposed use of property: BUSINESS

This application and the following attachments must be submitted to be considered a complete application:

1. A detailed site plan showing the information listed in Section 40 - 82, 1-6 as well as the following:
 - a. The grading and drainage plan must be designed in accordance with Article VII, Division 21 of the Zoning Ordinance and the City of Wyoming Surface Water Resource Guidance Document.
 - b. Elevation drawings of all sides of the proposed building to show compliance with the architectural standards of the zoning district the use will be located in.
 - c. Landscaping and Screening in accordance with Article VII, Divisions 14 & 26.
 - d. Lighting Plan in accordance with Article VII, Division 15.
2. A letter explaining the proposed use and how it will be operated.
3. Applications for uses described in Article VI, Divisions 7, 18, & 19 and Article VII, Divisions 2, 8, 10, 17-20, and 25 of the Zoning Ordinance must include the information necessary to show compliance with the applicable section of the ordinance.
4. Applications for uses that are within the Highway 8 Overlay District or that utilize Highway 8 for access must include the information necessary to show compliance with Article VI, Division 14 of the Zoning Ordinance.
5. The application fee and escrow must be paid at the time of application. The fee is not refundable. The unused portion of the escrow will be returned to the applicant.
6. Any other information deemed necessary by the Zoning Administrator or Planning Commission.

Signature of applicant(s) [Signature] Date 5/17/23

As the applicant for this request, I agree to reimburse the City for all expenses incurred by the City in employing planning, engineering, legal, and other professional consultants in reviewing this application. This may include the replenishment of any escrow funds as required as part of this application. Such costs shall be paid by me, the applicant, regardless of the outcome of the review and prior to commencing any work on the project. All of Article V, Division 4, Site Plan Review is attached to this application and by signing this application, the applicant acknowledges that it has been read and understood.

A public meeting can be scheduled only after a complete application has been received.

 Application # Sp-23-004 OFFICE USE ONLY Date Application Received 5/18/23
 Date Complete Application Received 5/18/23 60 Days 7/17/23 By: [Signature]
 Fee \$220.00 + Escrow \$1,000.00 Date Paid 5/18/23 Check # ✓

City of Wyoming

This letter is in regard to the property located at 7310 Lake Blvd. Piper Properties LLC is the owner of the property and Gregory Contracting will be leasing the property. Gregory Contracting will have its offices at this location including a showroom. Gregory Contracting's operations will be run out of this building. A future building for operations is cited in the plans also.

Date: July, 12th 2022

Thank you,
Richard Gregory
Owner: Piper Properties, LLC
Owner: Gregory Contracting, Inc.
23090 Havelka Ct., Forest Lake, MN 55025
651-206-2853

GREGORY CONTRACTING - OFFICE BUILDING

Gregory Contracting Office Building project is being re-submitted for approval by Planning and Council. The building is to be built by Piper Properties LLC , the owner, and is intended to house the construction offices for Gregory Contracting. The facility will have a showroom space in the front, multiple offices and office function in the middle, with storage area in the rear of the building. The lot is presently zoned C Commercial District. The proposed use is allowed use.

The existing site is approximately 2.0 Acres in size with two wetlands. The wetlands have been mitigated on the building site. The total disturbed area for the project is 1.78 Acres (77733 SF) this includes the building, driving and parking areas, storm water ponding, mound system and re-grading required for the project. The final Hard surface will be .63 Acres (31.5% hard surface).

The project has been reviewed by Watershed and is anticipated to have final approval by the time of this Planning meeting.

The present lot is non-sewered and a type C Mound system is intended for this project. A well is also intended and a location is shown on the West side of the new building in the Architectural Site Plan. Parking Lighting is not intended currently. The building will have lighting at the entrances.

The building is set back 191'-2" from Hy 8 (requiring a variance of 32'-7") and 52'-0" from Hazel Avenue. The plans show the most recent scheme for the anticipated Hy 8 development. The West of the building is set back 20'-0" and the Northerly corner of the building is 102'-5" from the North property line or 68'-10" from the anticipated property line if the new frontage road is completed on the north side.

The building is 130' long and 62' in width with a 4' x 11' entrance. The interior of the building will consist of 1669 SF of showroom, 3193 Sf of office space and 3173 SF of storage, on the main floor with an additional 519 SF of cold storage in the Mezzanine space. Chapter 40-672, #3 in the city code asks us to break down the uses to determine the parking requirements. Doing this gives us a requirement of 25 cars. We are showing 24 cars, with one additional Accessible Stall. Giving a total of 25 parking spaces. In addition, or if needed in the future, additional "proof of parking spaces" are shown, five standard stalls and one additional accessible stall. Currently Wyoming does not recognize proof of parking, The 25-parking stall requirement satisfied, without the additional proof stalls. The 25-stall count should be in excess of what Gregory contracting will actually need as well.

The building's maximum height is height is 28'-7" tall, at the back ridge line. The siding consists of a blend of LP Smartside lap Siding, LP board and batten siding, and LP shakes and some stone. Presently the city code considers the LP Smartside siding to be a Class II type of material with wood siding being classified as a Class I material. We are asking for a variance to consider the Hardy siding to be a class I material as it lasts longer, holds paint much longer than normal cedar or wood siding. With this variance approved the building would then be over 97% Class I material

The project has an enclosed trash enclosure on the north side of the building. We are asking to have a variance for the fencing when abutting a residential property removed, the West and North property lines. The property to the West will be vacated for a new intersection coming off of Hy 8 and the North property will abut a new proposed frontage road.

Signage will be done with a separate permit.

Variances:

- Setback from HY 8
- Building Materials
- Fencing on the North and West sides of the property.



City Of Wyoming
 26885 Forest Blvd, PO Box 188
 Wyoming, MN 55092
 Phone (651) 462-4947
 permits@wyomingmn.org

LAND USE & VARIANCE APPLICATION

A variance application initiates a request for an allowance to vary from the terms of the Ordinance and is heard by the Planning Commission who will make a recommendation to the City Council. The City Council will make the final decision.

Property Address: ~~7310 LAKE BLVD~~ 246 XX Hazel Avenue

Applicant(s) Information:

Name(s) REHARDA GREGORY JR./PIPER PROPERTIES LLC Home 651-206-2853
 Address 23090 HAVELKA CTN Work 651-213-0668
 City FOREST LK. State MN Zip 55025 Email DJ GREGORY CONTRACTING LLC

Owner(s) Information: (if other than Applicant(s))

Name(s) _____ Home 651-206-2853
 Address _____ Work 651-213-0668
 City _____ State _____ Zip _____ Email dj@gregorycontracting.com
 Owner(s) Signature(s) [Signature] Date 05/17/2023

Legal description of property: _____

Property Identification Number: R.21-10712.10 Present Zoning: C - COMMERCIAL

Present use of property: VACANT

Proposed use of property: BUSINESS

Description of request: - SEE ATTACHED NARRATIVE

This application and the following attachments must be submitted to be considered a complete application:

1. A detailed map of the property showing the location of existing and proposed structures and improvements and existing land uses and buildings of adjacent properties within 500 feet. A survey is required for all setback variances.
2. A letter to the Planning Commission describing the variance request and how the request satisfies the criteria found in Sec. 40-120, (5), (a) - (j).
3. A completed Variance Worksheet (attached).
4. The variance fee (\$220.00) must be paid at the time of application. The application fee and escrow must be paid at the time of application. The fee is not refundable. The unused portion of the escrow will be returned to the applicant.
5. Any other information deemed necessary by the Zoning Administrator or Planning Commission. (A variance application for a property in a Shoreland District must include a valid Septic System Certificate of Compliance)

A public hearing can be scheduled only after a complete application has been received.

Applicant(s) Signature [Signature] Date 5/17/23

As the applicant for this request, I agree to reimburse the City for all expenses incurred by the City in employing planning, engineering, legal, and other professional consultants in reviewing this application. This may include the replenishment of any escrow funds as required as part of this application. Such costs shall be paid by me, the applicant, regardless of the outcome of the review and prior to commencing any work on the project. All of Article V, Division 7, Variances, is attached to this application and by signing this application, the applicant acknowledges that it has been read and understood.

OFFICE USE ONLY

Application # V-23-001

Date Complete Application Received 5/18/23

Fee \$220.00 + Escrow \$750.00
 Revised 01/24/23

Date Application Received 5/18/23

60 Days 7/17/23

Date Paid 5/18/23

By: [Signature]
 Official

Check # ✓

City of Wyoming Variance Worksheet - SCREENING -

Applicant(s): RICHARD A. GREGORY JR / PIPER PROPERTIES LLC Phone: 651-206-2853
 Address: 23090 HAVELKA CT W.
 Variance request description: - FENCING IN: W PROP. LINES / FRONT YD, SETBACK / CLASSIFIED WITH
 Ordinance Section number: SEC 40-721 - RES USES

Answer the following questions based on the criteria found in Sec. 40 – 120, (5), (a) – (j). If needed, use a separate page. All questions must be answered.

Criteria #1 The property in question cannot be put to a reasonable use if used under the conditions allowed by this Ordinance.
Applicant - Can the property in question be put to a reasonable use if used under the conditions allowed by this Ordinance? Yes No

Describe: PROPERTY IS STILL USABLE, BUT WHEN HTS IS BUILT.

THE PROPERTY TO WEST WILL OR MAY NOT EXIST. / PROPERTY TO NORTH WILL HAVE A ROAD BETWEEN

Criteria #2 Exceptional or extraordinary circumstances apply to the property which do not apply generally to other properties in the same zone or vicinity, and result from lot size or shape, topography, or other circumstances over which the owners of property since enactment of this Ordinance have had no control.

Applicant - Do exceptional or extraordinary circumstances apply to the property that do not apply generally to other properties in the same zone or vicinity, and do they result from lot size or shape, topography, or other circumstances over which the owners of property since enactment of this Ordinance have had no control? Yes No

Describe: RES PROPERTY TO WEST WILL NOT EXIST OR WILL BE

COMMERCIAL PROP. TO NORTH WILL HAVE A FRONTAGE ROAD AS A BUFFER

Criteria #3 That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this Ordinance.

Applicant - Does the literal interpretation of the provisions of this Ordinance deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this Ordinance? Yes No

Describe: THIS PROVISION IS WHEN ADJACENT A RES PROPERTY

WITH IN A COUPLE OF YEARS THE RES PROPERTY WILL/MAY NOT EXIST

Criteria #4 The special conditions or circumstances do not result from actions of the applicant.

Applicant - Do the special conditions or circumstances result from actions of the applicant? Yes No

Describe: APPPLICANT WILL STILL BE FOLLOWING THE

INTENT OF SEC. 40-721.

ity of Wyoming Variance Worksheet (Continued)

riteria #5 That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to owners of other lands, structures, or buildings in the same district.

Applicant - Will granting the variance requested confer on the applicant any special privilege that is denied by this Ordinance to owners of other lands, structures, or buildings in the same district? Yes No

If yes, describe. _____

riteria #6 The variance requested is the minimum variance which would alleviate the hardship.

Applicant - Is the variance you are requesting the minimum variance which would alleviate the hardship?

Yes No

Describe: _____

riteria #7 The variance would not be materially detrimental to the purposes of this Ordinance, or to property in the same zone.

Applicant - Will the variance be materially detrimental to the purposes of this Ordinance, or to property in the same zone? Yes No

Describe: _____

riteria #8 Economic conditions or circumstances alone shall not be considered in the granting of a variance request if a reasonable use of the property exists under the terms of the ordinance.

Applicant - Is the requested variance for economic reasons? Yes No

Describe: THE VARIANCE FOR THE FENCE IS NOT ECONOMIC

THE FENCE WOULD PUT UP A VISUAL BARRIER & BE DETRIMENTAL TO APPLICANT & NEIGHBORS.

riteria #9 In the Flood Plain District, no variance shall be granted which permits a lower degree of flood protection than the Regulatory Flood Protection Elevation for the particular area or permits standards lower than those required by state law.

Applicant - Is the property in a Flood Plain District? Yes No

riteria #10 Variances shall be granted for earth-sheltered construction by state statutes when in harmony with this Ordinance.

Applicant - Is the variance for earth-sheltered construction? Yes No

If yes, how is the request in harmony with the ordinance? _____

City of Wyoming Variance Worksheet - HTB - FRONT YARD SETBACK

Applicant(s): RICHARD A. GREGORY JR / PAPER PROPERTIES LLC Phone: (51) 206-2853
 Address: 23090 HAVELKA CT W.
 Variance request description: - FACING IN: W PROP. LINES, FRONT YD, SETBACK / CLASS I BLDG
 Ordinance Section number: HTB - 135 - SETBACK - 15 - 25A 3-A M.T.S

Answer the following questions based on the criteria found in Sec. 40 - 120, (5), (a) - (j). If needed, use a separate page. All questions must be answered.

Criteria #1 The property in question cannot be put to a reasonable use if used under the conditions allowed by this Ordinance.
Applicant - Can the property in question be put to a reasonable use if used under the conditions allowed by this Ordinance? Yes No

Describe: # APPLICANT HAS ALLOWED FOR A # HAVING THE NORTH PROPERTY LINE TO BE MOVED & IS ALLOWING HTB EXPANSION WITH BOTH SIDES VACATIONS. PROPERTY IS TOO SMALL

Criteria #2 Exceptional or extraordinary circumstances apply to the property which do not apply generally to other properties in the same zone or vicinity, and result from lot size or shape, topography, or other circumstances over which the owners of property since enactment of this Ordinance have had no control.

Applicant - Do exceptional or extraordinary circumstances apply to the property that do not apply generally to other properties in the same zone or vicinity, and do they result from lot size or shape, topography, or other circumstances over which the owners of property since enactment of this Ordinance have had no control?
 Yes No - VACATING PROPERTY ON NORTH - SOUTH SIDES APTOR HTB IS FINISHED - EXIST PROPERTY IS VERY SMALL
 Describe: SO THE FULL EXTENT OF THE 100' SETBACK IS A HARDSHIP THAT APPLICANT CAN NOT ACCEPT. NEW CONSTRUCTION FITS WITH PROPOSED HTB WORK & FRONTAGE ROAD ON NORTH

Criteria #3 That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this Ordinance.

Applicant - Does the literal interpretation of the provisions of this Ordinance deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this Ordinance?
 Yes No

Describe: SEE ABOVE

Criteria #4 The special conditions or circumstances do not result from actions of the applicant.
Applicant - Do the special conditions or circumstances result from actions of the applicant?
 Yes No

Describe: HARDSHIPS ARE FROM HTB SOUTH FRONTAGE ROAD ON NORTH..

ity of Wyoming Variance Worksheet (Continued)

riteria #5 That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to owners of other lands, structures, or buildings in the same district.

Applicant - Will granting the variance requested confer on the applicant any special privilege that is denied by this Ordinance to owners of other lands, structures, or buildings in the same district? Yes No

If yes, describe. —

riteria #6 The variance requested is the minimum variance which would alleviate the hardship.

Applicant - Is the variance you are requesting the minimum variance which would alleviate the hardship?

Yes No

Describe: APPLICANT HAS SPENT A LOT OF TIME & MONEY TO WORK

WITH PROPOSED WORK/BOUNDARIES ANTICIPATED W/ HTS
AND NORTH-FRONT YARD ROAD

riteria #7 The variance would not be materially detrimental to the purposes of this Ordinance, or to property in the same zone.

Applicant - Will the variance be materially detrimental to the purposes of this Ordinance, or to property in the same zone? Yes No

Describe: _____

riteria #8 Economic conditions or circumstances alone shall not be considered in the granting of a variance request if a reasonable use of the property exists under the terms of the ordinance.

Applicant - Is the requested variance for economic reasons? Yes No

Describe: _____

riteria #9 In the Flood Plain District, no variance shall be granted which permits a lower degree of flood protection than the Regulatory Flood Protection Elevation for the particular area or permits standards lower than those required by state law.

Applicant - Is the property in a Flood Plain District? Yes No

riteria #10 Variances shall be granted for earth-sheltered construction by state statutes when in harmony with this Ordinance.

Applicant - Is the variance for earth-sheltered construction? Yes No

If yes, how is the request in harmony with the ordinance? _____

City of Wyoming Variance Worksheet - SMART SIDING - AS A CLASS I MATERIAL

Applicant(s): RICHARD A. GREGORY JR / PIPER PROPERTIES LLC Phone: (651) 206-2853

Address: 23690 HAVELKA CT W.

Variance request description: - FINISH IN: W PROP. LINES / FRONT YD. SETBACK / CLASS I BLDG MATERIALS

Ordinance Section number: _____

Answer the following questions based on the criteria found in Sec. 40 - 120, (5), (a) - (j). If needed, use a separate page. All questions must be answered.

Criteria #1 The property in question cannot be put to a reasonable use if used under the conditions allowed by this Ordinance.

Applicant - Can the property in question be put to a reasonable use if used under the conditions allowed by this Ordinance? [X] Yes [] No

Describe: - BUILDING CAN BE FINISH W / WOOD SIDING -

BUT PROPOSED SMART SIDING IS A BETTER LONGER LASTING MATERIAL

Criteria #2 Exceptional or extraordinary circumstances apply to the property which do not apply generally to other properties in the same zone or vicinity, and result from lot size or shape, topography, or other circumstances over which the owners of property since enactment of this Ordinance have had no control.

Applicant - Do exceptional or extraordinary circumstances apply to the property that do not apply generally to other properties in the same zone or vicinity, and do they result from lot size or shape, topography, or other circumstances over which the owners of property since enactment of this Ordinance have had no control? [] Yes [] No

Describe: IN GENERAL LP SMART SIDING IS A BETTER MORE

DURABLE PRODUCT THAN THE WOOD SIDING.

Criteria #3 That literal interpretation of the provisions of this Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this Ordinance.

Applicant - Does the literal interpretation of the provisions of this Ordinance deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this Ordinance? [X] Yes [] No

Describe: LP SMART SIDING IS NOW A MORE USED & ACCEPTED

MATERIAL THAN THE WOOD SIDING.

Criteria #4 The special conditions or circumstances do not result from actions of the applicant.

Applicant - Do the special conditions or circumstances result from actions of the applicant? [] Yes [] No

Describe: N.A.

ity of Wyoming Variance Worksheet (Continued)

riteria #5 That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to owners of other lands, structures, or buildings in the same district.

Applicant - Will granting the variance requested confer on the applicant any special privilege that is denied by this Ordinance to owners of other lands, structures, or buildings in the same district? Yes No

If yes, describe. _____

riteria #6 The variance requested is the minimum variance which would alleviate the hardship.

Applicant - Is the variance you are requesting the minimum variance which would alleviate the hardship?

Yes No

Describe: - IT GIVES APPLICANT'S NEIGHBORS A BETTER

PRODUCT TO LOOK AT - FOR YEARS TO COME

riteria #7 The variance would not be materially detrimental to the purposes of this Ordinance, or to property in the same zone.

Applicant - Will the variance be materially detrimental to the purposes of this Ordinance, or to property in the same zone? Yes No

Describe: IT WILL BE THE OPPOSITE, IF LP SMART IS

NOT USED

riteria #8 Economic conditions or circumstances alone shall not be considered in the granting of a variance request if a reasonable use of the property exists under the terms of the ordinance.

Applicant - Is the requested variance for economic reasons? Yes No

Describe: COST - MAY BE MORE FOR APPLICANT.

riteria #9 In the Flood Plain District, no variance shall be granted which permits a lower degree of flood protection than the Regulatory Flood Protection Elevation for the particular area or permits standards lower than those required by state law.

Applicant - Is the property in a Flood Plain District? Yes No

riteria #10 Variances shall be granted for earth-sheltered construction by state statutes when in harmony with this Ordinance.

Applicant - Is the variance for earth-sheltered construction? Yes No

If yes, how is the request in harmony with the ordinance? _____

ZIERKE SOIL TESTING

DJ Gregory
10510 South Ave Ste B
Chisago City, MN 55013

5/12/2023

Dear DJ Gregory,

At your request, I have reviewed your proposed office construction plans for a vacant parcel in the City of Wyoming.

You have indicated that the maximum employee count in the building is 25. MN Rules 7080.0130 states that we need to account for 18 gallons per day per employee. This gives me a maximum daily flow of 450 gallons per day, which is equivalent to a 3-bedroom residential septic system.

The native soils on site have redoximorphic features at depths less than 12". This would mean a type three mound would be required. The soils in the top 12" on site are either loamy fine sand, sandy loam, or loam. The maximum mound absorption ratio of these soil types is 2:1. Therefore, the minimum space you'll need for a septic system is approximately 20'x40'. You will need to reserve a backup site, so I would recommend a 40'x50' area at minimum is set aside for primary and backup septic sites.

The present plan is to add sandy fill to the lot to raise the elevations up – in the current proposed septic area the fill depth could be four feet. I would propose testing the fill soil – percolation tests and borings – after it has been placed on the lot. This will give us an idea of how it will take water once we build a mound system on it. One caution – care should be taken not to compact the soil in the proposed septic area. Even sand can be compacted and have absorption issues with effluent.

Sincerely,

Benjamin Zierke

Benjamin Zierke
MPCA Lic 119, Cert 9594

ADDRESS:
28587 Jeffrey Ave
Chisago City, MN 55013

PHONE 651-249-1346
EMAIL benzierke@gmail.com

CERTIFICATE OF SURVEY

NEW STRAND
ADDITION
LOT 2
BLOCK 1

I V A N S K I 1
2
B L O C K 1

S E C . 3 4

SW 1/4 - NW 1/4
T W P . 3 3

U.S. HIGHWAY NO. 8

R N G . 2 1

PROPERTY DESCRIPTION: (per Warranty Deed Doc. No. A604532)

That part of the Southwest Quarter of the Northwest Quarter (SW 1/4 of NW 1/4) of Section Thirty-four (34), Township Thirty-three (33), Range Twenty-one (21) West, lying northerly of the northerly right-of-way line of Lake Boulevard (also known as Trunk Highway 8) and lying northerly of the northerly right-of-way line of Hazel Avenue (formerly known as Trunk Highway No. 98), EXCEPTING THEREFROM the West 267 feet thereof, Chisago County, Minnesota.

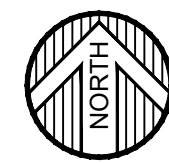
SURVEY NOTES:

- Orientation of this bearing system is based on the Chisago County Coordinate System NAD83 (1996 adj).
- Total Acreage of the property is 77,733 Sq. Ft. or 1.78 Acres.
- No address has been assigned to the property. PID No. 21.10712.10.
- The subject property is zoned R3 - Single Family Residential and Highway 8 Overlay District (per City of Wyoming Zoning Map).
Building setbacks: (per City of Wyoming City Code)
Front : 30 feet from local street / 150 feet from the ROW line of U.S. 8*
Rear : 35 feet
Side : 10 feet

*Minimum building setback on U.S. 8 per Highway 8 Overlay District
Building setbacks may be subject to interpretation.
- The field work was performed on February 8th, 2022.

LEGEND

- ROAD MARKER SIGN POST
- Y GUY ANCHOR
- GUY POLE
- † SIGN SINGLE POST
- ⊕ ELEC POLE
- TV PEDESTAL
- ✕ MAILBOX
- SECTION LINE
- SIXTEENTH LINE
- LOT LINE
- RIGHT OF WAY EXISTING
- CENTER LINE
- BOUNDARY LINE
- LOT LINE PROPOSED
- EASEMENT LINE
- BUILDING SETBACK LINE
- OHE OVERHEAD ELECTRIC
- OHC OVERHEAD GUY WIRE
- GRAVEL SURFACE
- BITUMINOUS SURFACE



● = DENOTES FOUND 1/2" IRON PIPE MONUMENT W/CAP MARKED 13590 UNLESS OTHERWISE SHOWN

West line of the SW 1/4 of the NW 1/4
S00°24'09"W 2638.04

HALE AVENUE

East line of the West 267 feet of the SW 1/4 of the NW 1/4
S00°24'09"W 412.54

S88°54'41"E 351.82

North line of the SW 1/4 of the NW 1/4

Northerly right of way line of Hazel Avenue (Former Trunk Highway No. 98)

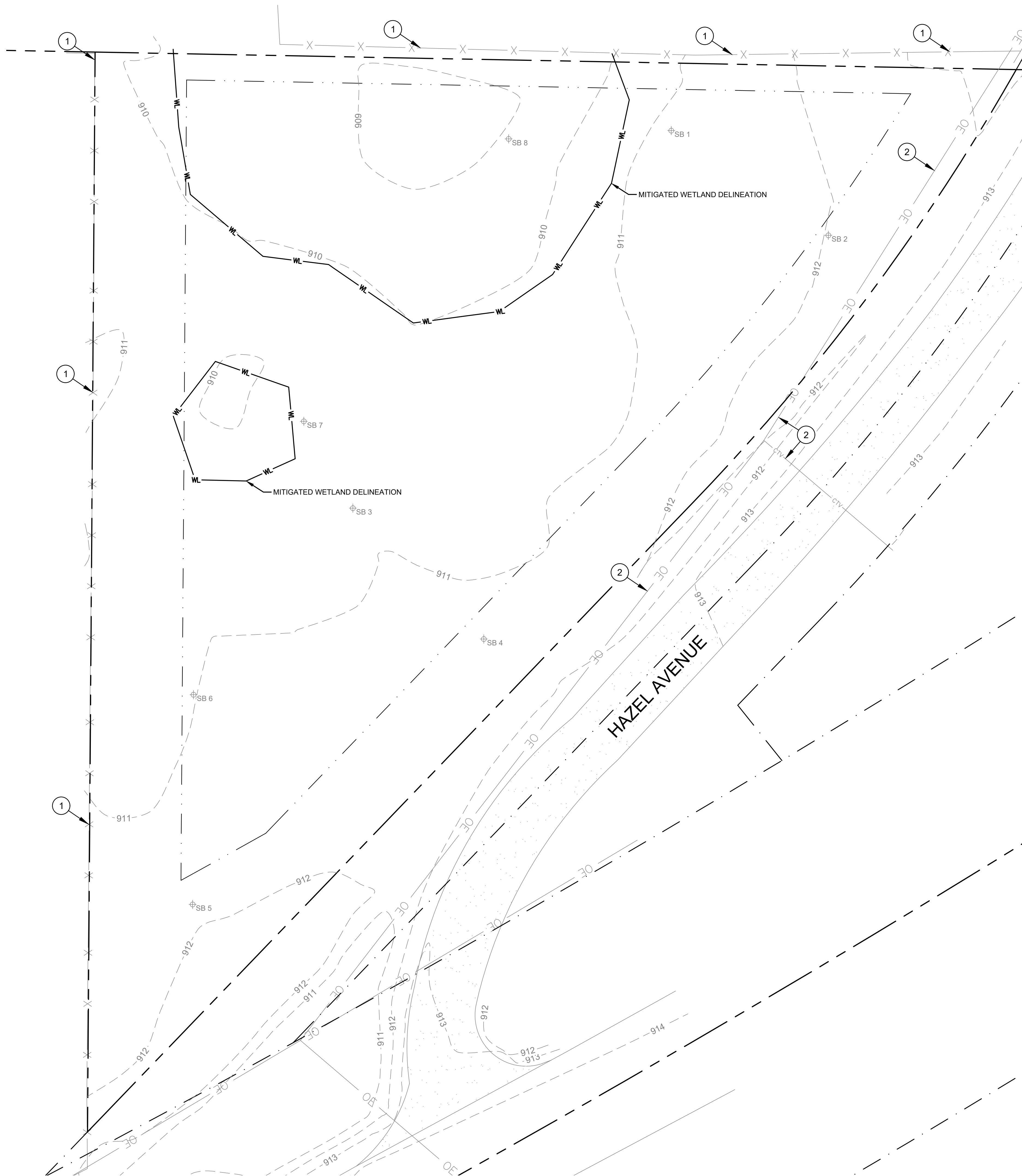
HAZEL AVENUE

Northerly right of way line of Lake Boulevard (Trunk Highway No. 8)

LAKE BOULEVARD

DATE:	February 18, 2022	DATE:		AMENDMENTS:		BY:		PREPARED FOR:	GREGORY CONTRACTING LLC
SCALE:	AS SHOWN							I HEREBY CERTIFY THAT THIS SURVEY, PLAN, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MINNESOTA.	
DRAWN BY:	JMM								
CHECKED BY:	SMK							Shawn M. Kupcho L.S. DATE: 2/18/22 LIC. NO. 49021	
FILE NUMBER:	2022-10177								

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SYMBOL LEGEND

- APPROXIMATE SOIL BORING LOCATION
- PROPERTY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE

DEMOLITION NOTES

1. Verify all existing utility locations.
2. It is the responsibility of the Contractor to perform or coordinate all necessary utility demotions and relocations from existing utility locations to all onsite amenities and buildings. These connections include, but are not limited to, water, sanitary sewer, cable tv, telephone, gas, electric, site lighting, etc.
3. Prior to beginning work, contact Gopher State OneCall (651-454-0002) to locate utilities throughout the area under construction. The Contractor shall retain the services of a private utility locator to locate the private utilities.
4. Sawcut along edges of pavements, sidewalks, and curbs to remain.
5. All construction shall be performed in accordance with state and local standard specifications for construction.

KEY NOTES

- ① PROTECT FENCE DURING CONSTRUCTION.
- ② PROTECT UTILITIES DURING CONSTRUCTION.

2023.05.01 CLFLWD SUBMITTAL - NOT FOR CONSTRUCTION

Larson Engineering, Inc.
 3524 Labor Road
 White Bear Lake, MN 55110
 651.481.9120 (F) 651.481.9201
 www.larsonengr.com
 © 2023 Larson Engineering, Inc. All rights reserved.

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.
Anna J. Hubben
 First M. Last, P.E.
 Date: 05.01.2023 Lic. No.: 25520

REVISIONS:

No.	Description	Date

GREGORY CONTRACTING LLC

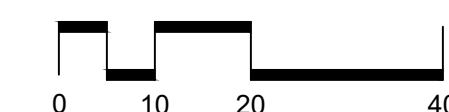
HAZEL AVENUE WYOMING, MN

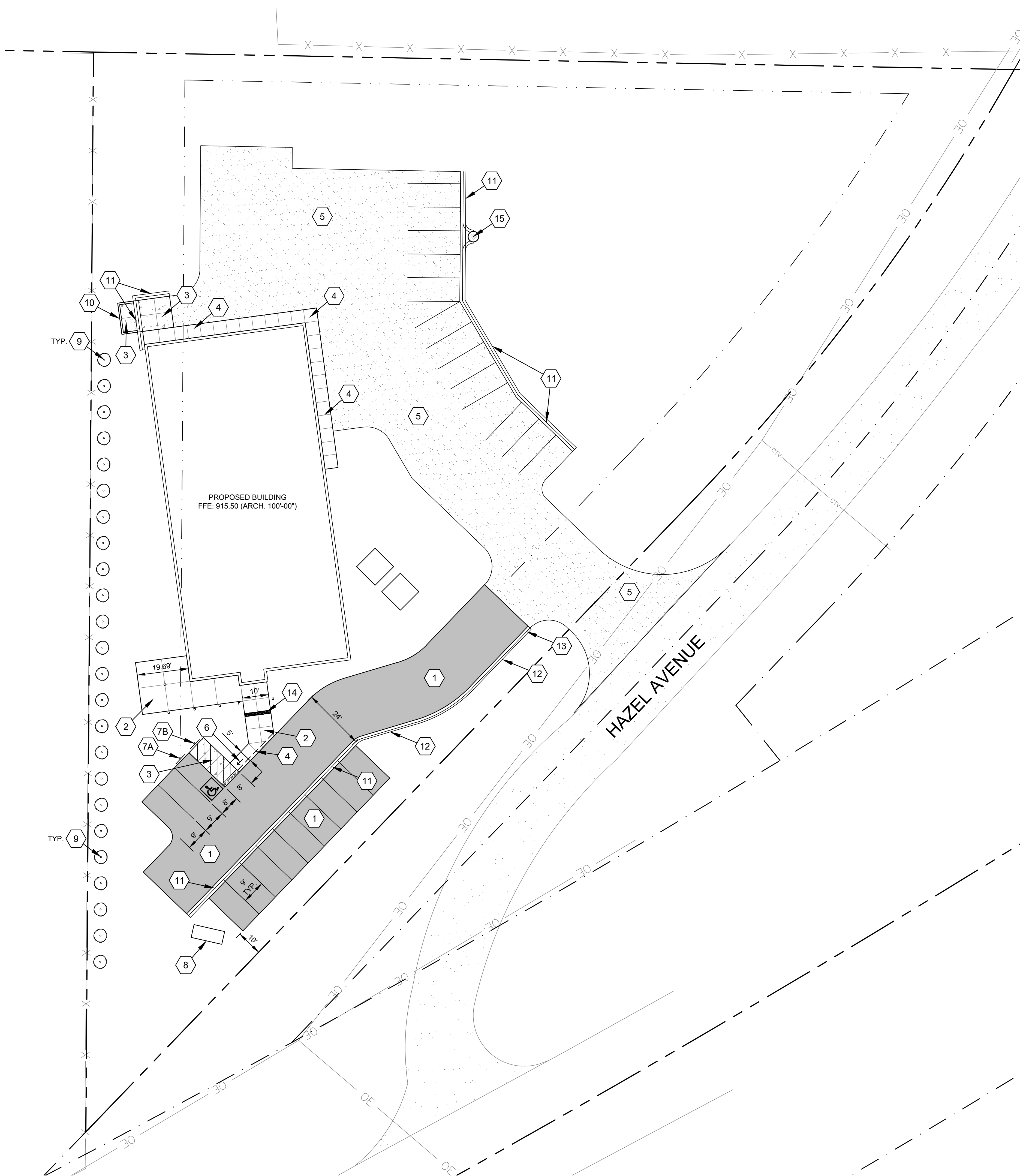
C100

DEMOLITION PLAN


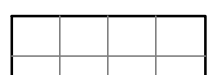
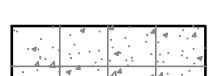
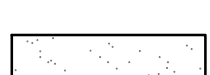



NORTH





SYMBOL LEGEND

-  NEW BITUMINOUS PAVEMENT
DETAIL 1/C500
-  NEW CONCRETE PAVEMENT*
DETAIL 2/C500
-  NEW HEAVY-DUTY CONCRETE PAVEMENT*
DETAIL 3/C500
-  NEW GRAVEL SECTION
DETAIL 5/C500
-  PAVEMENT MARKINGS

*JOINT PATTERN FOR REFERENCE ONLY. REFER TO SPECIFICATIONS FOR JOINT SPACING REQUIREMENTS

KEY NOTES

- 1 NEW BITUMINOUS PAVEMENT, DETAIL 1/C500
- 2 NEW CONCRETE PAVEMENT, DETAIL 2/C500
- 3 NEW HEAVY-DUTY CONCRETE PAVEMENT, DETAIL 3/C500
- 4 NEW THICKENED EDGE CONCRETE, DETAIL 4/C500
- 5 NEW GRAVEL SECTION, DETAIL 5/C500
- 6 NEW ACCESSIBLE RAMP, DETAIL 6/C500
- 7 NEW PARKING SIGN AND POST, DETAIL 7/C500
 - A ADA PARKING
 - B ACCESS AISLE
- 8 NEW SIGN, SEE ARCHITECTURAL
- 9 NEW PLANTING, SEE ARCHITECTURAL
- 10 NEW TRASH ENCLOSURE, SEE ARCHITECTURAL
- 11 NEW CONCRETE VALLEY GUTTER, DETAIL 15/C500
- 12 NEW B612 CONCRETE CURB AND GUTTER, DETAIL 14/C500
- 13 TRANSITION CURB TO FLUSH
- 14 NEW TRENCH DRAIN, DETAIL 8/C500
- 15 NEW RAIN GUARDIAN AND CURB CUT, DETAILS 1/C501 AND 2/C501

2023.05.01 CLFLWD SUBMITTAL - NOT FOR CONSTRUCTION

Larson Engineering, Inc.
 3524 Labor Road
 White Bear Lake, MN 55110
 651.481.9120 (F) 651.481.9201
 www.larsonengr.com
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I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Thomas J. Subban
 First M. Last, P.E.
 Date: 05.01.2023 Lic. No.: 25520

REVISIONS:

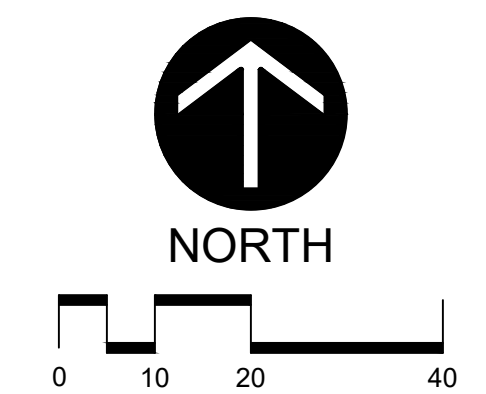
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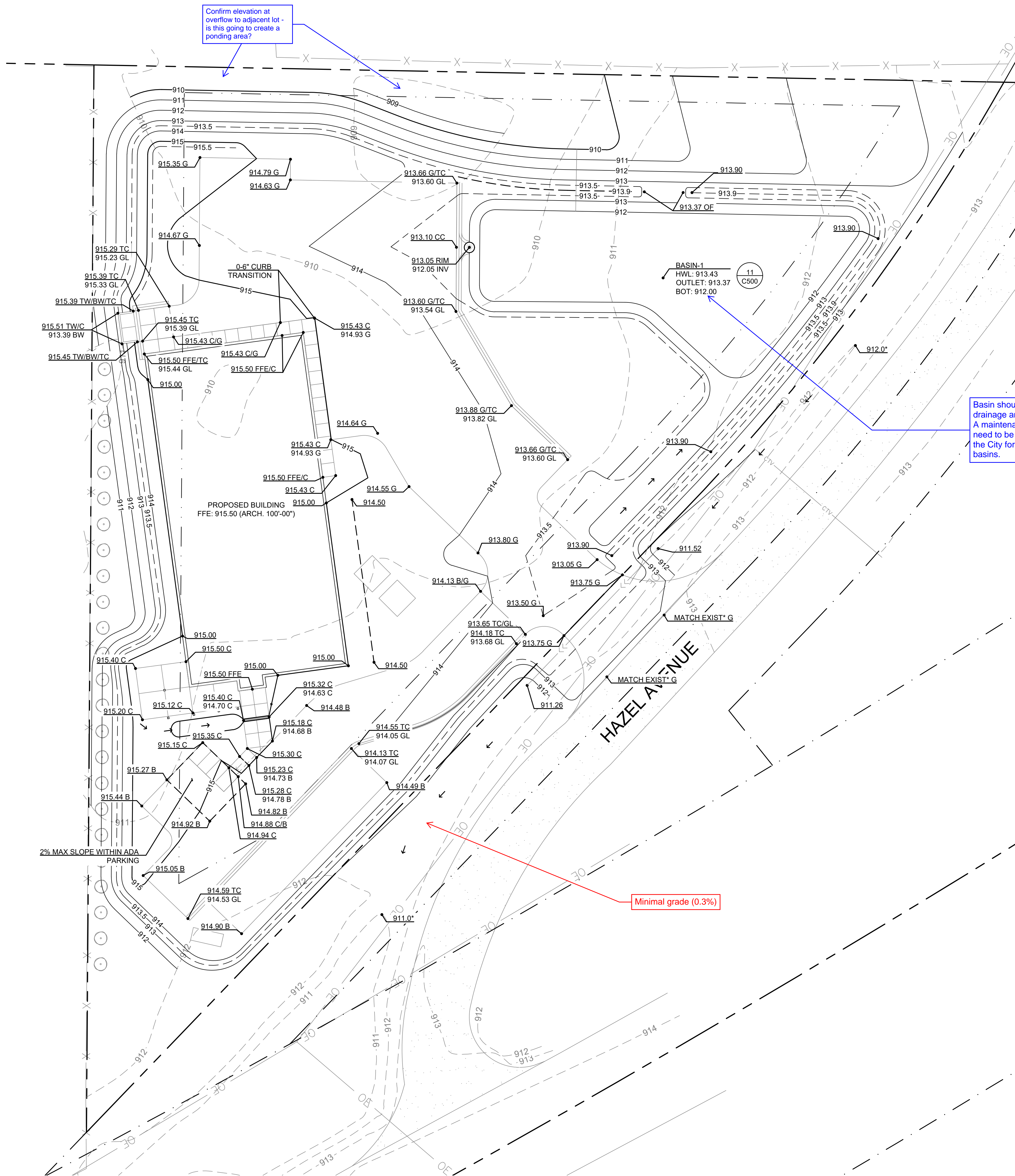
GREGORY CONTRACTING LLC

HAZEL AVENUE
WYOMING, MN

C200

PAVING PLAN





SYMBOL LEGEND

- 950 --- EXISTING CONTOURS
 - 950 --- PROPOSED CONTOURS - MAJOR INTERVAL
 - 949 --- PROPOSED CONTOURS - MINOR INTERVAL
 - GRADE BREAK LINE
 - 2.0% GRADE SLOPE
- SPOT ABBREVIATIONS:
- 950.00 TC B - BITUMINOUS
 - 949.50 GL C - CONCRETE
 - G - GRAVEL
 - TC - TOP OF CURB
 - GL - GUTTER LINE
 - OF - OVERFLOW
 - (*) - EXISTING TO BE VERIFIED

GRADING NOTES

1. Tree protection consisting of snow fence or safety fence installed at the drip line shall be in place prior to beginning any grading or demolition work at the site.
2. All elevations with an asterisk (*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
3. Grades shown in paved areas represent finish elevation.
4. Restore all disturbed areas with 4" of good quality topsoil and seed.
5. All construction shall be performed in accordance with state and local standard specifications for construction.

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 White Bear Lake, MN 55110
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 www.larsonengr.com
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I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Anna M. Hubbs
 First M. Last, P.E.
 Date: 05.01.2023 Lic. No.: 25520

REVISIONS:

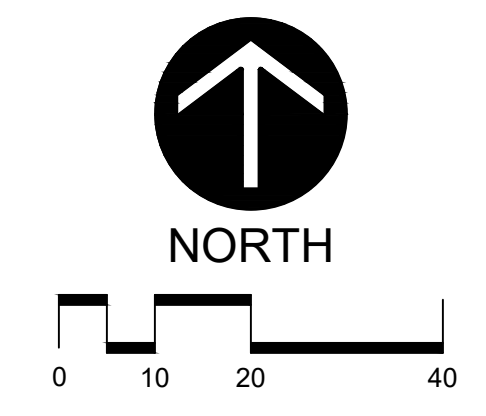
No.	Description	Date

2023.05.01 CLFLWD SUBMITTAL - NOT FOR CONSTRUCTION

GREGORY CONTRACTING LLC

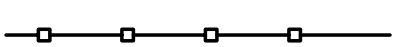



HAZEL AVENUE
WYOMING, MN

C300
GRADING PLAN



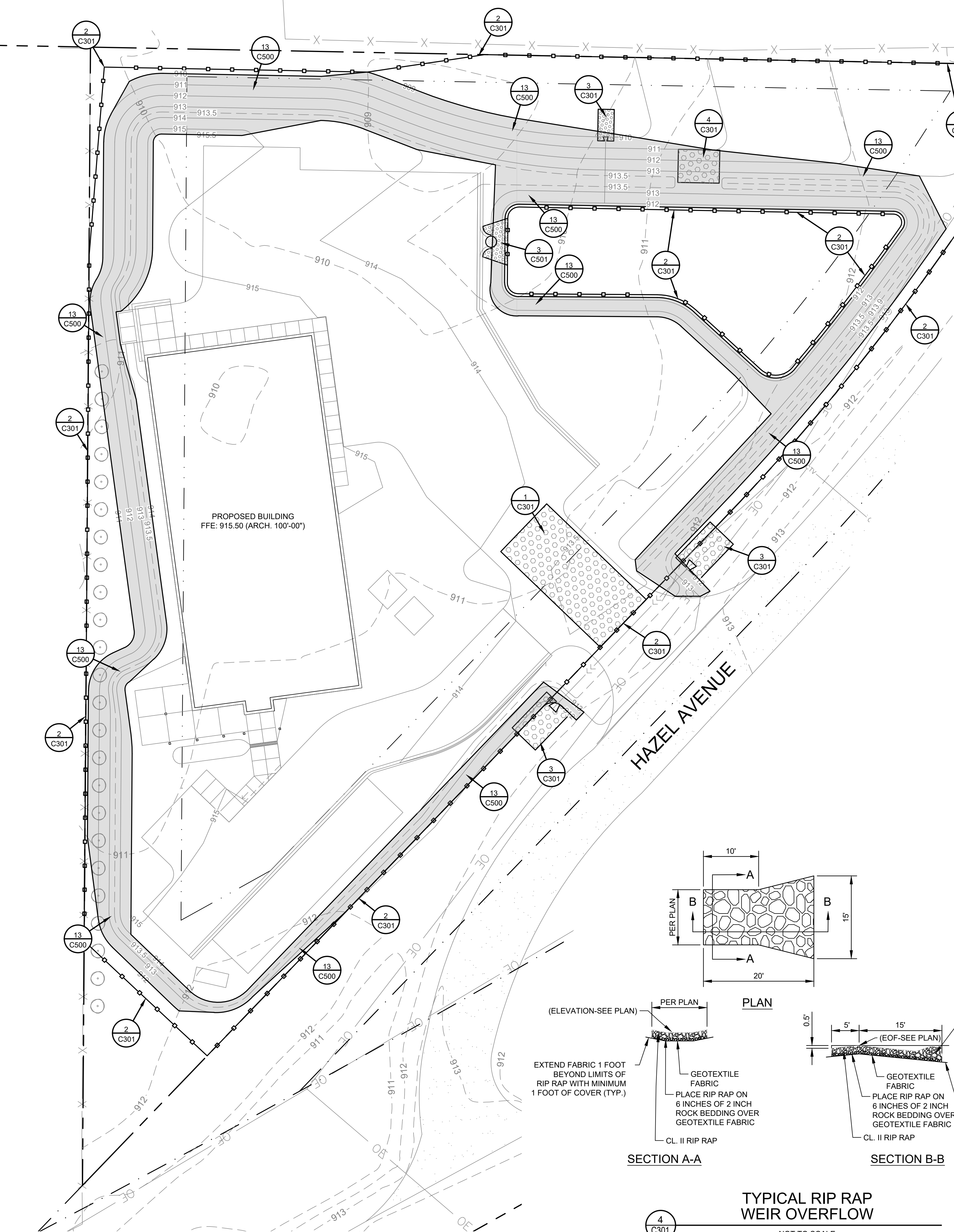
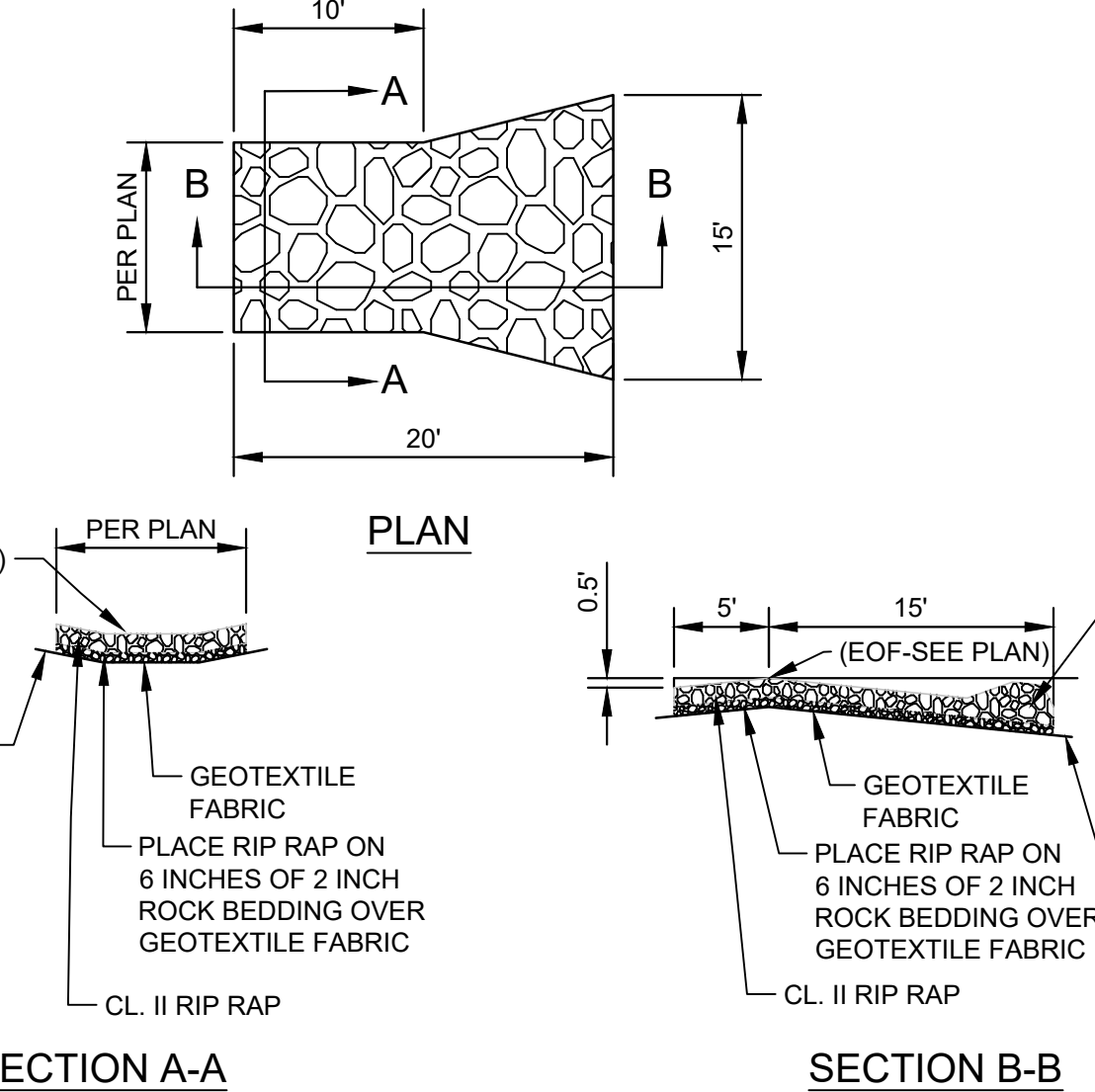
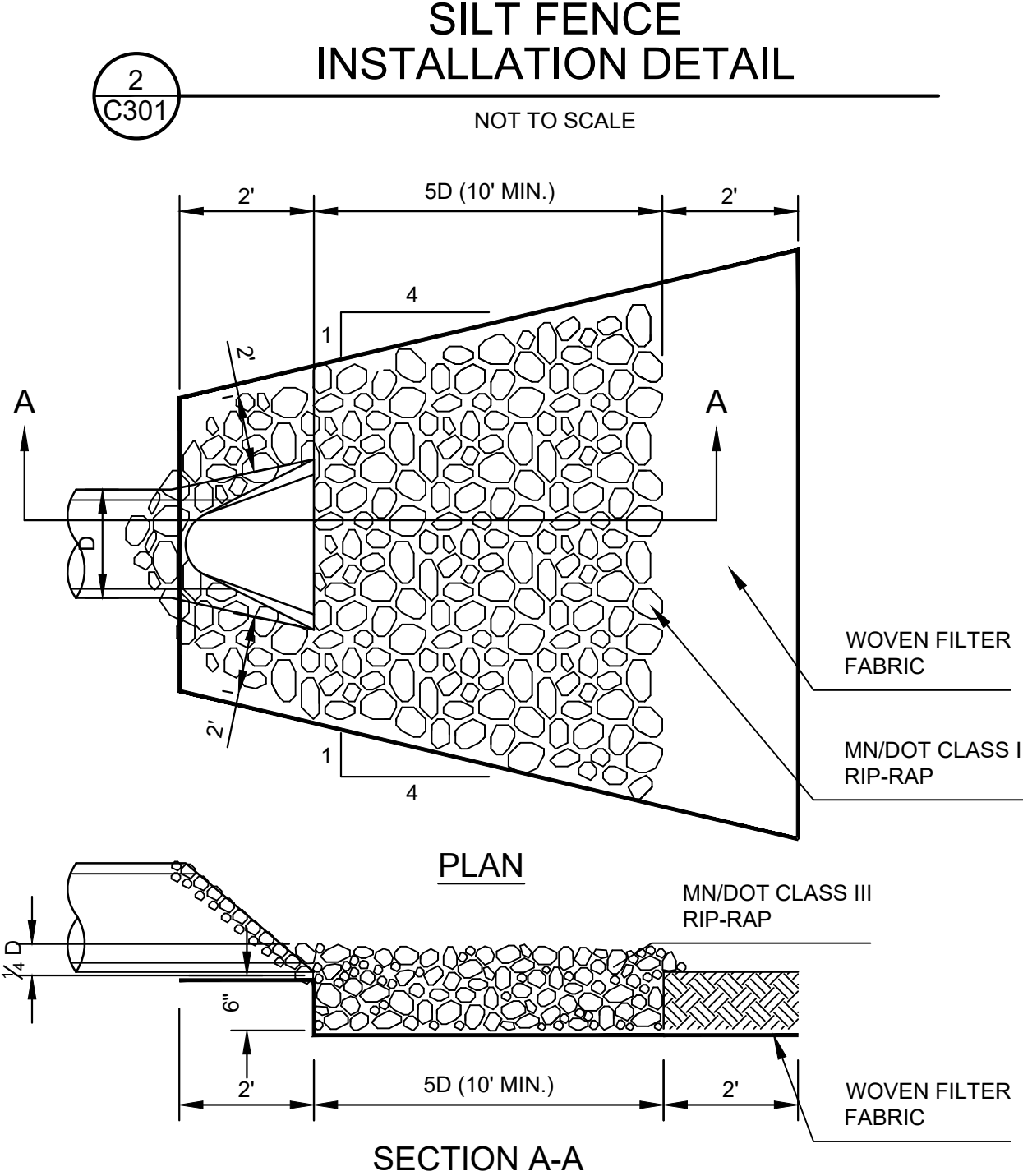
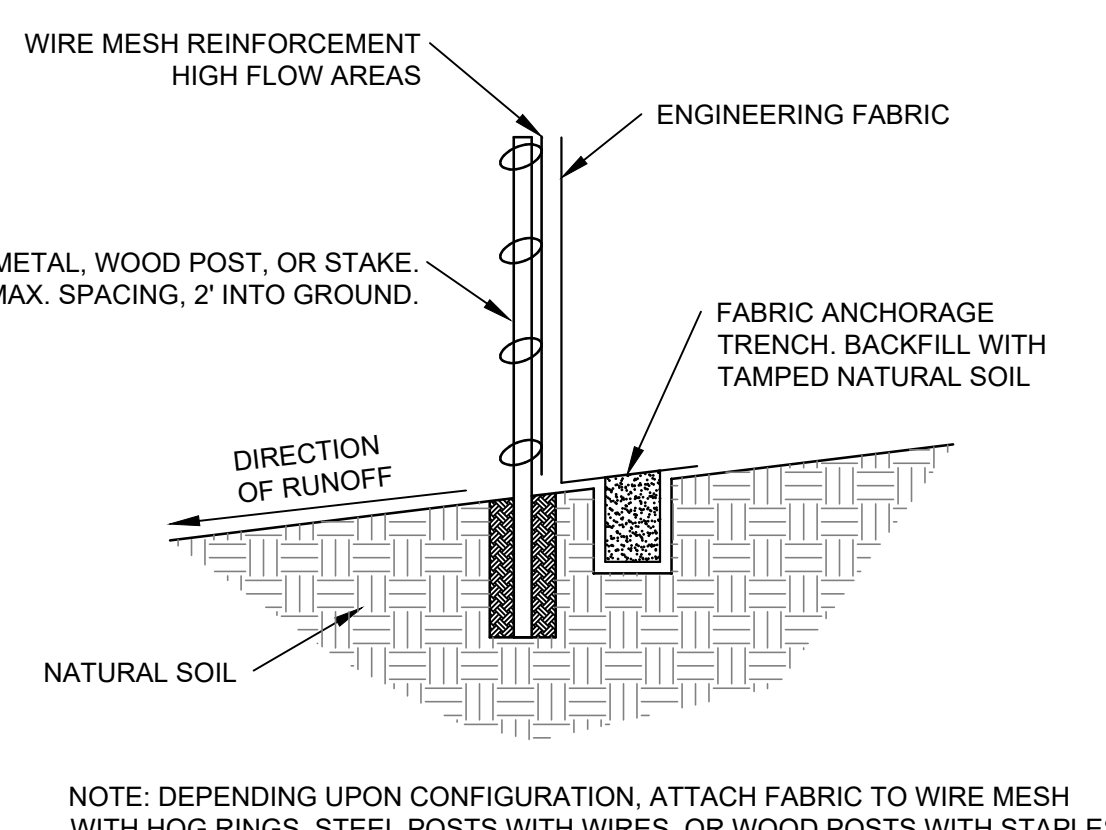
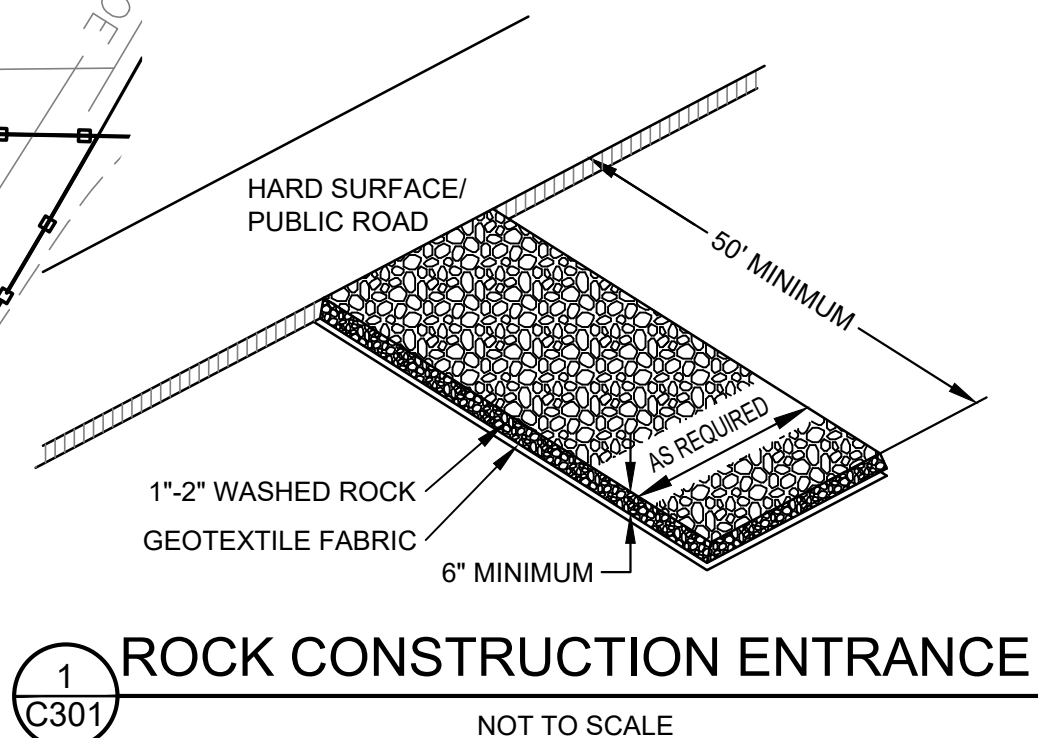
A full SWPPP meeting all requirements of section 5.1-5.26 of the NPDES permit is required. For example currently sections 5.8 and 5.10 do not appear to be met, however applicant should confirm all SWPPP requirements are met.

SYMBOL LEGEND

-  SILT FENCE
-  RIP-RAP / ROCK CONST. ENTRANCE
-  EROSION CONTROL BLANKET
-  CONCRETE WASHOUT STATION (LOCATE DURING CONSTRUCTION)

EROSION CONTROL NOTES

1. Owner and Contractor shall obtain MPCA-NPDES permit. Contractor shall be responsible for all fees pertaining to this permit. The SWPPP shall be kept onsite at all times.
2. Install temporary erosion control measures (inlet protection, silt fence, and rock construction entrances) prior to beginning any excavation or demolition work at the site.
3. Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, and/or disk the soil parallel to the contours as deemed necessary to further control erosion. All changes shall be recorded in the SWPPP.
4. All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 50' into the construction zone.
5. The toe of the silt fence shall be trenched in a minimum of 6". The trench backfill shall be compacted with a vibratory plate compactor.
6. All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient perimeters before any up gradient land disturbing activities begin.
7. All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than 7 days after the construction activity in that portion of the site has temporarily or permanently ceased. Temporary stockpiles without significant silt, clay or organic components (e.g., clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces are exempt from this requirement.
8. The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, must be stabilized within 200 lineal feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 lineal feet must be completed within 24 hours after connecting to a surface water. Stabilization of the remaining portions of any temporary or permanent ditches or swales must be complete within 7 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.
9. Pipe outlets must be provided with energy dissipation within 24 hours of connection to surface water.
10. All riprap shall be installed with a filter material or soil separation fabric and comply with the Minnesota Department of Transportation Standard Specifications.
11. All storm sewers discharging into wetlands or water bodies shall outlet at or below the normal water level of the respective wetland or water body at an elevation where the downstream slope is 1 percent or flatter. The normal water level shall be the invert elevation of the outlet of the wetland or water body.
12. All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be provided with inlet protection.
13. In areas where concentrated flows occur (such as swales and areas in front of storm catch basins and intakes) the erosion control facilities shall be backed by stabilization structure to protect those facilities from the concentrated flows.
14. Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. All inspections shall be recorded in the SWPPP.
15. All BMPs must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/3 of the capacity of the BMP. These repairs must be made within 24 hours of discovery, or as soon as field conditions allow access. All repairs shall be recorded in the SWPPP.
16. If sediment escapes the construction site, off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
17. All soils tracked onto pavement shall be removed daily.
18. All filtration areas must be inspected to ensure that no sediment from ongoing construction activity is reaching the filtration area and these areas are protected from compaction due to construction equipment driving across the filtration area.
19. Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the stormwater.
20. Collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
21. Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA regulations.
22. External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed onsite.
23. All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. A compacted clay liner that does not allow washout liquids to enter ground water is considered an impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
24. Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.
25. All permanent sedimentation basins must be restored to their design condition immediately following stabilization of the site.
26. Contractor shall submit Notice of Termination for MPCA-NPDES permit within 30 days after Final Stabilization.



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Thomas M. Last, P.E.
First M. Last, P.E.
Date: 05.01.2023 Lic. No.: 26520

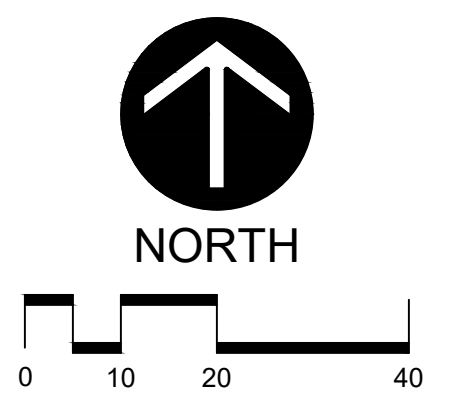
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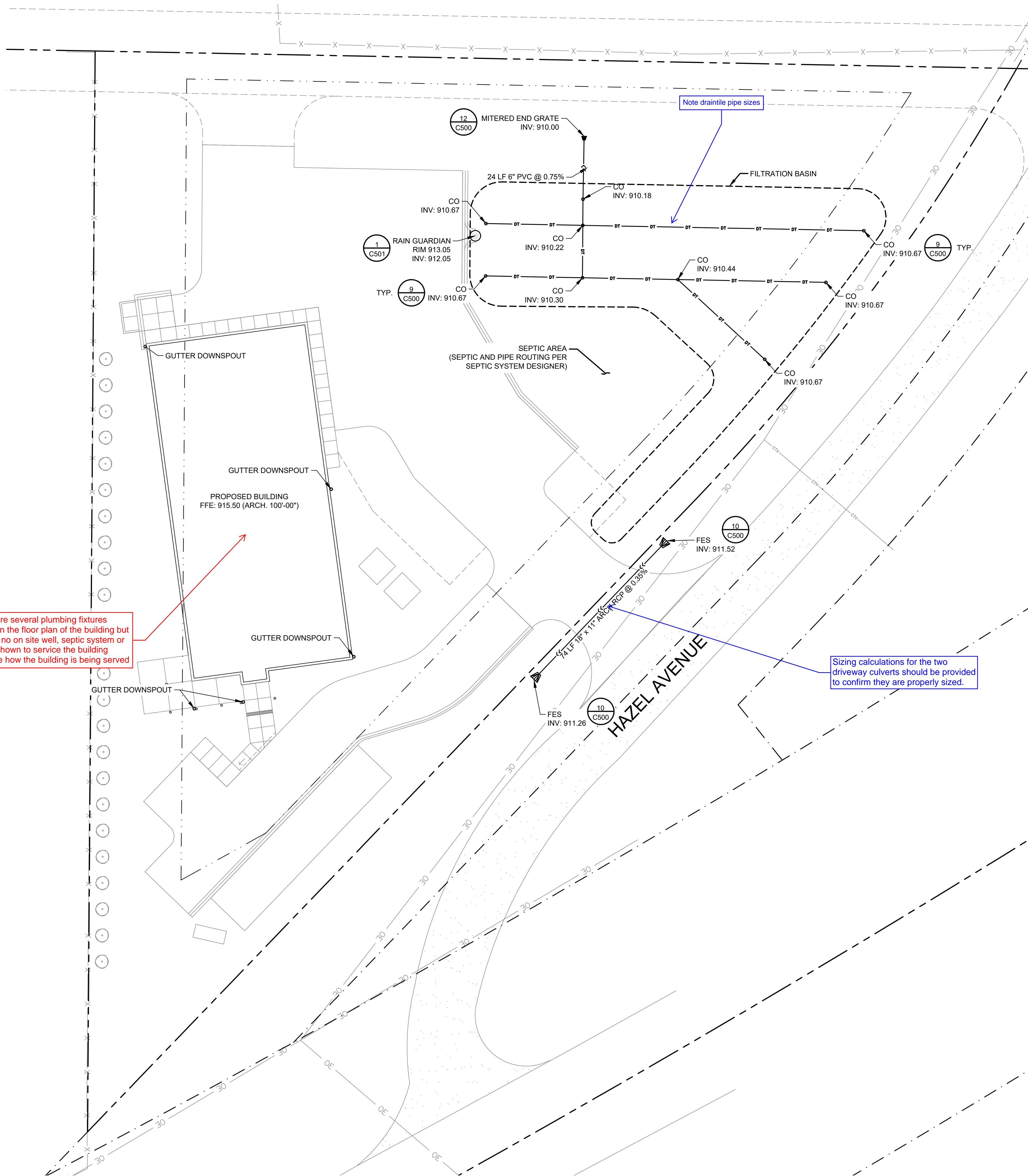
No.	Description	Date

GREGORY CONTRACTING LLC

HAZEL AVENUE WYOMING, MN

C301
EROSION CONTROL PLAN





There are several plumbing fixtures shown in the floor plan of the building but there is no on site well, septic system or piping shown to service the building -Provide how the building is being served

SYMBOL LEGEND

- ▲ FLARED END (FES)
- ▲ MITERED END GRATE
- CLEANOUT (CO)
- STORM SEWER PIPE
- DRAIN TILE PIPE

UTILITY NOTES

1. It is the responsibility of the contractor to perform or coordinate all necessary utility connections and relocations from existing utility locations to the proposed building, as well as to all onsite amenities. These connections include but are not limited to water, sanitary sewer, cable TV, telephone, gas, electric, site lighting, etc.
2. All service connections shall be performed in accordance with state and local standard specifications for construction. Utility connections (sanitary sewer, watermain, and storm sewer) may require a permit from the City.
3. The contractor shall verify the elevations at proposed connections to existing utilities prior to any demolition or excavation.
4. The contractor shall notify all appropriate engineering departments and utility companies 72 hours prior to construction. All necessary precautions shall be made to avoid damage to existing utilities.
5. Storm sewer requires testing in accordance with Minnesota plumbing code 4714.1109 where located within 10 feet of waterlines or the building.
6. HDPE storm sewer piping shall meet ASTM F2306 and fittings shall meet ASTM D3212 joint pressure test. Installation shall meet ASTM C2321.
7. All RCP pipe shown on the plans shall be MN/DOT class 3.
8. Maintain a minimum of 7 1/2' of cover over all water lines and sanitary sewer lines. Where 7 1/2' of cover is not provided, install 2" rigid polystyrene insulation (MN/DOT 3760) with a thermal resistance of at least 5 and a compressive strength of at least 25 psi. Insulation shall be 8" wide, centered over pipe with 6" sand cushion between pipe and insulation. Where depth is less than 5', use 4" of insulation.
9. See Project Specifications for bedding requirements.
10. Well location to be determined by Owner.

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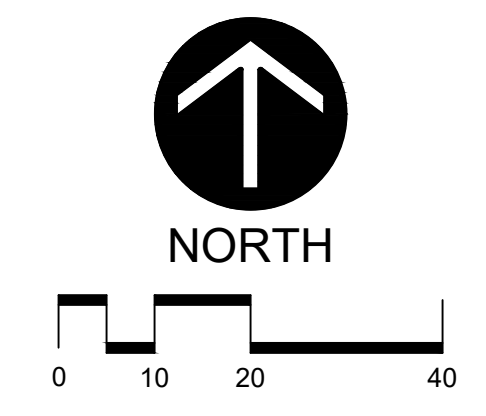
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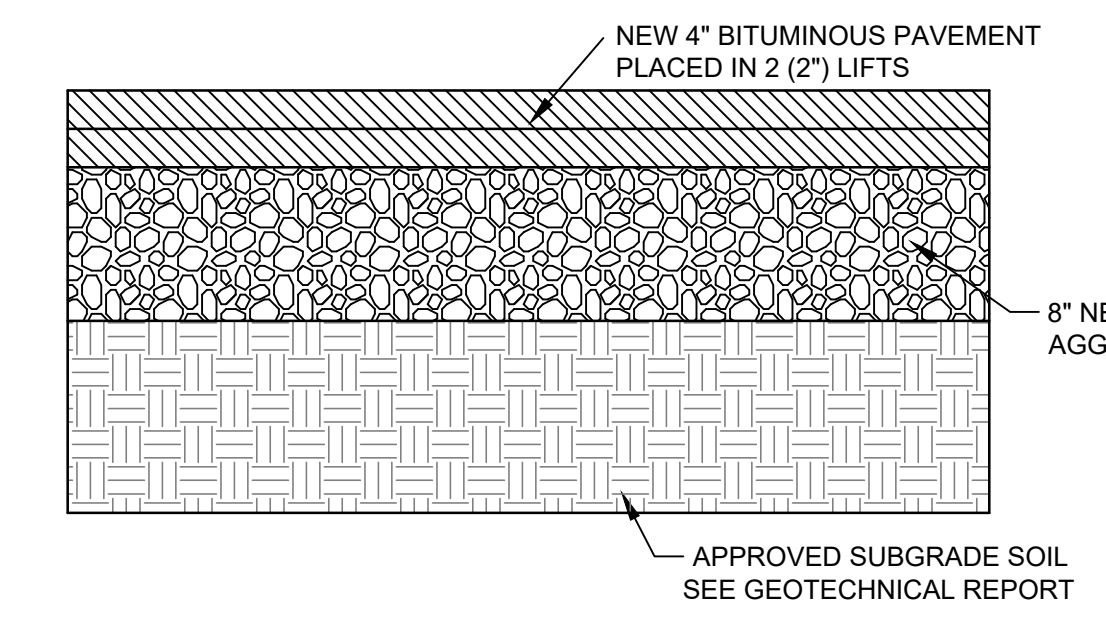
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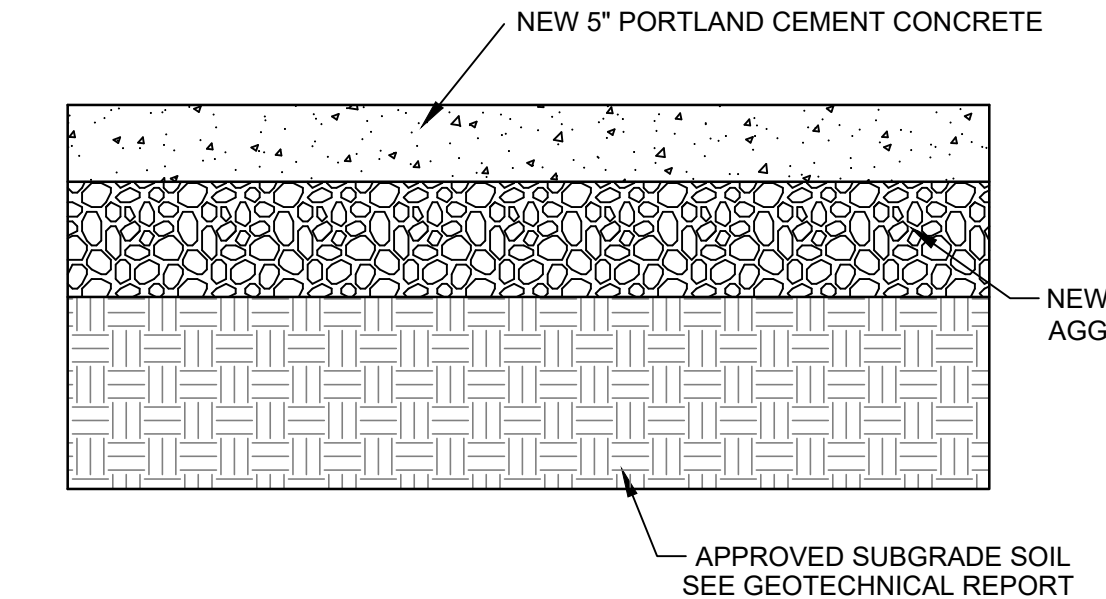
HAZEL AVENUE
 WYOMING, MN

C400
 UTILITY PLAN

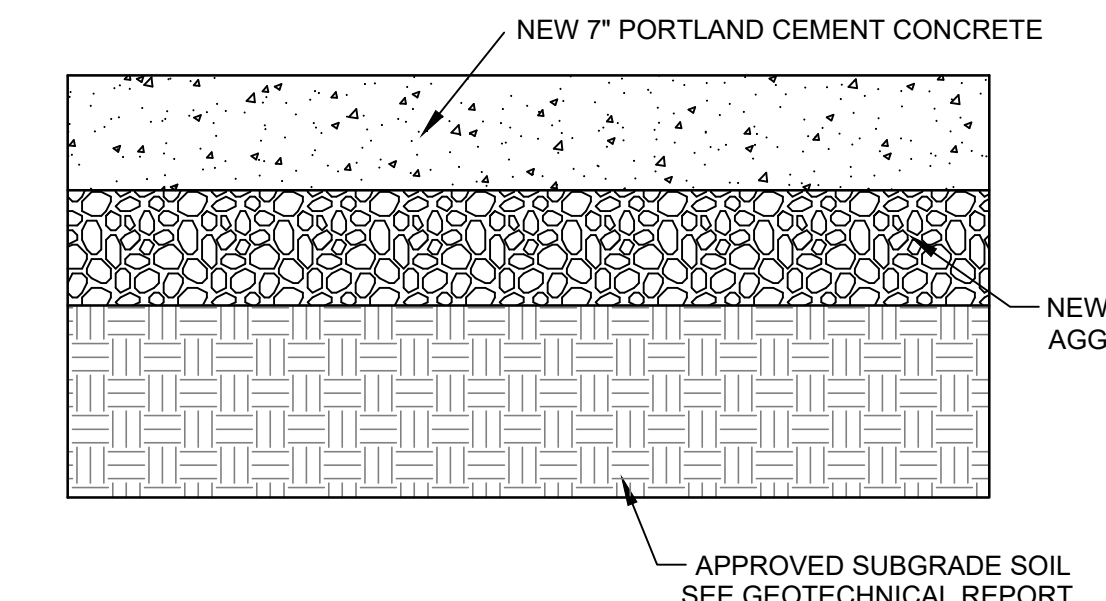




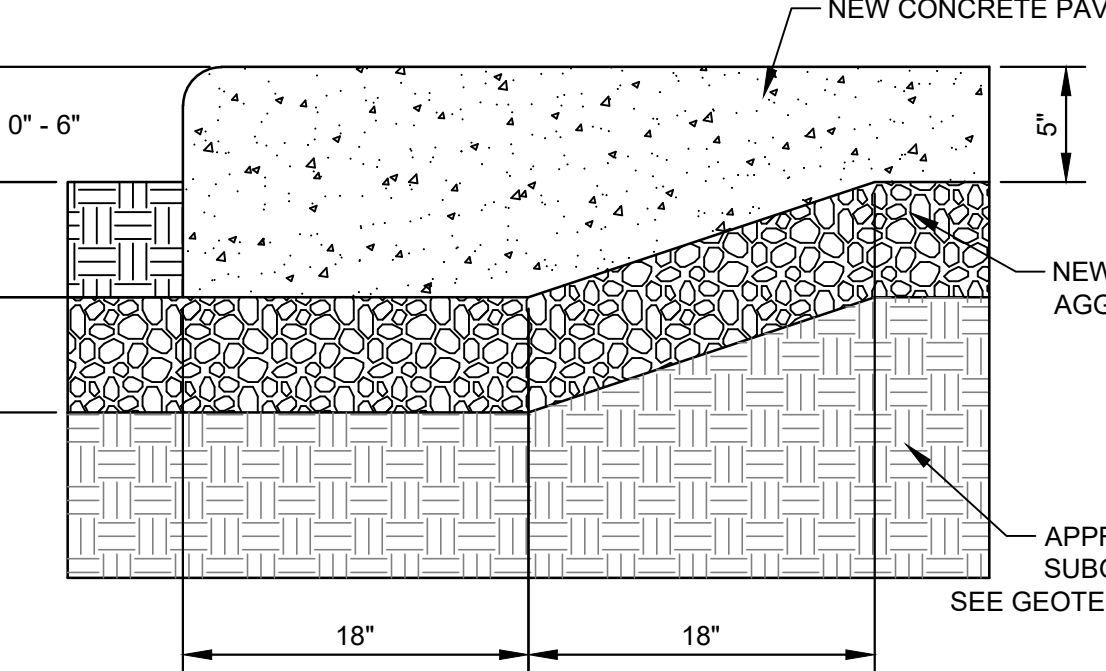
1 BITUMINOUS PAVEMENT SECTION
NOT TO SCALE



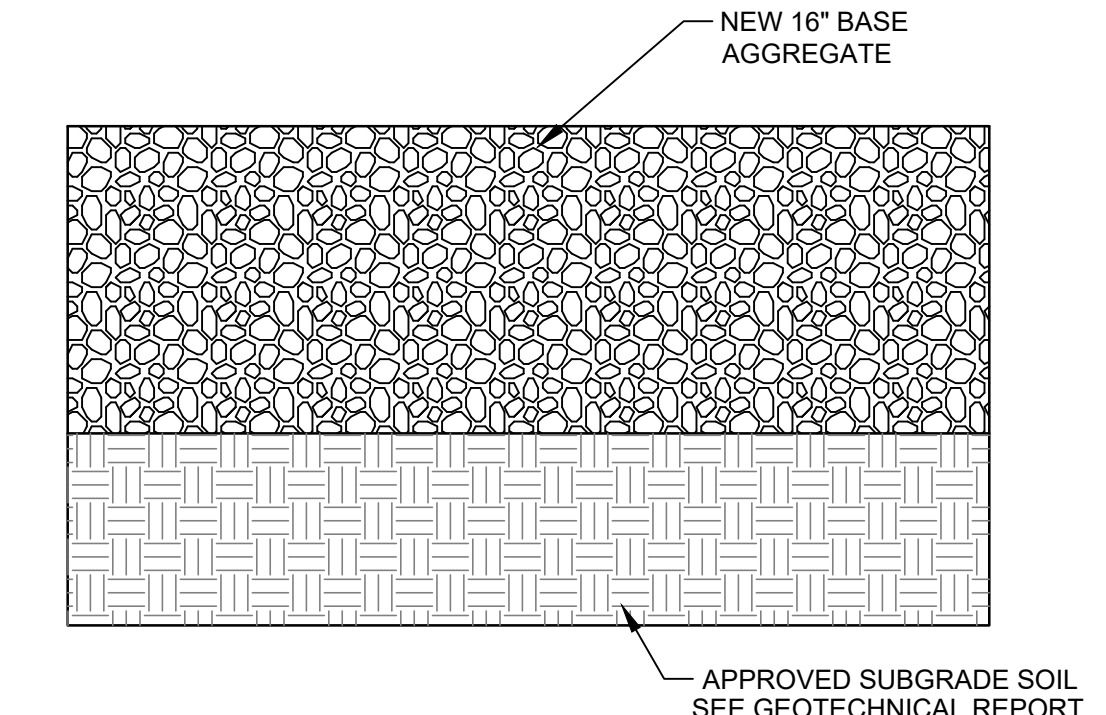
2 CONCRETE CONSTRUCTION DETAIL
NOT TO SCALE



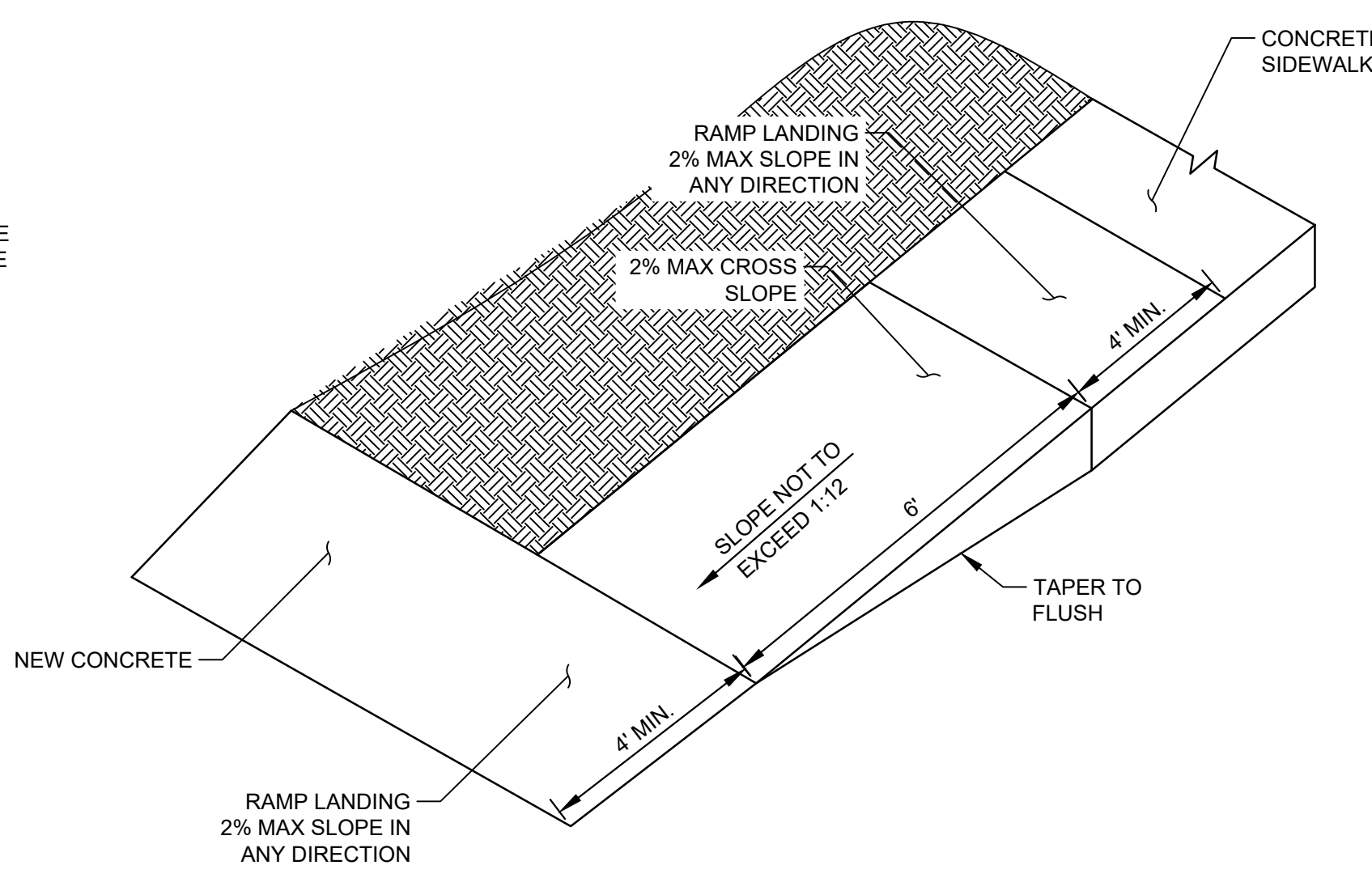
3 HEAVY-DUTY CONCRETE CONSTRUCTION DETAIL
NOT TO SCALE



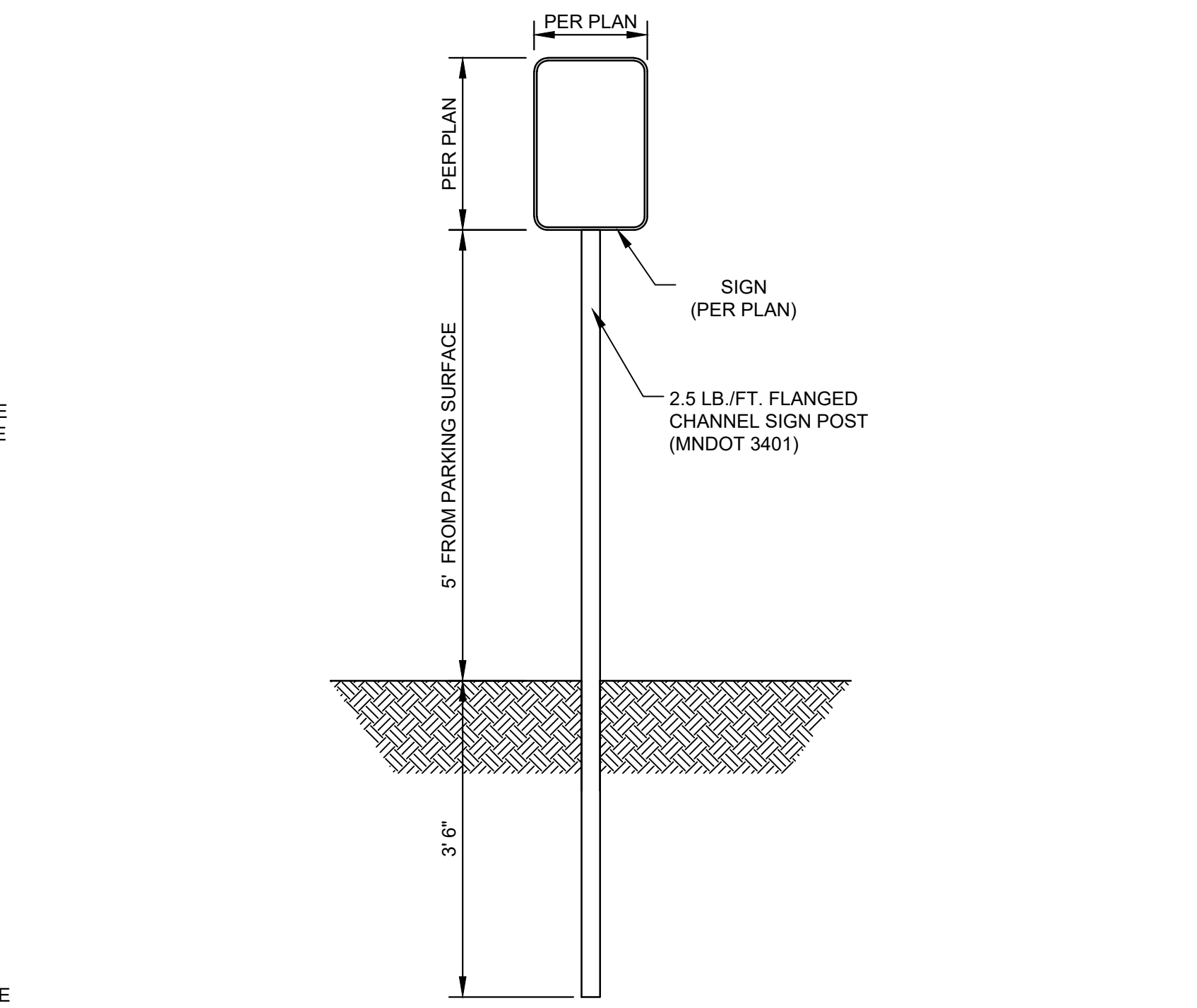
4 CONCRETE WITH THICKENED EDGE DETAIL
NOT TO SCALE



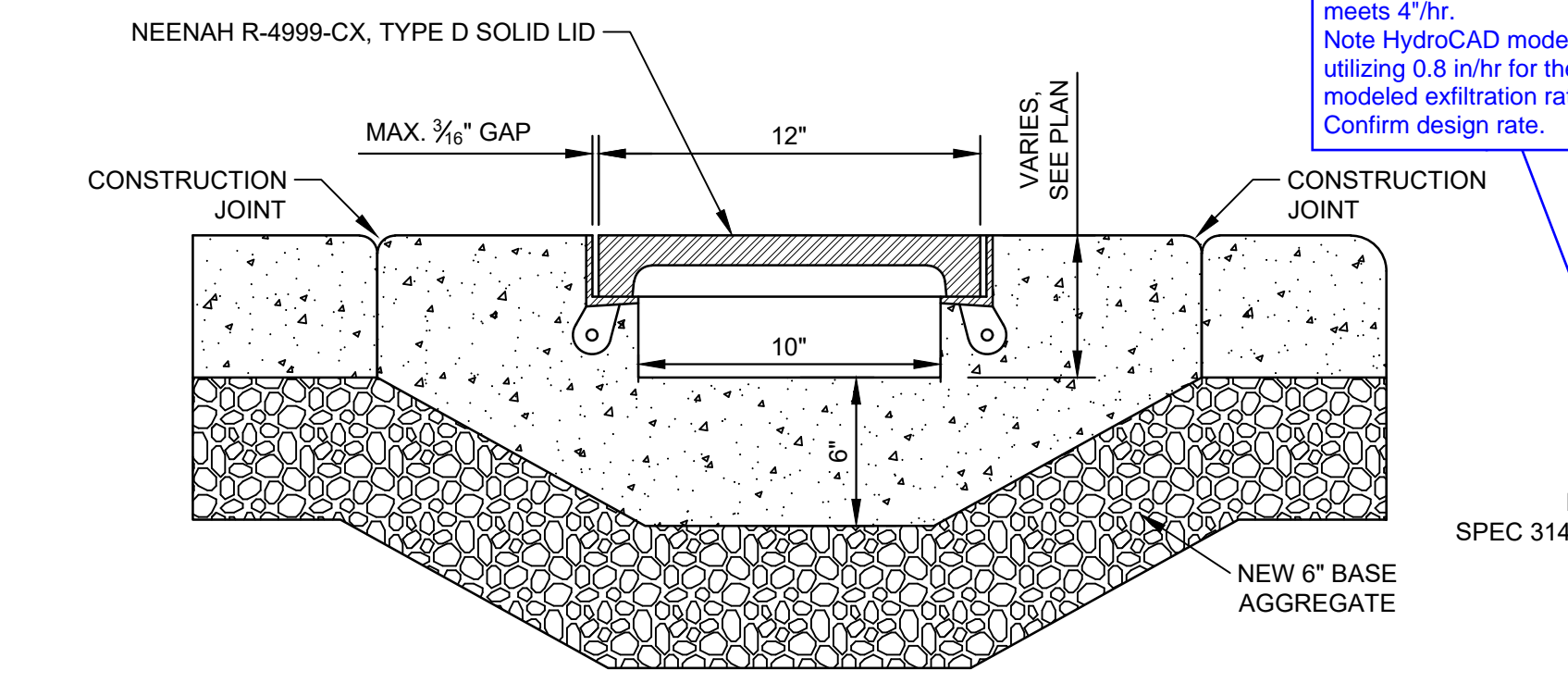
5 NEW GRAVEL SECTION
NOT TO SCALE



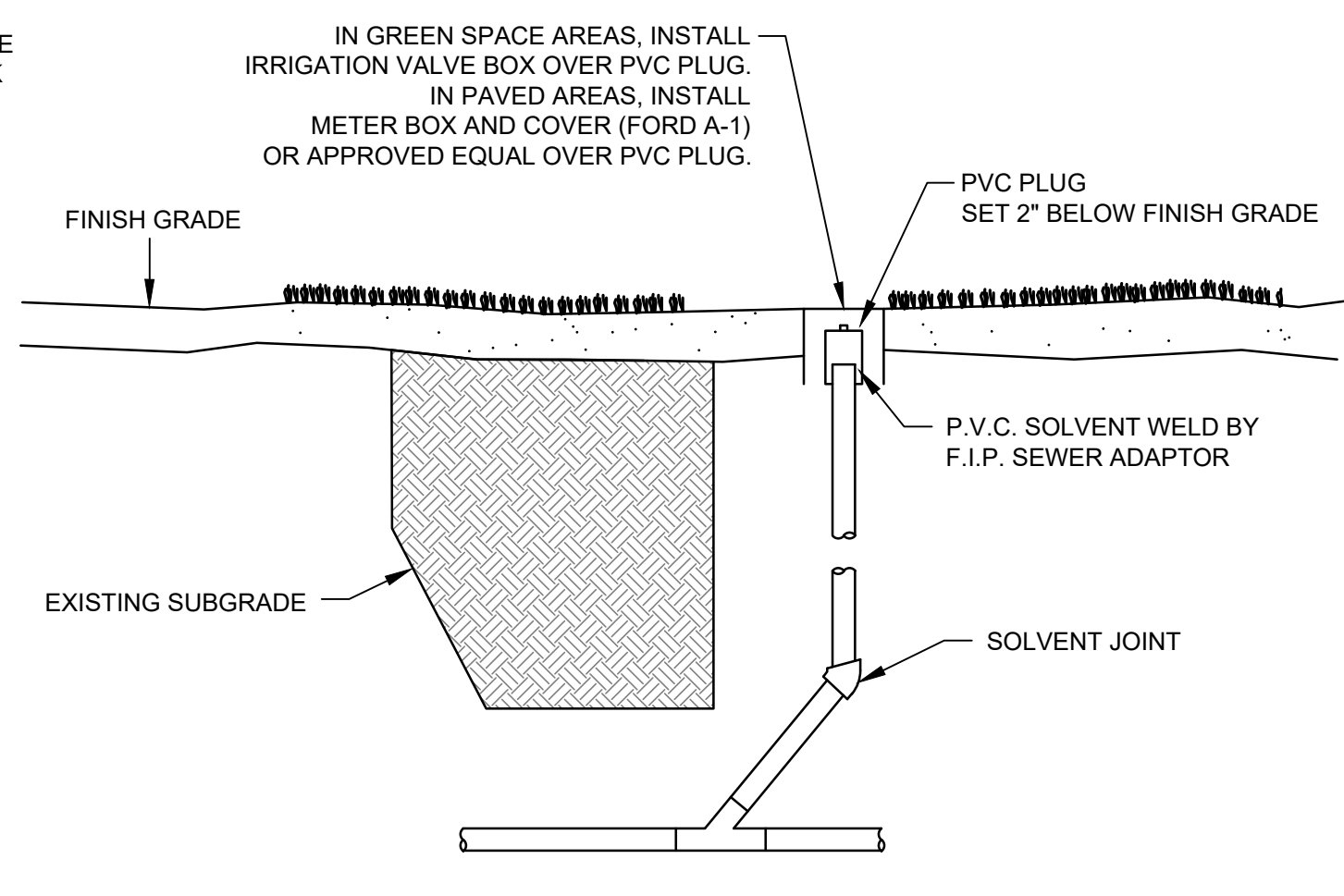
6 ACCESSIBLE RAMP DETAIL
NOT TO SCALE



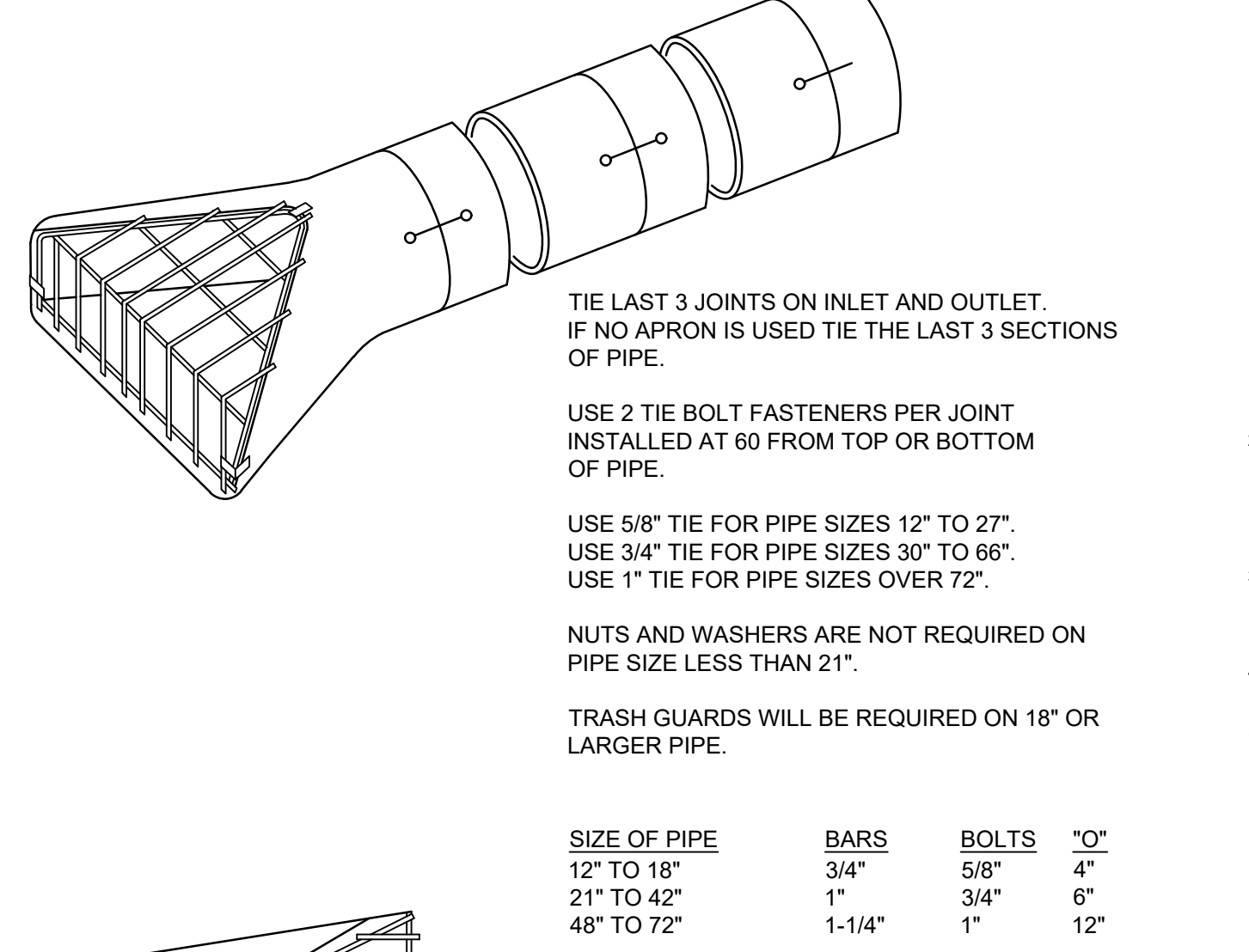
7 PARKING SIGN AND POST DETAIL
NOT TO SCALE



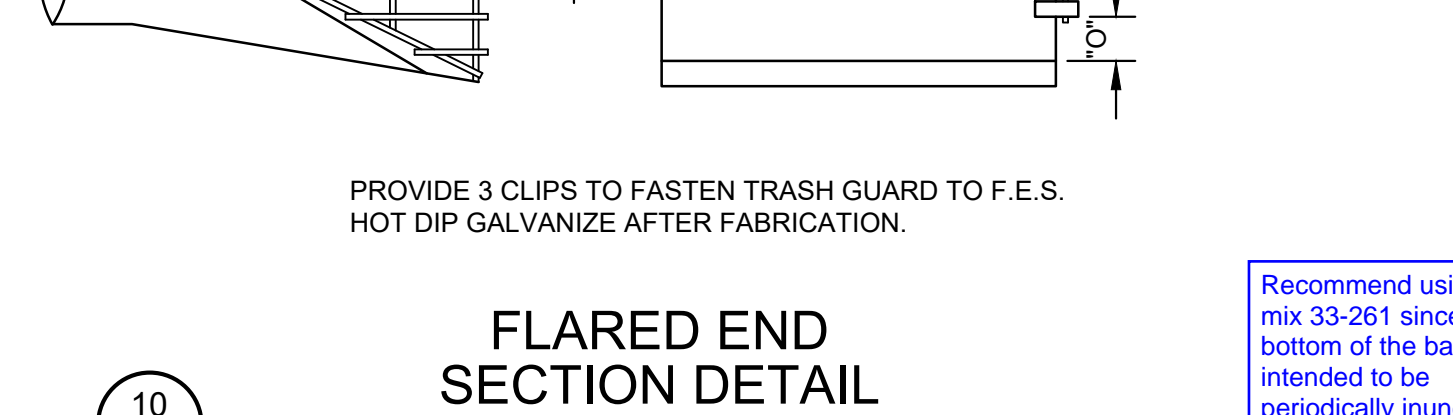
8 TRENCH DRAIN DETAIL
NOT TO SCALE



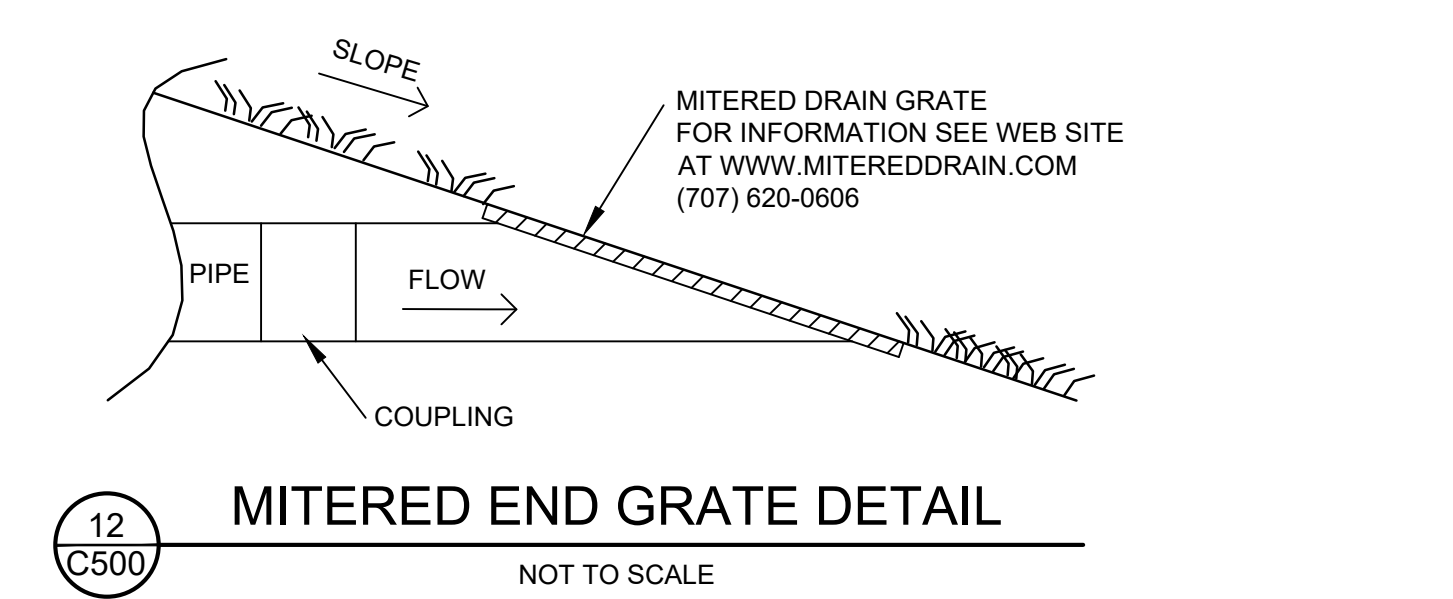
9 CLEANOUT DETAIL
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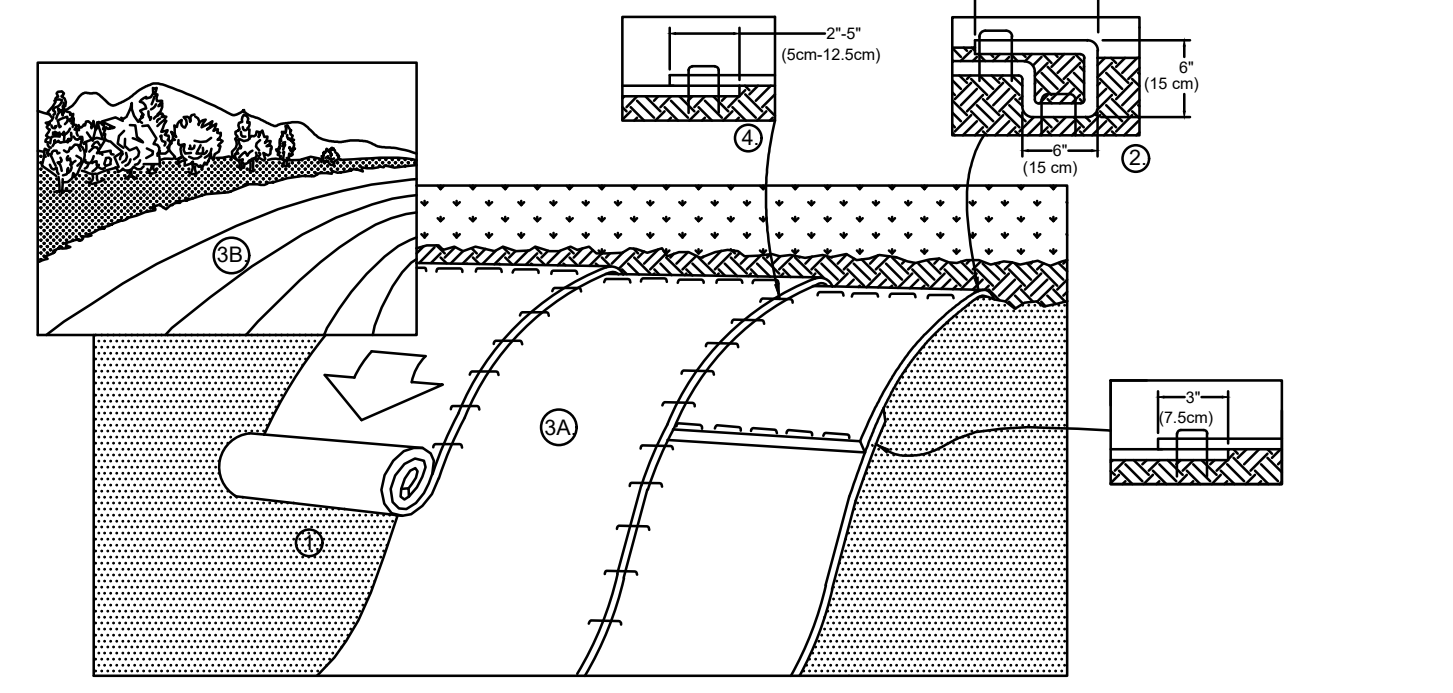
10 FLARED END SECTION DETAIL
NOT TO SCALE



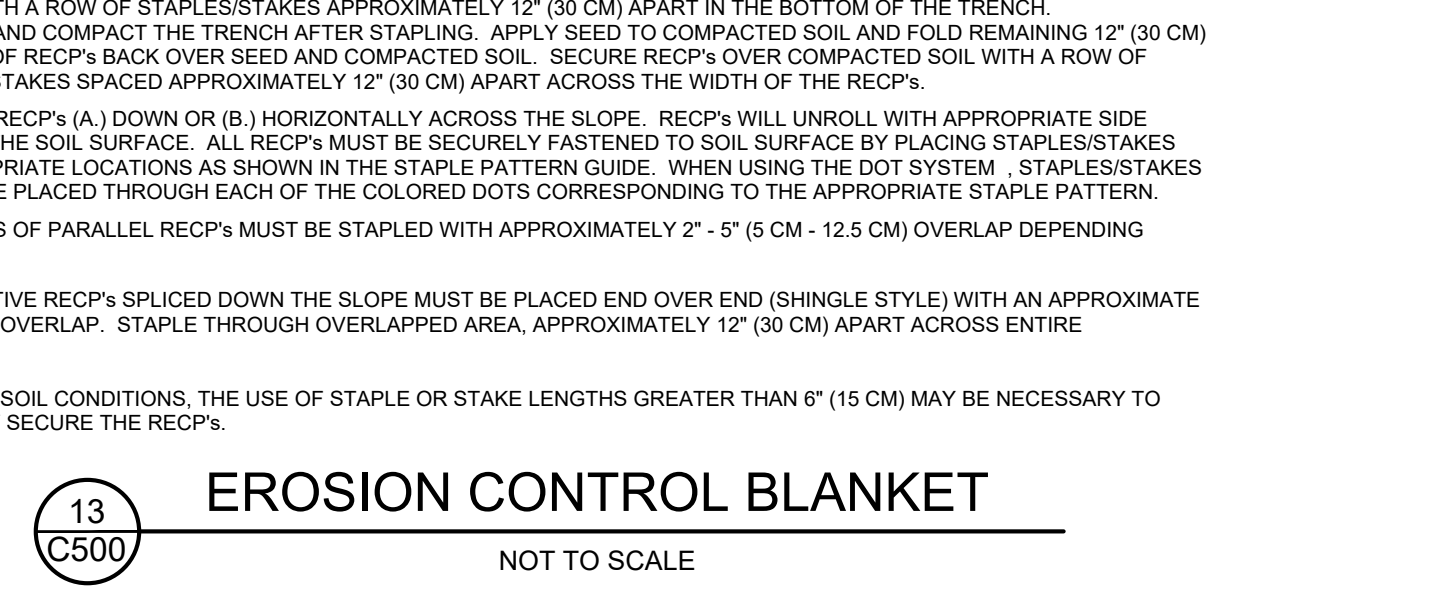
11 FILTRATION BASIN CROSS SECTION
NOT TO SCALE



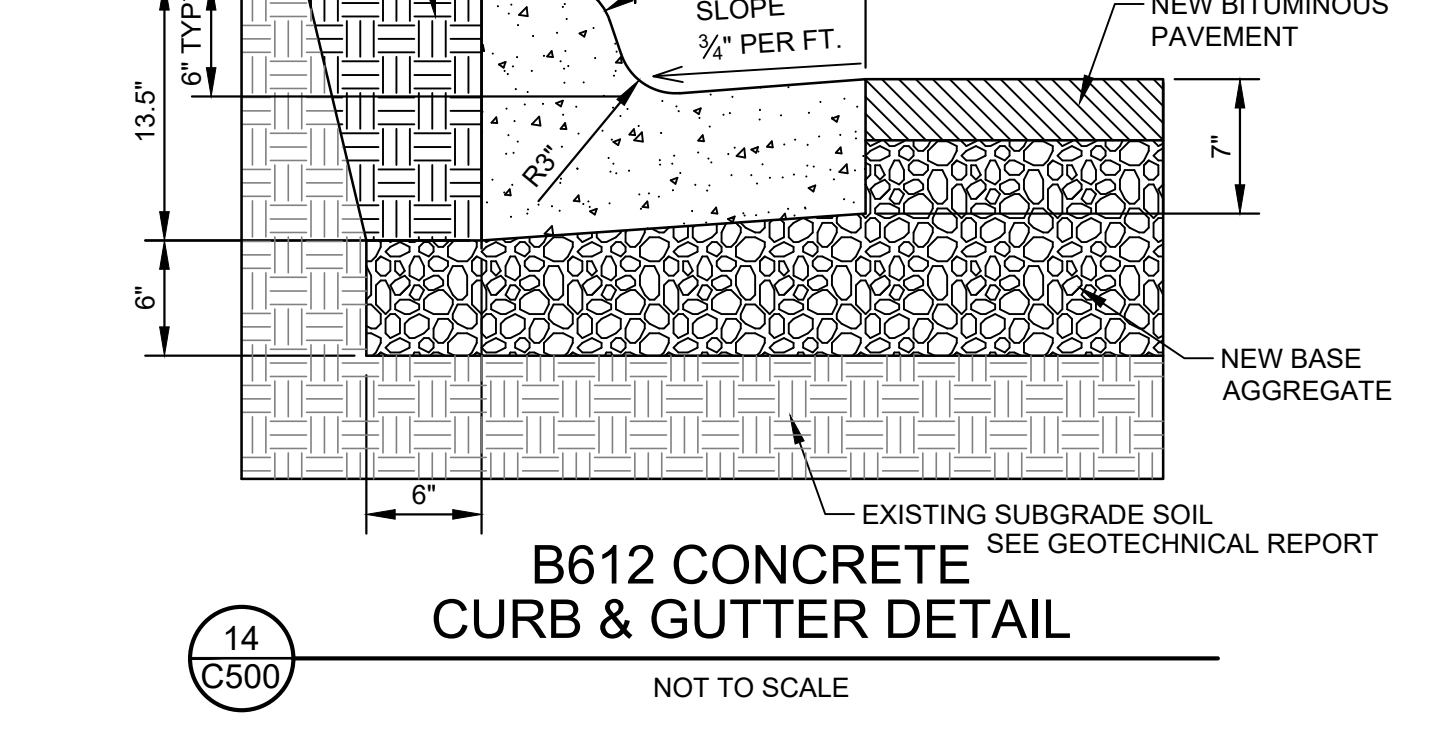
12 MITERED END GRATE DETAIL
NOT TO SCALE



13 EROSION CONTROL BLANKET
NOT TO SCALE



14 B612 CONCRETE CURB & GUTTER DETAIL
NOT TO SCALE



15 CONCRETE VALLEY GUTTER
NOT TO SCALE

NOTES:
1. ALL SIGNS TO BE INSTALLED IN ACCORDANCE WITH MMUTCD AND MNDOT CURRENT STANDARD SIGNS MANUAL.
2. SEE PROJECT MANUAL FOR SIGN TYPES AND SPECIFICATION.
3. ALL SIGNS SHALL BE REVIEWED AND APPROVED BY OWNER/ENGINEER PRIOR TO CONSTRUCTION.
4. SIGN POSTS TO BE 18" BEHIND THE BACK OF PAVEMENT, UNLESS OTHERWISE DIRECTED.

Note post construction testing will be required and results should be provided to the City to confirm filtration basin meets 4"/hr. Note HydroCAD model is utilizing 0.8 in/hr for the modeled exfiltration rate. Confirm design rate.

Recommend using seed mix 33-261 since the bottom of the basin is intended to be periodically inundated with water.

Only a 6" drain tile pipe currently called out on the utility plans. Confirm.

NOTES:
1. SOILS WITHIN FILTRATION AREAS SHALL BE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION TRAFFIC. AREAS SHALL BE STAKED AND MARKED OFF, WITH ONLY LOW IMPACT EQUIPMENT (TRACKED OR SIMILAR) ALLOWED.

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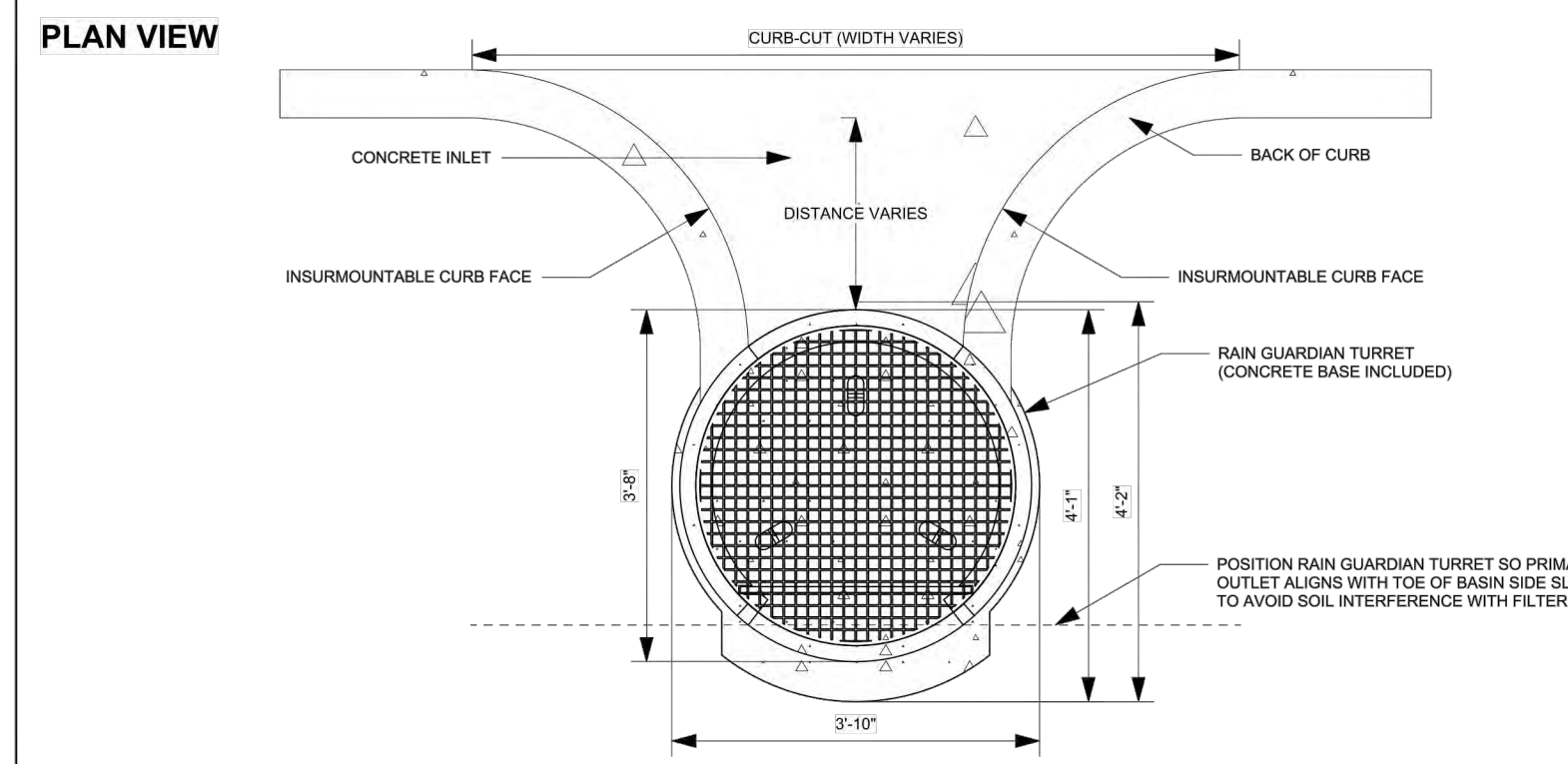
REVISIONS:

No.	Description	Date

GREGORY CONTRACTING LLC

HAZEL AVENUE WYOMING, MN

C500 DETAILS



PLAN VIEW NOTES

1. INLET WIDTH AND DISTANCE BETWEEN BACK OF CURB AND RAIN GUARDIAN TURRET MAY VARY WITH SITE CONDITIONS.
2. CONCRETE BASE EXTENDS BEYOND THE FILTER WALL OF THE RAIN GUARDIAN TURRET TO SERVE AS A SPLASH DISSIPATOR.

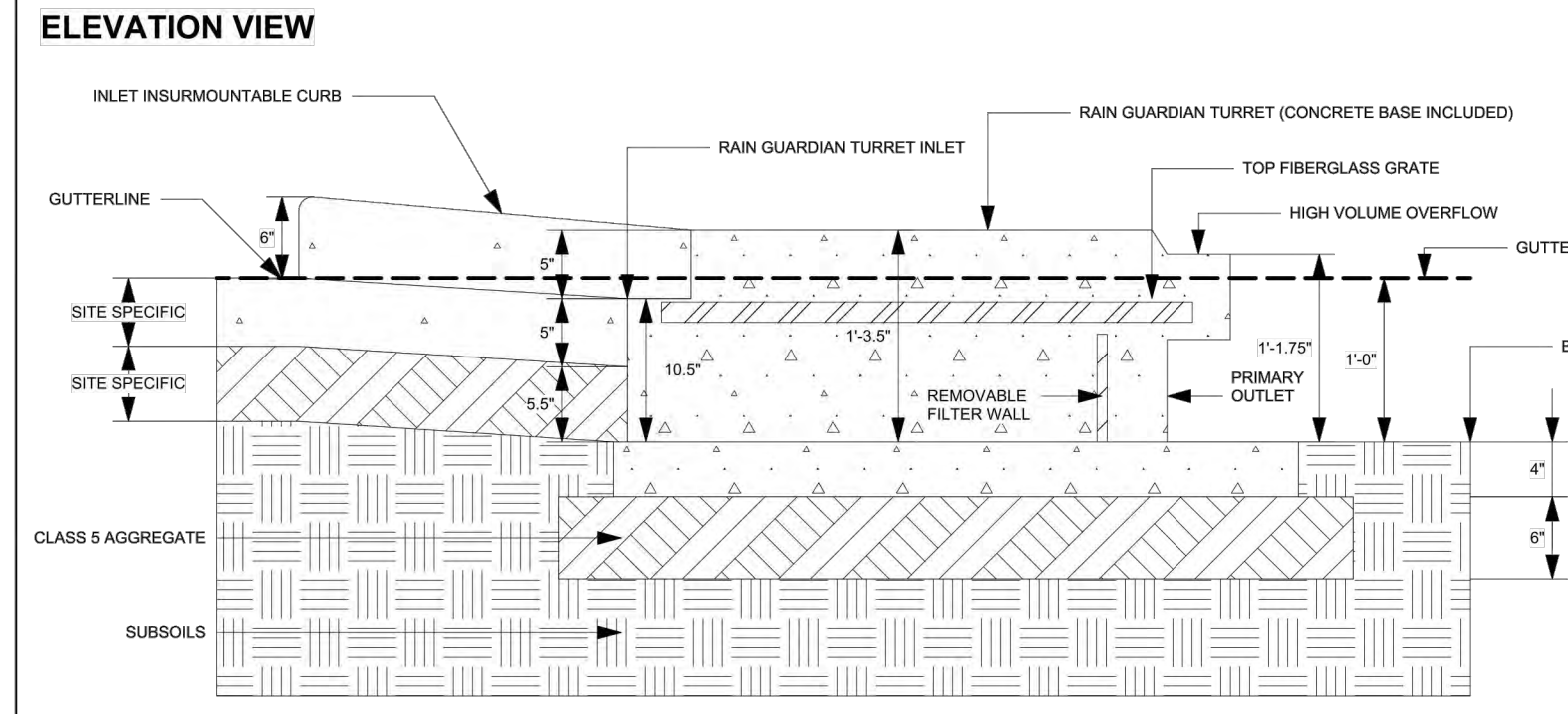


SPECIFICATIONS

1. STEEL REINFORCED, COLD JOINT SECURED MONOLITHIC CONCRETE STRUCTURE (1,030 LBS). CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS. CONCRETE AIR ENTRAINED (5% TO 8.5% BY VOLUME), MANUFACTURED AND DESIGNED TO ASTM C885.
2. THREE-POINT PICK USING RECESSED LIFTING POCKETS WITH A STANDARD HOOK.
3. FIBERGLASS TOP GRATE (32 LBS, 1-1/2" THICK) - 1,760 LB CONCENTRATED LOAD OR 409 LB/SQ-FT UNIFORM LOAD.

INSTALLATION NOTES

1. INSTALL THE CLASS 5 BASE (COMPACTED TO 95% STANDARD PROCTOR). THE DISTANCE FROM THE BACK OF THE CURB MAY VARY BASED ON SITE CONDITIONS, BUT CONSIDERATIONS SHOULD INCLUDE SLOPE OF THE INLET AND BASIN SIDE SLOPES ADJACENT TO THE RAIN GUARDIAN TURRET. POSITION RAIN GUARDIAN TURRET SO PRIMARY OUTLET ALIGNS WITH TOE OF BASIN SIDE SLOPE TO AVOID SOIL INTERFERENCE WITH REMOVABLE FILTER WALL. EXCAVATE 1' 10" BELOW THE GUTTERLINE ELEVATION (I.E. THE BIORETENTION OVERFLOW ELEVATION) TO ACCOMMODATE THE 1' PONDING DEPTH, 6" CLASS 5 AGGREGATE, AND 4" RAIN GUARDIAN TURRET BASE (INCLUDED). THEREFORE, THE TOP OF THE CLASS 5 COMPACTED BASE IS PRECISELY 1' 4" BELOW THE GUTTERLINE ELEVATION. THE INLET TO THE RAIN GUARDIAN TURRET WILL BE 10-1/2" ABOVE THE TOP OF THE CONCRETE BASE AND 1-1/2" BELOW THE GUTTERLINE ELEVATION TO ACCOMMODATE A SLOPED INLET FROM THE GUTTER TO THE RAIN GUARDIAN TURRET.
2. SET RAIN GUARDIAN TURRET ON THE PREPARED CLASS 5 BASE.
3. INSTALL FRAMING FOR INLET BETWEEN RAIN GUARDIAN TURRET AND BACK OF CURB. TOP ELEVATIONS OF THE FRAMING SHOULD MATCH THE TOP OF THE CURB ON THE STREET SIDE AND THE TOP OF THE RAIN GUARDIAN TURRET ON THE BIORETENTION SIDE.
4. INSTALL EXPANSION/CONTRACTION JOINT MATERIAL OR A SHEET OF POLY TO SERVE AS A BOND BREAK BETWEEN RAIN GUARDIAN TURRET AND CONCRETE INLET BEFORE POURING INLET.
5. SIDE CURBS OF THE POURED INLET MUST HAVE AN INSURMOUNTABLE PROFILE TO PREVENT WATER FLOW FROM OVERTOPPING THE DOWNSTREAM SIDE OF THE INLET.
6. REMOVABLE FILTER WALL SHOULD BE INSTALLED WITH FILTER FABRIC ON THE INTERIOR SIDE OF THE RAIN GUARDIAN TURRET.



ELEVATION VIEW NOTES

1. THE TOP OF THE CLASS 5 BASE (COMPACTED TO 95% STANDARD PROCTOR) IS PRECISELY 1' 4" BELOW THE GUTTERLINE ELEVATION.



**RAIN GUARDIAN TURRET
PRETREATMENT CHAMBER
BIORETENTION PONDING DEPTH: 1'
TYPICAL DETAIL**

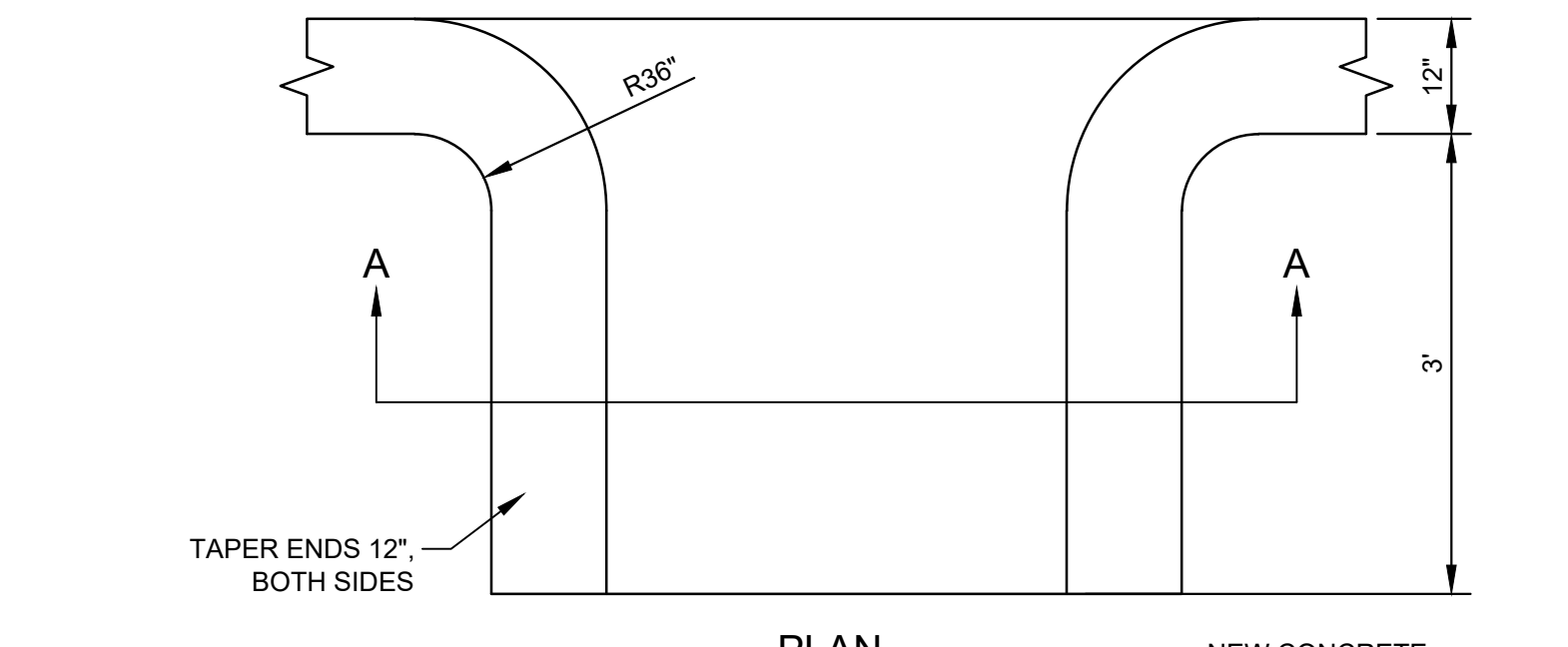
REVISION HISTORY

REV	BY	DATE	DESCRIPTION
A	MDH	11/16/2022	TURRET - 1'

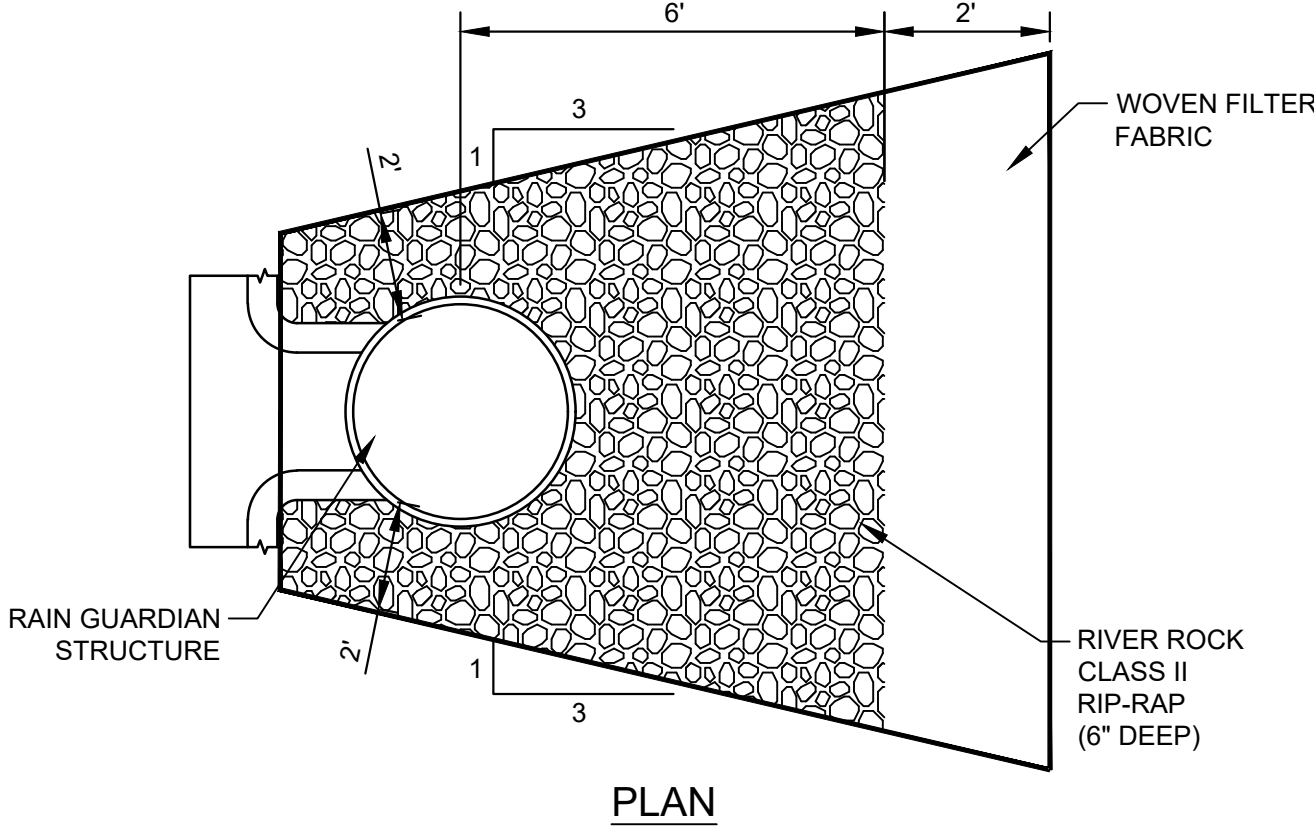
DEVELOPED BY:
ANOKA OBSERVATION DISTRICT

MANUFACTURED BY:
stoneworks
ARCHITECTURAL PRECAST /CAST STONE
NATIONAL PRECAST CONCRETE ASSOCIATION
REGISTERED MEMBER

1
C501
RAIN GUARDIAN DETAIL
NOT TO SCALE



2
C501
CURB CUT DETAIL
NOT TO SCALE



3
C501
RAIN GUARDIAN WITH RIP-RAP DETAIL
NOT TO SCALE

NOTE:
500X MIRAFI FABRIC OR EQUAL

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First M. Last, P.E.
Date: 05.01.2023 Lic. No.: 25520

REVISIONS:

No.	Description	Date

GREGORY CONTRACTING LLC

HAZEL AVENUE
WYOMING, MN

C501
DETAILS

STORM WATER POLLUTION PREVENTION PLAN (SWPPP) NARRATIVE

PROJECT DESCRIPTION / LOCATION

THE PROJECT CONSISTS OF A NEW BUILDING, PARKING LOT, GRAVEL DRIVE/PARKING LOT, UTILITY CONSTRUCTION, STORMWATER FILTRATION BASINS, AND ALL ASSOCIATED GRADING AND EROSION CONTROL MEASURES. THE PROJECT SITE IS LOCATED AT HAZEL AVENUE, WYOMING, MN 55025. STORMWATER RUNOFF FROM THE EXISTING SITE DRAINS OFF SITE TO THE NORTH.

THE PROJECT INCLUDES:
 *GRADING
 *UTILITIES
 *STORM SEWER
 *TURF ESTABLISHMENT

PLANS

THE PLANS SHOW THE PROJECT LIMITS.

ENVIRONMENTALLY SENSITIVE AREAS

PUBLIC WATERS LOCATED WITHIN 1 MILE OF THE PROJECT BOUNDARY AREA IDENTIFIED IN THE TABLE BELOW.

RECEIVING WATERS

COMFORT LAKE
 SUNRISE RIVER

IMPAIRMENT

MERCURY IN FISH TISSUE
 DISSOLVED OXYGEN, ESCHERICHIA COLI

OUTSTANDING RESOURCE VALUE WATERS (ORVWs)

NONE

CALCAREOUS FENS

THERE ARE NO CALCAREOUS FENS WITHIN 1 MILE OF THE PROJECT BOUNDARY.

ARCHAEOLOGICAL, HISTORICAL, AND ARCHITECTURAL RESOURCES

THERE ARE NO ARCHAEOLOGICAL, HISTORICAL, OR ARCHITECTURAL RESOURCES WITHIN THE PROJECT BOUNDARY.

ENDANGERED AND THREATENED SPECIES REVIEW

THERE ARE NO ENDANGERED OR THREATENED SPECIES IDENTIFIED WITHIN THE PROJECT BOUNDARY.

TOTAL MAXIMUM DAILY LOAD (TMDL) WATERS

NA

LAND FEATURE CHANGES

TOTAL PROJECT AREA DISTURBED:	1.71 ACRES±
TOTAL EXISTING IMPERVIOUS SURFACE AREA:	0.00 ACRES
TOTAL EXISTING PERVIOUS SURFACE AREA:	1.78 ACRES
TOTAL PROPOSED IMPERVIOUS SURFACE AREA:	0.63 ACRES
TOTAL PROPOSED PERVIOUS SURFACE AREA:	1.15 ACRES

TIMING OF BMP INSTALLATION

THE EROSION PREVENTION AND SEDIMENT CONTROL BMPs SHALL BE INSTALLED AS NECESSARY TO MINIMIZE EROSION FROM DISTURBED SURFACES AND CAPTURE SEDIMENT ON SITE. EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO ANY DEMOLITION AND/OR CONSTRUCTION.

DRAINAGE COMPUTATIONS

STORMWATER RUNOFF FROM THE SITE IS DIRECTED TO THE NEW FILTRATION BASINS TO MEET WATER QUALITY REQUIREMENTS, THEN OFFSITE NORTH.

PROJECT CONTACTS

PROJECT ENGINEER:
 LARSON ENGINEERING
 816 WEST ST. GERMAIN, SUITE 38
 ST. CLOUD, MN 56301
 320-774-1944

OWNER:
 RICHARD GREGORY/PIPER PROPERTIES LLC
 23090 HAVELKA CT. N.
 FOREST LAKE, MN 55025
 651-206-2853

CONTRACTOR:
 TBD

MPCA 24 HOUR EMERGENCY NOTIFICATION:

651-649-5451
 800-422-0798

SWPPP DESIGN, INSTALLATION & MANAGEMENT

DESIGN: TOM HERKENHOFF (LARSON ENGINEERING) 320.428.5824

INSTALLER: TBD

MANAGEMENT: TBD

CONSTRUCTION NOTES

CONSTRUCTION SHALL BE GOVERNED BY THE PROJECT MANUAL. THE CONTRACTOR SHALL KEEP AND MAINTAIN THE INSPECTION AND MAINTENANCE RECORDS.

PERMANENT STORMWATER MANAGEMENT

PERMANENT STORM WATER IS BEING TREATED BY THE FILTRATION BASINS LOCATED ON SITE. THE OWNER SHALL BE RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF THE FILTRATION BASINS AFTER PROJECT COMPLETION AND ACCEPTANCE.

SEQUENCE OF CONSTRUCTION ACTIVITIES

- INSTALL TEMPORARY EROSION CONTROL AS SHOWN ON THE PLANS.
- COMPLETE THE REMOVALS AS NOTED ON THE PLANS.
- CONSTRUCT ALL TEMPORARY SEDIMENT TRAPS.
- CONSTRUCT DOWNSTREAM STORM SEWER.
- CONDUCT SITE GRADING.
- TEMPORARILY SEED DENUDED AREAS PER NPDES REQUIREMENTS.
- CONTINUALLY STABILIZE THE NORMAL WETTER PERIMETER OF ALL AREAS WITHIN THE 200 LINEAL FEET OF THE SURFACE WATER OR THE PROPERTY EDGE.
- COMPLETE PERMANENT STABILIZATION.

BMP PROJECT QUANTITY ESTIMATE
 (QUANTITIES ARE AN ESTIMATE ONLY AND MAY VARY)

SILT FENCE:	1,555 LF±
INLET PROTECTION:	NA
TEMPORARY TURF ESTABLISHMENT:	0.55 AC±
PERMANENT TURF ESTABLISHMENT:	1.10 AC±
EROSION CONTROL BLANKET:	1,630 SY±
ROCK CONSTRUCTION ENTRANCE:	1 EA

STORM WATER POLLUTION PREVENTION PLAN (CONSTRUCTION ACTIVITY REQUIREMENTS)

- THE CONTRACTOR WILL NEED TO IDENTIFY AN EROSION CONTROL SUPERVISOR IN GOOD STANDING WHO WILL BE KNOWLEDGEABLE AND HAS THE APPROPRIATE MPCA LICENSURE IN THE APPLICATION OF EROSION PREVENTION AND SEDIMENT CONTROL, BEST MANAGEMENT PRACTICES.
- EROSION CONTROL MEASURES SHOWN THE EROSION CONTROL PLAN ARE THE ABSOLUTE MINIMUM. THE CONTRACTOR SHALL INSTALL TEMPORARY EARTH DIKES, SEDIMENT TRAPS OR BASINS, ADDITIONAL SILTATION FENCING, AND/OR DISK THE SOIL PARALLEL TO THE CONTOURS AS DEEMED NECESSARY TO FURTHER CONTROL EROSION. ALL CHANGES SHALL BE RECORDED IN THE SWPPP.
- THE EROSION CONTROL SUPERVISOR WILL WORK WITH THE PROJECT ENGINEER TO OVERSEE THE IMPLEMENTATION OF THE SWPPP, AND THE INSTALLATION, INSPECTION AND MAINTENANCE OF THE EROSION PREVENTION AND SEDIMENT CONTROL BMPs BEFORE, DURING AND AFTER CONSTRUCTION AS REQUIRED. THE BMP MEASURES SHALL REFERENCE CITY BMP DETAILS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE TO COMPLY WITH THE CONSTRUCTION STORMWATER PERMIT.
- THE CONTRACTOR WILL DEVELOP A CHAIN OF COMMAND WITH ALL OPERATORS ON THE SITE TO ENSURE THAT THE SWPPP WILL BE IMPLEMENTED AND STAY IN EFFECT UNTIL THE CONSTRUCTION PROJECT IS COMPLETE. THE ENTIRE SITE HAS UNDERGONE FINAL STABILIZATION, AND A NOTICE OF TERMINATION (NOT) HAS BEEN SUBMITTED TO THE MPCA.
- THE CONTRACTOR WILL PREPARE A WRITTEN WEEKLY SCHEDULE OF PROPOSED EROSION CONTROL ACTIVITIES FOR THE PROJECT ENGINEERS APPROVAL.
- THE CONTRACTOR WILL PREPARE AND SUBMIT A SITE PLAN FOR THE FOR THE PROJECT ENGINEERS APPROVAL FOR WORK IN CRITICAL AREAS AS IDENTIFIED ON THE PLANS OR AS REQUESTED BY THE PROJECT ENGINEER.
- ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY REMOVAL WORK AND/OR DISTURBING ACTIVITIES AND SHALL BE MAINTAINED UNTIL THE POTENTIAL FOR EROSION HAS BEEN ELIMINATED.
- ALL EXPOSED SOIL AREAS MUST BE STABILIZED AS SOON AS POSSIBLE TO LIMIT SOIL EROSION BUT IN NO CASE LATER THAN 7 DAYS OR AS REQUIRED BY THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FOR CONSTRUCTION ACTIVITY ON THAT PORTION OF THE SITE THAT HAS TEMPORARY OR PERMANENT CONSTRUCTION ACTIVITY COMPLETION.
- WORK IN DRAINAGE SWALES OR THE NORMAL WETTED PERIMETER OF ANY SURFACE WATER WILL REQUIRE STABILIZATION WITHIN 24 HOURS OF CONNECTION. THESE AREAS WILL INCLUDE ALL AREAS THAT DRAIN WATER WITHIN 200 FEET FROM THE PROPERTY EDGE OR POINT OF DISCHARGE TO ANY SURFACE WATER. RAPID STABILIZATION WILL BE USED IN THESE AREAS.
- DITCHES AND EXPOSED SOILS MUST BE KEPT IN A SMOOTH ROUGH GRADED CONDITION IN ORDER TO BE ABLE TO APPLY EROSION CONTROL MULCHES AND BLANKETS.
- ALL EXPOSED SOIL AREAS WILL BE STABILIZED PRIOR TO THE ONSET OF WINTER. ANY WORK STILL BEING PERFORMED WILL BE SNOW MULCHED, SEEDED, OR BLANKETED.
- SEDIMENT CONTROL DEVICES MUST BE ESTABLISHED ON ALL DOWN GRADIENT PERIMETERS BEFORE ANY UP GRADIENT LAND DISTURBING ACTIVITIES BEGIN. THE TIMING OF THE INSTALLATION OF THE SEDIMENT CONTROL DEVICES CAN BE ADJUSTED TO ACCOMMODATE SHORT-TERM ACTIVITIES SUCH AS CLEARING AND GRUBBING, OR PASSAGE OF VEHICLES. ANY SHORT TERM ACTIVITY MUST BE COMPLETED AS QUICKLY AS POSSIBLE AND THE SEDIMENT CONTROL DEVICES MUST BE INSTALLED IMMEDIATELY AFTER THE ACTIVITY IS COMPLETED IN ACCORDANCE WITH THE NPDES PERMIT.
 - SILT FENCE SHALL BE INSTALLED SO THAT IT FOLLOWS AS CLOSE AS POSSIBLE TO A SINGLE CONTOUR TO CAPTURE OVERLAND, LOW-VELOCITY SHEET FLOWS DOWN GRADIENT OF ALL EXPOSED SOILS AND PRIOR TO DISCHARGING TO SURFACE WATERS WITH THE SILT FENCE J-HOODED AT A MAXIMUM OF 100 FOOT INTERVALS AND SHALL CONTAIN NO MORE THAN 1/4 ACRE OF DRAINAGE AREA.
 - DITCH CHECKS WILL BE INSTALLED AS INDICATED ON THE PLANS DURING ALL PHASES OF CONSTRUCTION.
 - TEMPORARY DITCH CHECKS WILL CONSIST OF USING ROCK DITCH CHECKS AND ROCK WEEPERS IN FRONT OF CULVERT INLETS.
 - SEDIMENT DAMAGE FROM STOCKPILES WILL BE MINIMIZED BY PLACING A ROW OF SILT FENCE 6 FEET FROM THE TOE.
 - ALL EXPOSED STOCKPILES LEFT FOR A PERIOD OF TIME SHALL BE TEMPORARILY STABILIZED ACCORDING TO THE NPDES PERMIT REQUIREMENTS BUT IN NO CASE LATER THAN 7 DAYS.
- STREET SURFACES SHALL BE SWEEPED WITHIN 24 HOURS OF DISCOVERY OF SEDIMENT OR TRACKING WITH A VACUUM OPERATED BROOM SWEEPER. NO OPEN-BROOM SWEEPERS WILL BE ALLOWED.
- STORM SEWER INLETS WILL BE PROTECTED WITH THE APPROPRIATE BMPs FOR EACH SPECIFIC PHASE OF CONSTRUCTION.
- THE CONTRACTOR WILL COMPLY WITH THE REQUIREMENTS REGARDING POLLUTION PREVENTION MANAGEMENT DURING CONSTRUCTION, WHICH WILL INCLUDE PROVIDING:
 - CONCRETE WASHOUT FACILITIES/PROCESSES ACCORDING TO THE NPDES PERMIT REQUIREMENTS
 - SOLID WASTE COLLECTION AND REMOVAL
 - SECONDARY CONTAINMENT
 - HAZARDOUS WASTE STORAGE CONTAINERS AND SPILL KITS
- BUILDING PRODUCTS WITH POLLUTANT POTENTIAL SHALL BE STORED UNDER COVER (PLASTIC SHEETING, TEMPORARY ROOFS) OR IN SECURE CABINETS TO MINIMIZE CONTACT WITH STORMWATER.
- CHEMICALS (PESTICIDES HERBICIDES, FERTILIZERS, TREATMENT CHEMICALS, ETC.) SHALL BE STORED UNDER COVER (PLASTIC SHEETING, TEMPORARY ROOFS) OR IN SECURE CABINETS TO MINIMIZE CONTACT WITH STORMWATER.
- HAZARDOUS MATERIALS AND TOXIC WASTE (OIL, GAS, PAINT, ETC.) SHALL BE STORED IN SEALED CONTAINERS IN A STORAGE AREA WITH RESTRICTED ACCESS. STORAGE AREAS SHALL BE PROVIDED WITH SECONDARY CONTAINMENT PER MINNESOTA CHAPTER 7045. ALL DISPOSAL SHALL BE IN ACCORDANCE WITH STATE REGULATIONS.
- COLLECTION, STORAGE, AND DISPOSAL OF SOLID WASTE SHALL COMPLY WITH MINNESOTA ADMINISTRATIVE RULES 7035.0300 TO 7035.2915. STORAGE OF GARBAGE, REFUSE, AND OVERSIZE WASTE SHALL COMPLY WITH 7035.0700. RENOVATION AND DEMOLITION OPERATIONS SHALL COMPLY WITH 7035.0805.
- PORTABLE TOILETS SHALL BE MANAGED IN ACCORDANCE WITH MINNESOTA ADMINISTRATIVE RULES CHAPTER 7041.
- FUELING OF VEHICLES AND EQUIPMENT WILL BE PERFORMED IN A DESIGNATED, CONTAINED AREA. SPILL KITS SHALL BE READILY AVAILABLE AND DISPOSAL SHALL BE IN ACCORDANCE WITH STATE REGULATIONS. SPILLS WILL BE REPORTED IN ACCORDANCE WITH MINNESOTA STATUTE 115.061.
- WASHING OF VEHICLES AND EQUIPMENT WILL BE PERFORMED IN A DESIGNATED, CONTAINED AREA. RUNOFF FROM THE WASHING AREA SHALL BE CONTAINED IN A SEDIMENT BASIN AND WASTE SHALL BE DISPOSED OF IN ACCORDANCE WITH STATE REGULATIONS.
- CONCRETE AND WASHOUT WASTES (STUCCO, PAINT, RELEASE OILS, CURING COMPOUNDS, ETC.) SHALL BE PERFORMED IN A DESIGNATED, CONTAINED AREA, SO THAT WASTES DON NOT CONTACT THE GROUND. LIQUID AND SOLID WASTES SHALL BE DISPOSED OF IN ACCORDANCE WITH STATE REGULATIONS. A SIGN SHALL BE POSTED AT THE WASHOUT AREA FOR IDENTIFICATION AND INSTRUCTIONS.
- DEWATERING OR BASIN DRAINING ACTIVITIES OF TURBID OR SEDIMENT LADEN WATER WILL BE DISCHARGED TO TEMPORARY SEDIMENT BASINS WHENEVER POSSIBLE. IN THE EVENT THAT IT IS NOT POSSIBLE TO DISCHARGE THE SEDIMENT LADEN WATER TO A TEMPORARY SEDIMENT BASIN THE WATER MUST BE TREATED SO THAT IT DOES NOT ADVERSELY AFFECT RECEIVING WATERS OR DOWNSTREAM LANDOWNERS.
- THE CONTRACTOR WILL NEED TO PROVIDE A LICENSED EROSION CONTROL SUPERVISOR WHO CAN INSPECT THE SITE FOR NPDES PERMIT COMPLIANCE. MAINTENANCE OF ALL BEST MANAGEMENT PRACTICES (BMPs) WILL BE REQUIRED AS SET FORTH IN THE PREVIOUSLY NAMED SECTIONS.
 - THE EROSION CONTROL SUPERVISOR WILL NEED TO CONDUCT ROUTINE INSPECTIONS OF THE ENTIRE CONSTRUCTION SITE AS REQUIRED BY THE NPDES PERMIT
 - DATE AND TIME OF INSPECTION
 - NAME OF PERSONS CONDUCTING INSPECTIONS
 - CORRECTIVE ACTIONS TAKEN
 - DATE AND AMOUNT OF ALL RAINFALL EVENTS GREATER THAN 0.5 INCHES IN 24 HOURS
 - DOCUMENTS AND CHANGES MADE TO THE SWPPP
 - MAINTENANCE ACTIVITIES
- MAINTENANCE WILL BE PERFORMED WITHIN A PERIOD PER PERMIT REQUIREMENTS.
 - SILT FENCE REPAIRS SHOULD BE MADE WHEN IT BECOMES NON-FUNCTIONAL OR SEDIMENT REACHES 1/3 THE HEIGHT OF THE FENCE
 - INLET PROTECTION DEVICES SHOULD BE REPAIRED WHEN THEY BECOME NON-FUNCTIONAL OR SEDIMENT REACHES 1/3 THE HEIGHT AND/OR DEPTH OF THE DEVICE
 - TEMPORARY SEDIMENT BASIN MUST HAVE THE SEDIMENT REMOVED ONCE THE SEDIMENT HAS REACHED 1/2 THE STORAGE VOLUME
 - TRACKED SEDIMENT MUST BE REMOVED WITHIN 24 HOURS OF DISCOVERY OF OFF SITE TRACKING ONTO PAVED SURFACES
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL BMPs UNTIL WORK HAS BEEN COMPLETED, SITE HAS GONE UNDER FINAL STABILIZATION, AND THE NOTICE OF TERMINATION HAS BEEN SUBMITTED TO THE MPCA IN ACCORDANCE WITH THE CONSTRUCTION GENERAL PERMIT
- BURNING OF TREES, BRUSH, OR OTHER VEGETATED MATERIAL IS NOT ALLOWED WITHIN THE PROJECT BOUNDARIES.
- THE CONTRACTOR MAY SKIP TEMPORARY OR RAPID STABILIZATION METHODS IF THEY CHOOSE TO STABILIZE AN AREA WITH PERMANENT STABILIZATION WITHIN THE APPROPRIATE TIME FRAMES OUTLINED IN THE PERMIT FOR THE DIFFERENT ACTIVITIES.
- IF TEMPORARY OR PERMANENT COVER WILL NOT BE ESTABLISHED BY NOVEMBER 15, PROVIDE ADEQUATE MEASURES TO CONTROL SPRING EROSION AND SEDIMENTATION.
- ALL SEDIMENT DEPOSITED INTO A WATER OF THE STATE MUST BE REMOVED IMMEDIATELY OR AS REQUIRED BY THE NPDES PERMIT.
- OUTLETS INTO SURFACE WATERS SHALL BE STABILIZED WITH ENERGY DISSIPATION WITHIN 24 HOURS. ALL RIP RAP SHALL BE INSTALLED WITH A FILTER MATERIAL OR SOIL SEPARATION AND COMPLY WITH THE MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
- A 50 FOOT NATURAL BUFFER SHALL BE PRESERVED ADJACENT TO SURFACE WATERS. IF WORK ENCROACHES THE SURFACE WATER AS A COMPONENT OF THE WORK, REDUNDANT SEDIMENT CONTROLS SHALL BE INSTALLED.
- ALL FILTRATION AREAS MUST BE INSPECTED TO ENSURE THAT NO SEDIMENT FROM ONGOING CONSTRUCTION ACTIVITY IS REACHING THE FILTRATION AREA AND THESE AREAS ARE TO BE PROTECTED FROM COMPACTION DUE TO CONSTRUCTION EQUIPMENT DRIVING ACROSS THE FILTRATION AREA. ONLY LOW IMPACT EQUIPMENT SHALL BE ALLOWED IN THE FILTRATION AREAS WHICH SHALL BE STAKED AND MARKED OFF.

** INSPECT THE CONSTRUCTION SITE ONCE EVERY 7 DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES IN 24 HOURS. RAINFALL SHALL BE MEASURED USING AN ONSITE RAIN GAUGE.

2023.05.01 CLFLWD SUBMITTAL - NOT FOR CONSTRUCTION



I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Thomas M. Last
 First M. Last, P.E.
 Date: 05.01.2023 Lic. No.: 26520

REVISIONS:

No.	Description	Date

GREGORY CONTRACTING LLC

HAZEL AVENUE WYOMING, MN

C600 SWPPP

Municipal Tree Replacement Requirements:

Per City of Wyoming Requirements: (1) Overstory Tree and (2) Understory Trees are required per 1/10th acre of plantable area

Plantable Acres On Site*: 0.7 Acres
 Overstory Trees Required On Site: 7
 Understory Trees Required On Site: 14
 *Less Easements, Basin Bottoms, and Future Building/Paving Area

Overstory Trees to Remain as Credit: 0
 Understory Trees to Remain as Credit: 0

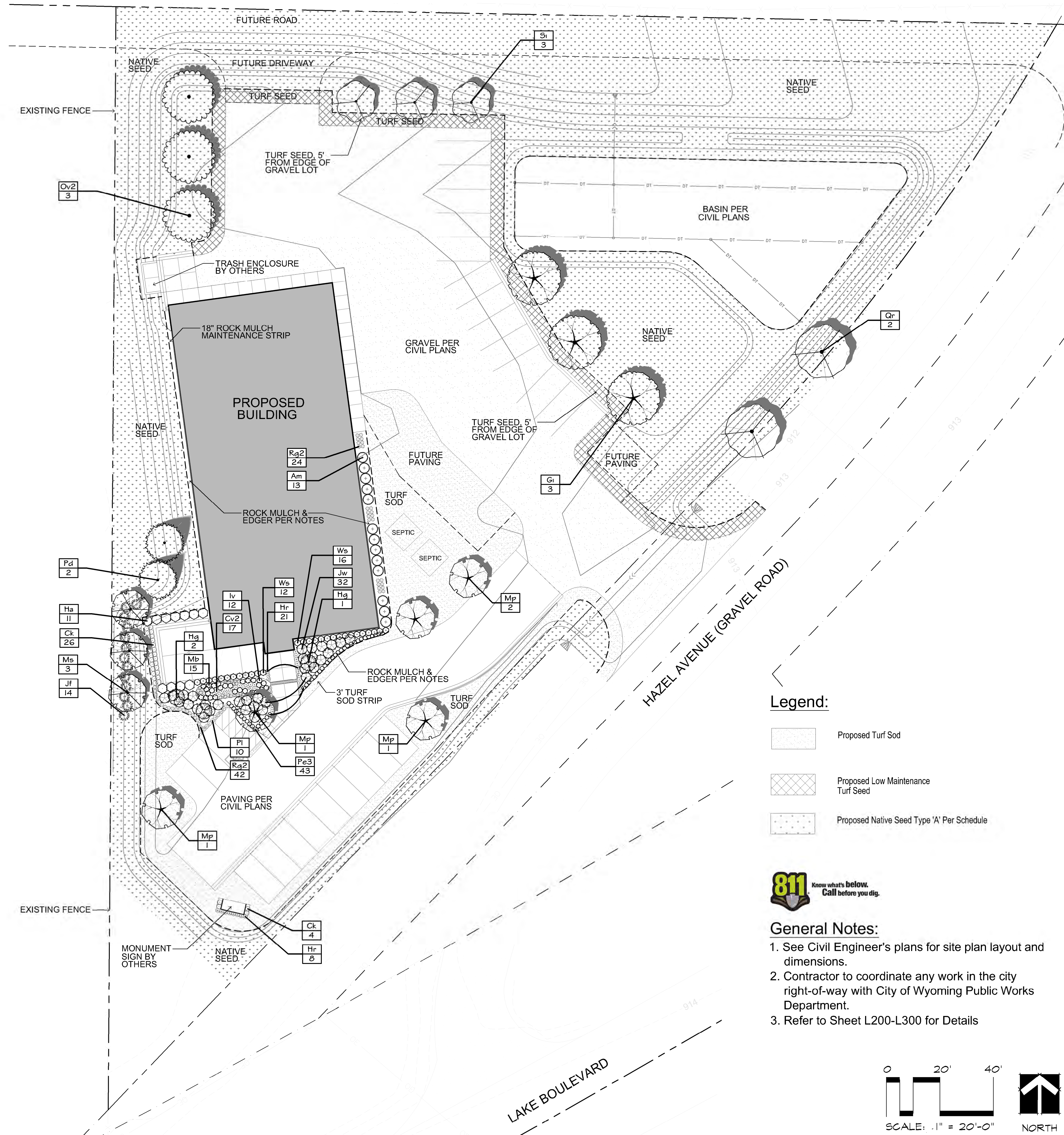
Municipal Screening Requirements:

Screening Buffers are required between different land uses. Screening requirements shall be satisfied by one or more of the following:

1. Fence (existing)
2. Planting Screen (must meet one of the following requirements:):
 - 2.1. Evergreen shrubs (4' height) and deciduous trees (2" caliper minimum)
 - 2.2. Continuous row of evergreen trees (4' height minimum)
 - 2.3. Mixed planting of native trees and shrubs
3. Berm

PLANT SCHEDULE

EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Pd	<i>Picea glauca</i> 'Densata'	Black Hills Spruce	6' Hgt.	B&B	2	
OVERSTORY TREE	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Gl	<i>Gleditsia triacanthos</i> inermis 'Skycole'™	Skyline Thornless Honey Locust	2.5' Cal.	B&B	3	
	Qr	<i>Quercus rubra</i>	Northern Red Oak	2.5' Cal.	B&B	2	Spring Dug
UNDERSTORY TREE	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Mp	<i>Malus x 'Prairie Fire'</i>	Prairie Fire Crab Apple	1.5' Cal.	B&B	5	
	Ms	<i>Malus x 'Spring Snow'</i>	Spring Snow Crab Apple	2' Cal.	B&B	3	
	Ov2	<i>Ostrya virginiana</i>	Ironwood	1.5' Cal.	B&B	3	
	Sl	<i>Syringa reticulata</i> 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5' Cal.	B&B	3	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Am	<i>Aronia melanocarpa</i> 'Morton'™	Iroquois Beauty Black Chokeberry	5 gal.	Pot	13	
	Ha	<i>Hydrangea arborescens</i> 'Annabelle'	Annabelle Hydrangea	5 gal.	Pot	11	
	Hg	<i>Hydrangea paniculata</i> 'Grandiflora' Tree Form	PeeGee Panicle Hydrangea Tree Form	15 gal.	Pot	3	Tree Form, 5' Tall at Installation
	Jl	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	5 gal.	Pot	14	
	Jw	<i>Juniperus horizontalis</i> 'Wiltonii'	Blue Rug Juniper	2 gal.	Pot	32	
	Ws	<i>Weigela florida</i> 'Bokraspiwi'™	Spilled Wine Weigela	2 gal.	Pot	28	
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Cv2	<i>Carex vulpinoidea</i>	Fox Sedge	1 gal.	Pot	17	
	Hr	<i>Hemerocallis x 'Ruby Stella'</i>	Ruby Stella Daylily	1 gal.	Pot	29	
	Iv	<i>Iris versicolor</i>	Blue Flag	1 gal.	Pot	12	
	Mb	<i>Monarda fistulosa</i>	Bergamot	1 gal.	Pot	15	
	Pl	<i>Perovskia atriplicifolia</i> 'Little Spire'	Little Spire Russian Sage	1 gal.	Pot	10	
	Pe3	<i>Phlox subulata</i> 'Emerald Blue'	Emerald Blue Creeping Phlox	1 gal.	Pot	43	
	Rg2	<i>Rudbeckia fulgida</i> 'Goldstrum'	Black Eyed Susan	1 gal.	Pot	66	
	Ck	<i>Calamagrostis x acutiflora</i> 'Karl Foerster'	Feather Reed Grass	1 gal.	Pot	30	



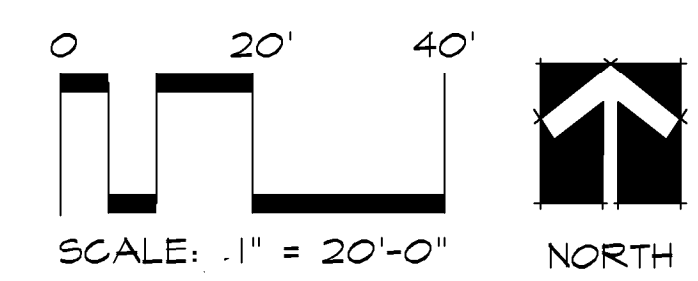
Legend:

- Proposed Turf Sod
- Proposed Low Maintenance Turf Seed
- Proposed Native Seed Type 'A' Per Schedule



General Notes:

1. See Civil Engineer's plans for site plan layout and dimensions.
2. Contractor to coordinate any work in the city right-of-way with City of Wyoming Public Works Department.
3. Refer to Sheet L200-L300 for Details



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GREGORY CONTRACTING

GREGORY CONTRACTING
 246XX Highway 8
 Wyoming MN, 55025

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of MINNESOTA.

Benjamin Hartberg
 Benjamin Hartberg, PLA
 Date: 05.09.2023 Lic. No.: 48084

Rev.	Date	Description

Project #:
 Drawn By: HL
 Checked By: BH
 Issue Date: 05.09.2023
 Sheet Title:

LANDSCAPE PLAN

Sheet:
L100

Native Seeding Schedule:



Native Seed type 'A' in Upland areas shall be:
 MnDOT #35-221 Dry Prairie General, seeded into the topsoil layer at 50.00 lbs per acre.
 Submit seed mix for approval. Grading and Erosion Control per Civil Plans and Specifications.
 Add an additional 20.00 lbs per acre of MnDOT #21-111 Oats Cover Crop to the mix below.

Common Name	Scientific Name	Rate (lb/ac)	Rate (kg/ha)	% of Mix (by weight)	Seeds/ sq ft
side-oats grama	<i>Bouteloua curtipendula</i>	3.00	3.36	8.22%	6.61
little bluestem	<i>Schizachyrium scoparium</i>	3.00	3.36	8.22%	16.53
nodding wild rye	<i>Elymus canadensis</i>	1.00	1.12	2.74%	1.91
kalm's brome	<i>Bromus kalmii</i>	0.73	0.82	2.00%	2.14
big bluestem	<i>Andropogon gerardii</i>	0.70	0.78	1.92%	2.57
indian grass	<i>Sorghastrum nutans</i>	0.70	0.78	1.92%	3.09
blue grama	<i>Bouteloua gracilis</i>	0.50	0.56	1.37%	7.35
june grass	<i>Koeleria macrantha</i>	0.25	0.28	0.69%	18.37
prairie dropseed	<i>Sporobolus heterolepis</i>	0.12	0.13	0.34%	0.73
Grasses Subtotal		10.00	11.21	27.42%	59.30
black-eyed susan	<i>Rudbeckia hirta</i>	0.31	0.35	0.84%	10.32
purple prairie clover	<i>Dalea purpurea</i>	0.19	0.21	0.51%	1.02
hoary vervain	<i>Verbena stricta</i>	0.13	0.15	0.34%	1.29
lead plant	<i>Amorpha canescens</i>	0.09	0.10	0.26%	0.42
blue giant hyssop	<i>Agastache foeniculum</i>	0.06	0.07	0.17%	2.07
butterfly milkweed	<i>Asclepias tuberosa</i>	0.06	0.07	0.17%	0.10
Canada milk vetch	<i>Astragalus canadensis</i>	0.06	0.07	0.18%	0.40
bird's foot coreopsis	<i>Coreopsis palmata</i>	0.06	0.07	0.16%	0.21
white prairie clover	<i>Dalea candida</i>	0.06	0.07	0.15%	0.39
Canada tick trefoil	<i>Desmodium canadense</i>	0.06	0.07	0.18%	0.13
stiff sunflower	<i>Helianthus pauciflorus</i>	0.06	0.07	0.17%	0.09
wild bergamot	<i>Monarda fistulosa</i>	0.06	0.07	0.15%	1.42
stiff goldenrod	<i>Oligoneuron rigidum</i>	0.06	0.07	0.15%	0.83
large-flowered beard tongue	<i>Penstemon grandiflorus</i>	0.06	0.07	0.17%	0.32
smooth aster	<i>Symphotrichum laeve</i>	0.06	0.07	0.17%	1.26
rough blazing star	<i>Liatris aspera</i>	0.04	0.04	0.12%	0.25
gray goldenrod	<i>Solidago nemoralis</i>	0.04	0.04	0.10%	3.86
Symphotrichum ericoides		0.04	0.04	0.10%	2.58
Forbs Subtotal		1.50	1.68	4.09%	26.96
Oats		25.00	28.02	68.49%	11.13
Cover Crop Subtotal		25.00	28.02	68.49%	11.13
Total		36.50	40.91	100.00%	97.39
Purpose:	General dry prairie mix for native roadsides, ecological restoration, or conservation program plantings.				
Planting Area:	Tallgrass Aspen Parklands, Prairie Parkland, and Eastern Broadleaf Forest Provinces. Mn/DOT Districts 2(west), 3B, 4, Metro, 6, 7 & 8.				

NATIVE SEEDING INSTALLATION METHOD:

Drop Seeding Onto Tilled Sites

This is the "standard" method for seeding on prepared sites such as those on construction projects.

- a) **Site Preparation:** The site should be prepared by loosening topsoil to a minimum depth of 3 inches.
- b) **Fertilizer:** Use a fertilizer analysis based on a soil test or a general recommendation is a 10-10-10 (NPK) commercial grade analysis at 200 lbs/acre.
- c) **Seed Installation:** Seed should be installed with a drop seeder that will accurately meter the types of seed to be planted, keep all seeds uniformly mixed during the seeding and contain drop seed tubes for seed placement (Brillion-type). The drop seeder should be equipped with a cultipacker assembly to ensure seed-to-soil contact.
- d) **Seeding Rates:** Rates are specified in the mixture tabulation for the specified mix.
- e) **Packing:** If the drop seeder is not equipped with a cultipacker, the site should be cultipacked following the seeding to ensure seed-to-soil contact.
- f) **Mulch:** Cover soil with a hydromulch consisting of natural wood fiber or paper fiber, water, and M-Binder at 100 lbs per acre.

NATIVE SEED REQUIRED MAINTENANCE - 3 YRS:

Native Grass and Forb Mixtures (mixtures beginning with the number 3)

Year 1

Establishment (spring seeding):

- 1) Prepare site - Late April - May
- 2) Seed - May 1 - June 1

Maintenance:

- 1) Mow (6-8 inches) - every 30 days after planting until September 30.
- 2) Weed Control - mowing should help control annual weeds. Spot spray thistles, etc.

Establishment (fall seeding):

- 1) Prepare site - Late August - early September
- 2) Seed - late September to freeze-up

Maintenance (following season):

- 1) Mow (6-8 inches) - once in May, June, and July
- 2) Weed Control - mowing should keep annual weeds down. Spot spray thistles, etc.

Evaluation:

- 1) Cover crop growing within 2 weeks of planting (except dormant plantings).
- 2) Seedlings spaced 1-6 inches apart in drill rows.
- 3) Native grass seedlings may only be 4-6 inches tall.
- 4) If there is a flush of growth from foxtail etc., mow as necessary.

Year 2

Maintenance:

- 1) Mow (6-8 inches) one time between June 1 - August 15 before weeds set seed.
- 2) Weed Control - mowing should keep annual weeds down. Spot spray thistles, etc.
- 3) Some sites may not require much maintenance the second year.

Evaluation:

- 1) Cover crop will be gone unless winter wheat was used in a fall planting.
- 2) Grasses forming clumps 1-6 inches apart in drill rows, but still short.
- 3) Some flowers should be blooming (black-eyed Susans, bergamot, etc.).
- 4) If there is a flush of growth from foxtail etc., mow site.

Year 3

Maintenance:

- 1) Mow only if necessary.
- 2) Weed Control - Spot spray thistles, etc.
- 3) Sites usually do not require much maintenance the third year.

Evaluation:

- 1) Planting should begin looking like a prairie - tall grasses, flowers, etc.

Long-term

Maintenance:

- 1) Weed Control - Spot spray thistles, etc.
- 2) Burning (3-5 year rotation) alternate spring and fall if possible.
- 3) Haying (3-5 year rotation) late summer or early fall. Alternate with burning (may substitute for burning).
- 4) Burning two years in a row will really "clean up" rough-looking sites.



General Notes:

- 1. See Civil Engineer's plans for site plan layout and dimensions.
- 2. Contractor to coordinate any work in the city right-of-way with City of Wyoming Public Works Department.
- 3. Refer to Sheet L100 for Landscape Layout Plan and L200-L300 for Landscape Details

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Client:
GREGORY CONTRACTING

Project Title:
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 246XX Highway 8
 Wyoming MN, 55025

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Landscape Architect under the laws of the State of MINNESOTA.

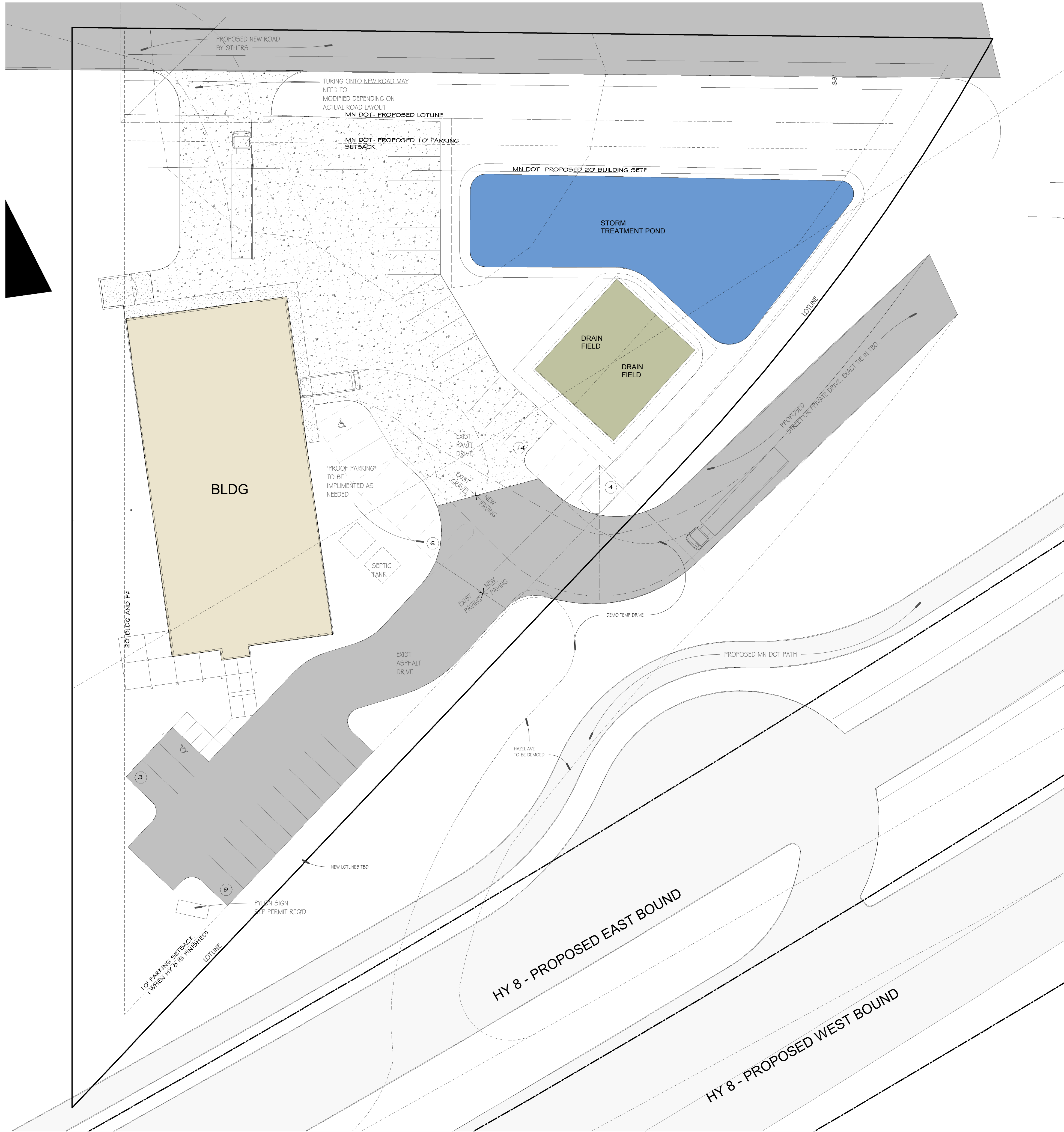
 Benjamin Hartberg, PLA
 Date: 05.09.2023 Lic. No.: 48084

Rev.	Date	Description

Project #:
 Drawn By: HL
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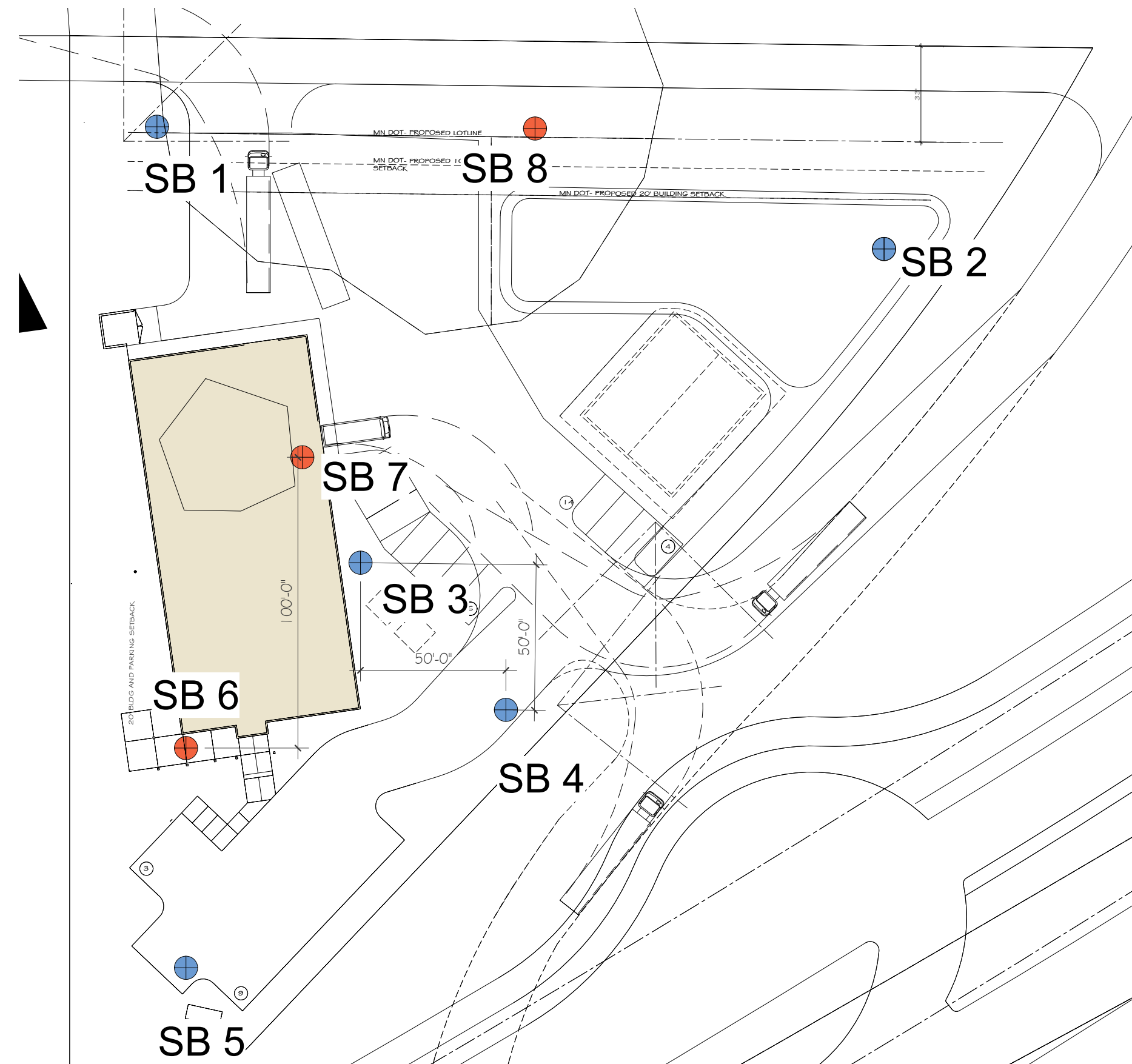
LANDSCAPE DETAILS

Sheet:
L300



① SITE PLAN FUTURE
1" = 20'-0"

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② SITE PLAN FUTURE - SOIL BORINGS
1" = 40'-0"

REVISIONS:

No.	Description	Date

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

[Signature] 5/23/2023 19826
SCOTT C. MOWER DATE LICENSE #
Project Number GCOB
Date 5/23/2023
Drawn By Author

GREGORY CONTRACTING

246XX
Hy 8
Wyoming MN

A1.1

FUTURE SITE PLAN

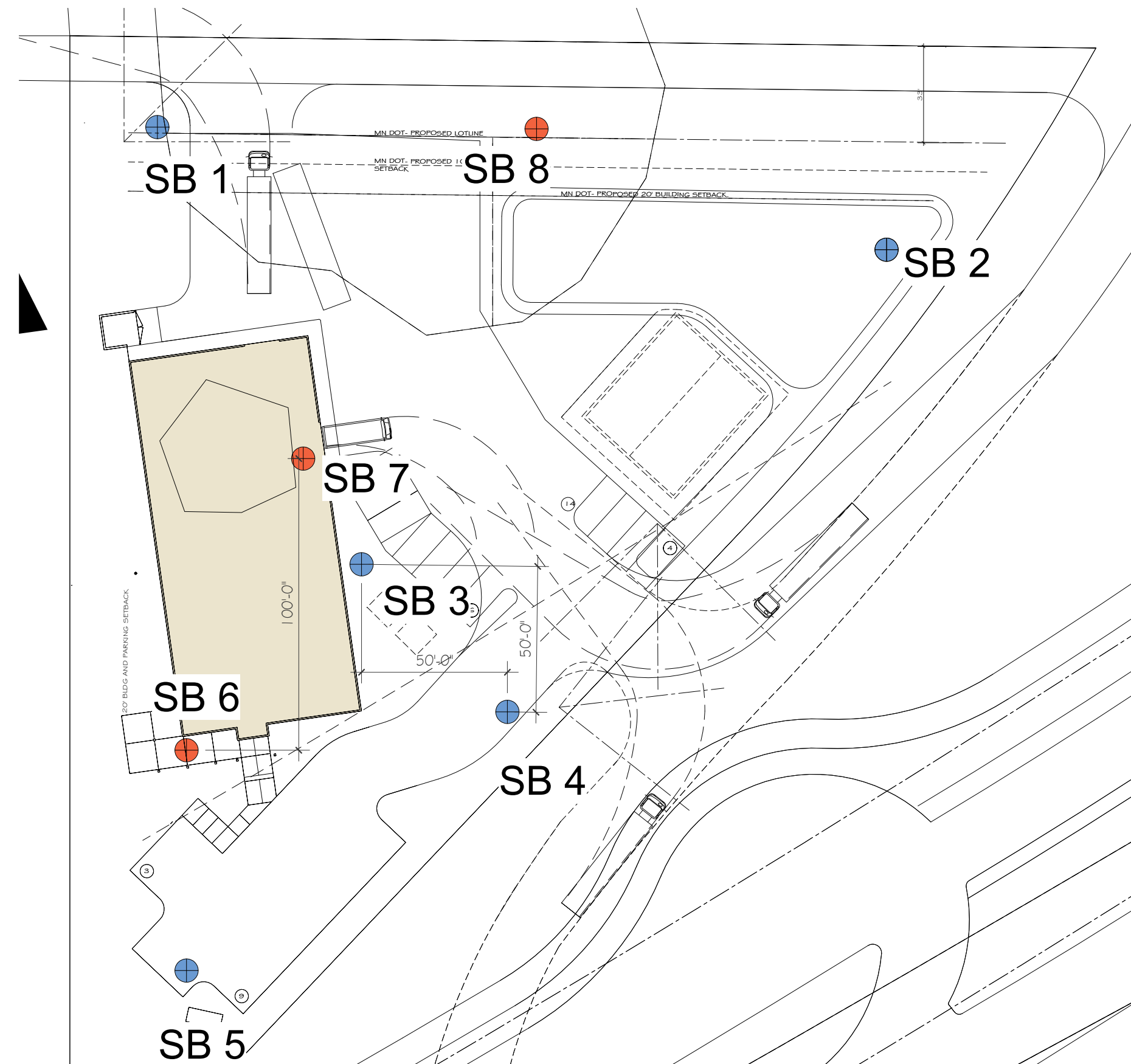
REVIEW SET



This is shown to be on the side slope down from the parking lot based on the grading plan included in these plans.

① SITE PLAN FUTURE
1" = 20'-0"

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② SITE PLAN FUTURE - SOIL BORINGS
1" = 40'-0"

REVISIONS:

No.	Description	Date

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

12.07.2022 19826
SCOTT C. MOWER, DATE LICENSE #
Project Number GCOB
Date 12.07.2022
Drawn By Author

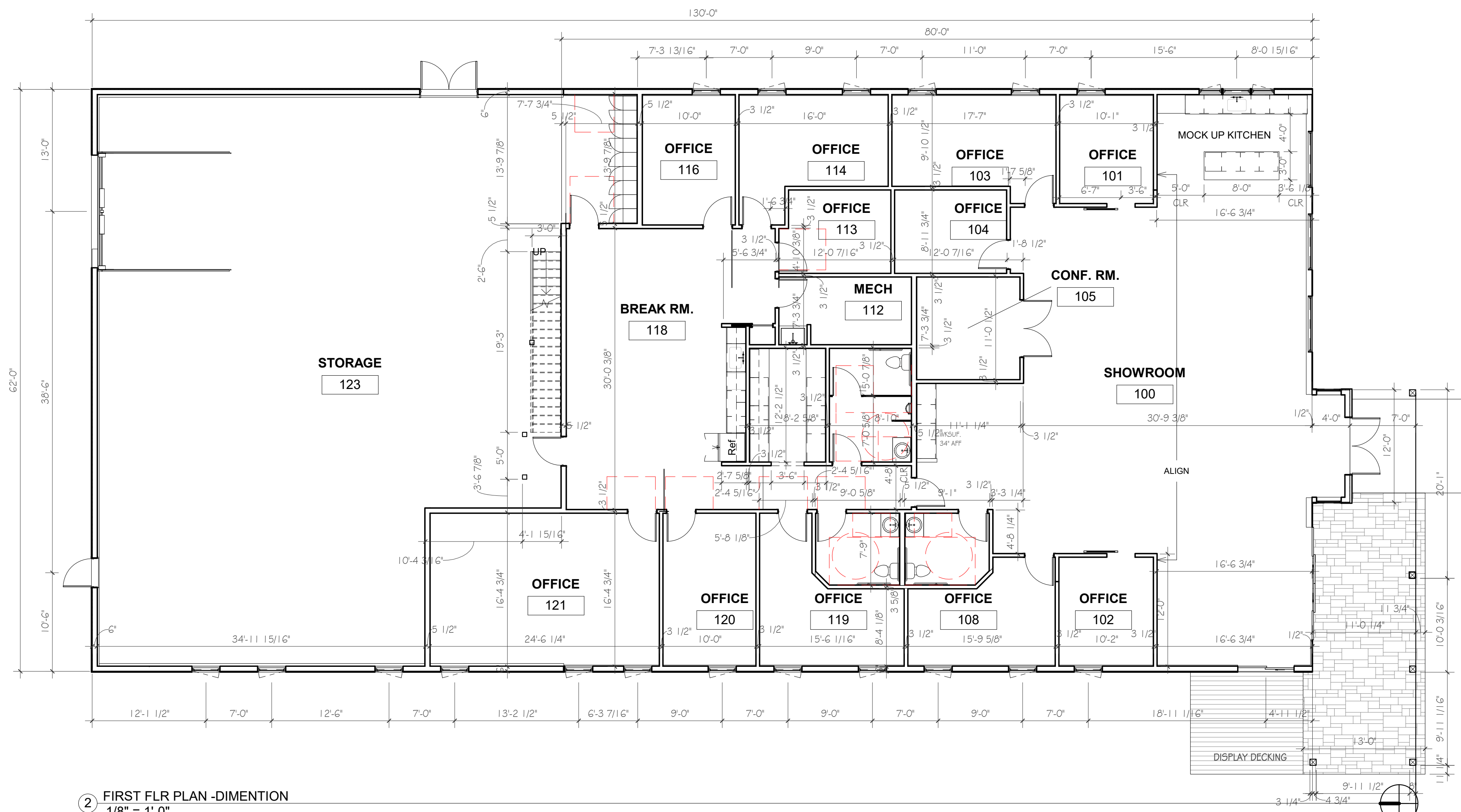
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Wyoming MN

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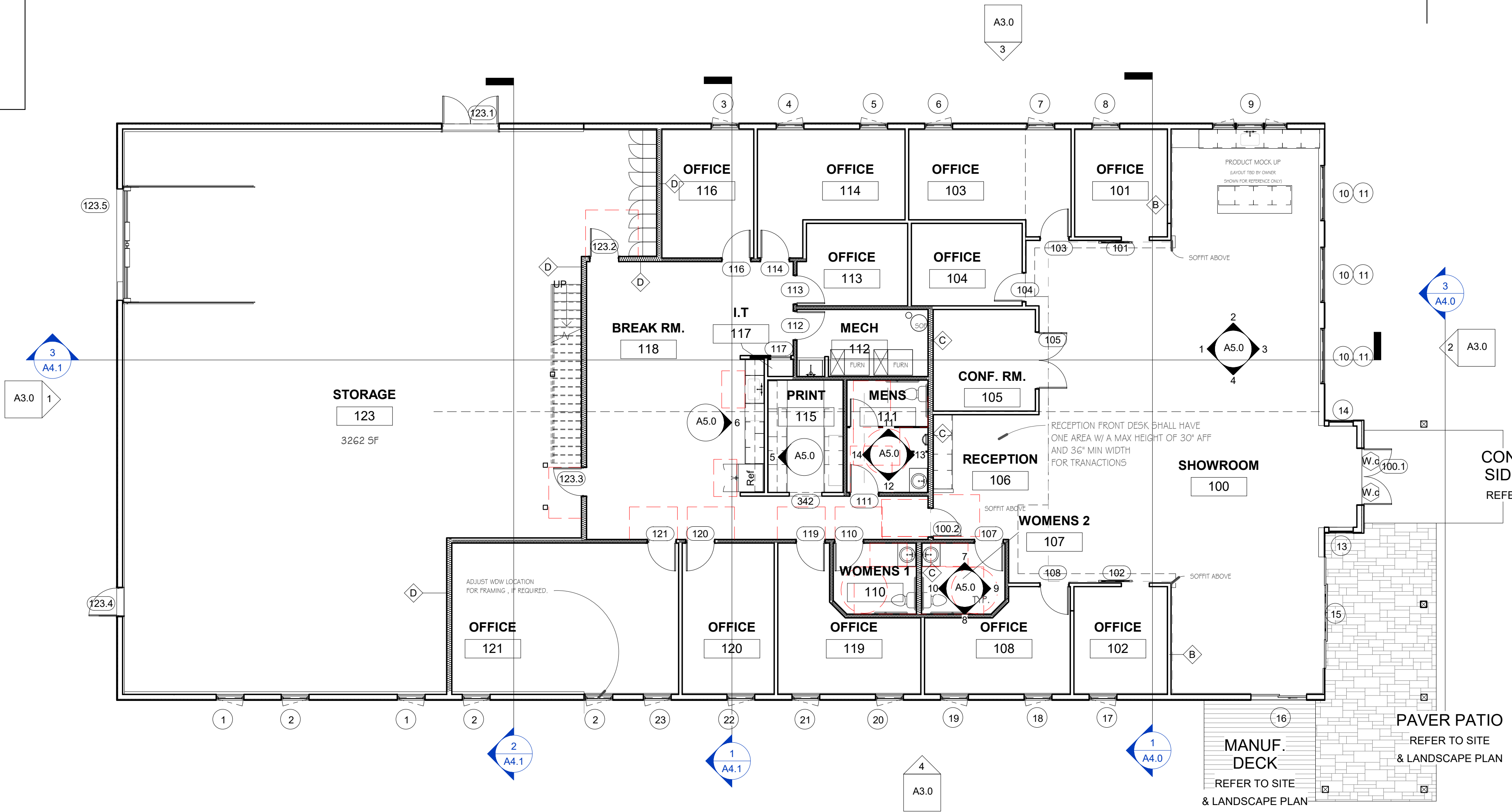
FUTURE SITE PLAN

REVIEW SET



- GENERAL NOTES**
1. VERIFY CONDITIONS NOTED AS EXIST, AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
 2. ALL DIMENSIONS PROVIDED ARE FROM FACE OF STUD TO FACE OF STUD, SHEATHING OR OTHER STRUCTURAL ELEMENT, UNO.
 3. DIMENSIONS PROVIDED FROM EXISTING BUILDING COMPONENTS ARE FROM FACE OF FINISH, UNLESS OTHERWISE NOTED.
 4. PRODUCT MOCK UP AREA IN SHOWROOM SPACE IS TO BE DESIGNED AND INSTALLED BY OWNER.

2 FIRST FLR PLAN - DIMENTION
1/8" = 1'-0"



1 FIRST FLR PLAN
1/8" = 1'-0"

PROGRESSIVE
Architecture

4820 OTTER LAKE ROAD, WHITE BEAR LAKE, MN 55110
WWW.PROGRESSIVEARCH.COM 651.292.1061

REVISIONS:

No.	Description	Date

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

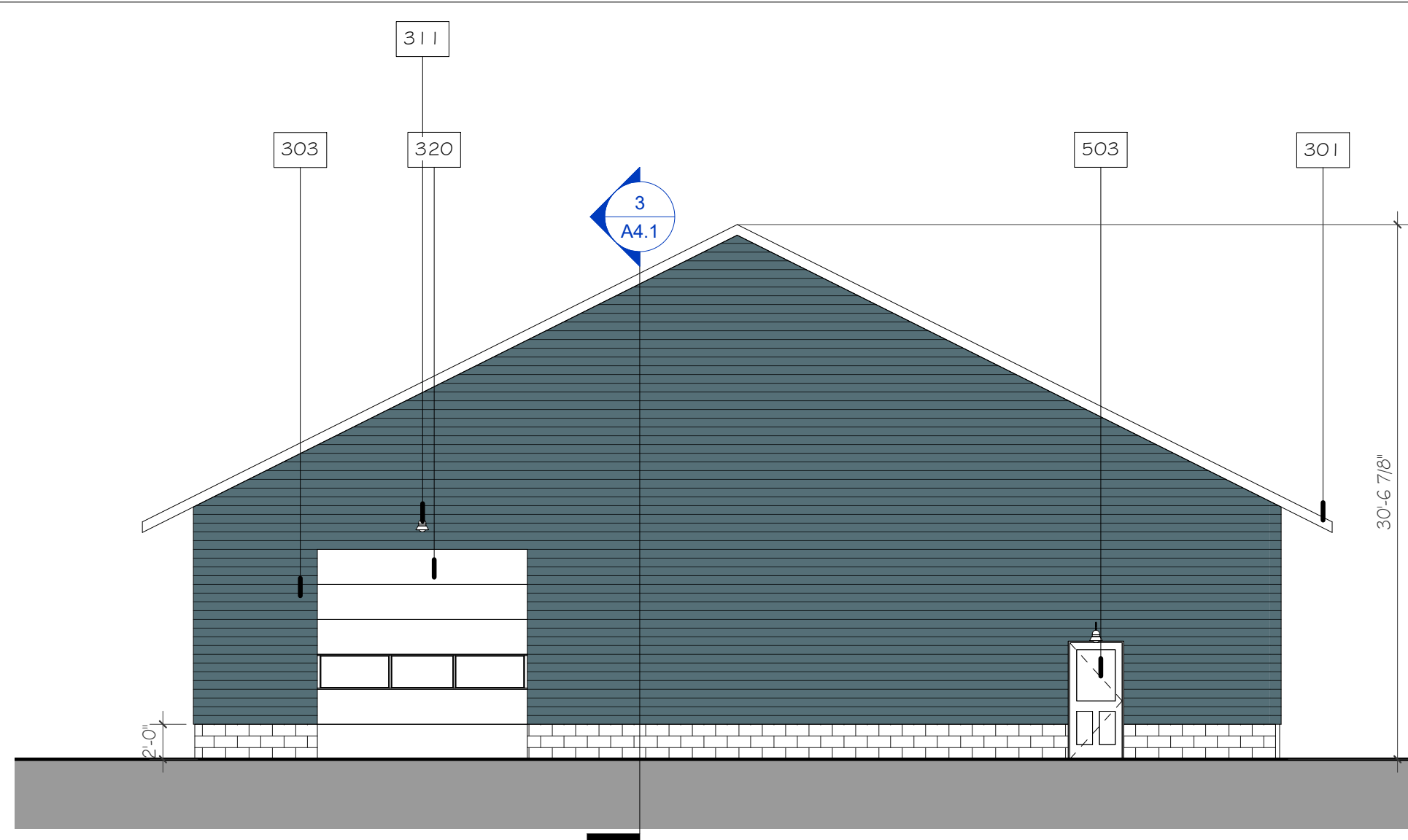
12-07-2022 19826
SCOTT C. MOWER DATE LICENSE #
Project Number GCOB
Date 12-07-2022
Drawn By PA

GREGORY CONTRACTING

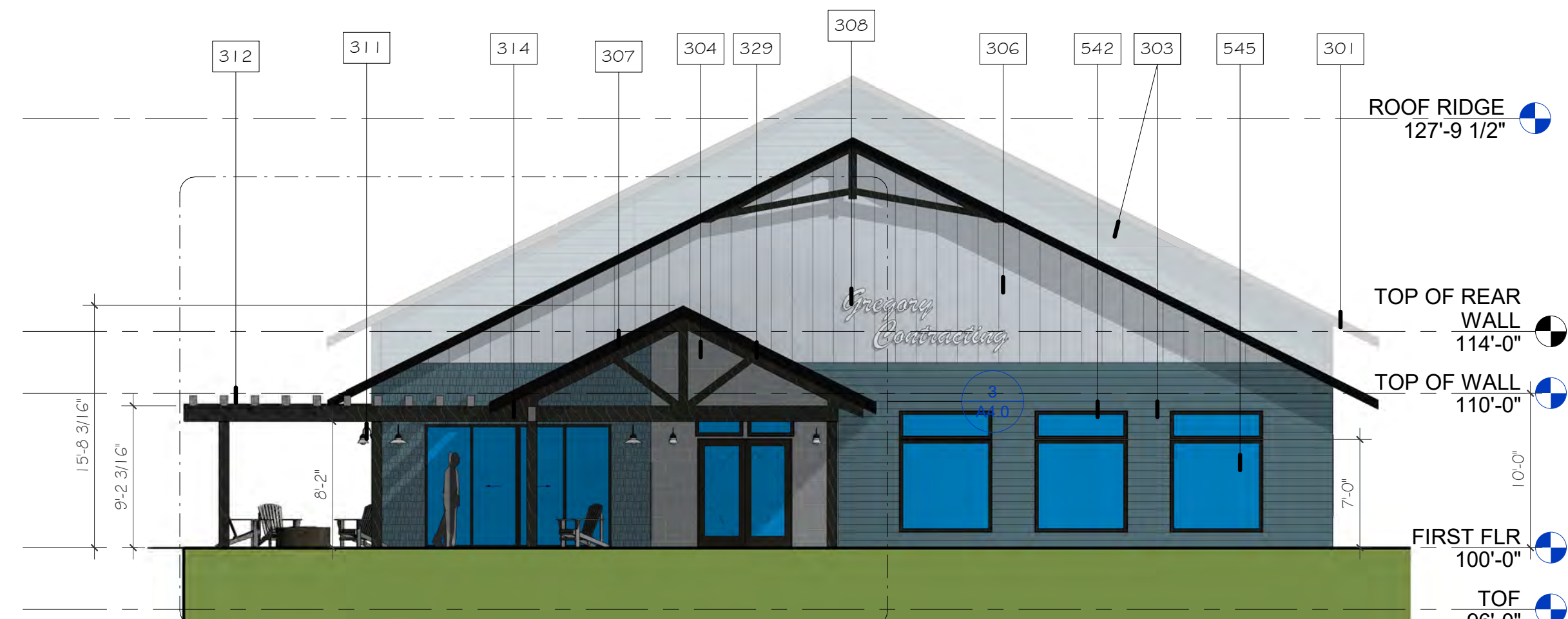
246XX
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Wyoming MN

A2.0
FLOOR PLAN

REVIEW SET

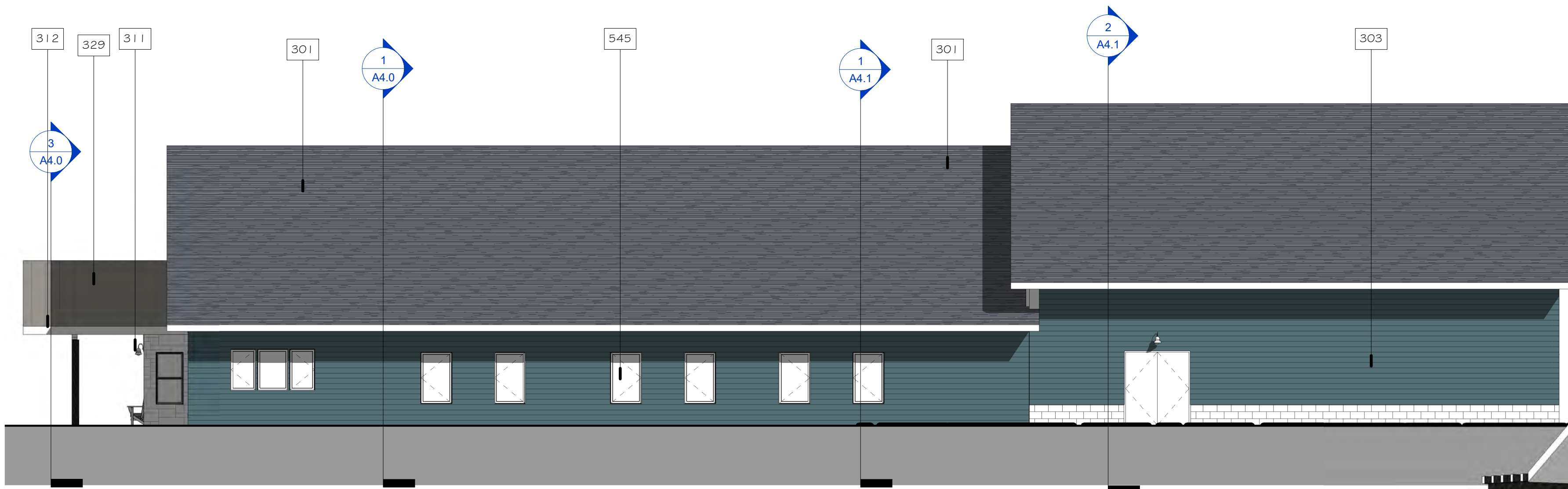


1 NORTH
1/8" = 1'-0"



2 SOUTH
1/8" = 1'-0"

ELEVATION KEYNOTES	
NUMBER	DESCRIPTION
301	EXTERIOR HIGH DEFINITION SHINGLES, BLACK
303	LAP COMPOSITE SIDING - MANF/COLOR TBD BY OWNER
304	FAUX STONE VENEER - TBD BY OWNER
305	EXTERIOR WINDOWS, PROVIDED BY OWNER
306	VERTICAL (R-BOARD & BATTEN) COMPOSITE SIDING - MANF/COLOR TBD BY OWNER
307	WOOD TIMBER, W/EXPOSED FAUX GUSSET PLATES
308	EXTERIOR SIGNAGE, PROVIDED BY OWNER
311	EXTERIOR LIGHTING
312	TIMBER TRELLIS - ADD ALT (FUTURE)
314	SPLIT CEDAR SHAKES, MANF/COLOR TBD BY OWNER
320	OVERHEAD GARAGE DOOR, COLOR TBD BY OWNER
329	STANDING SEAM METAL ROOF - COLOR TBD BY OWNER
503	DOOR W/ FRAME, SEE DOOR SCHEDULE
542	SMOOTH FINISH EXT. TRIM "BELLY BAND", COLOR TBD BY OWNER
545	EXTERIOR WINDOWS

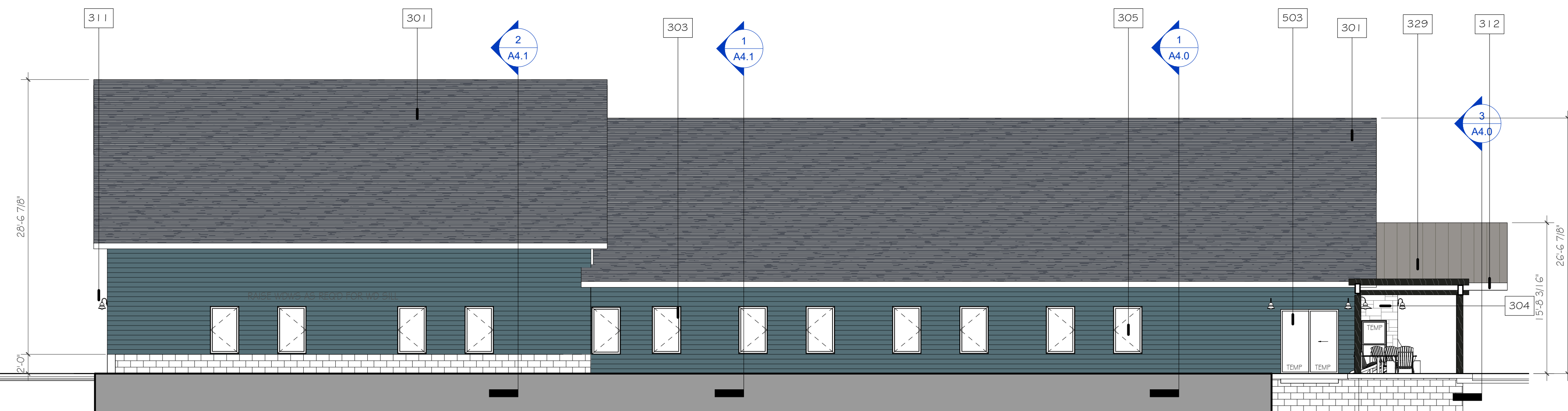


3 EAST
1/8" = 1'-0"



5 VIEW FROM FRONT ENTRANCE

SHOWN FOR VISUAL REFERENCE ONLY
DEPICTION IS NOT 100% ACCURATE.
FINAL LOCATION & SELECTION OF MATERIALS TO BE CHOSEN BY OWNER.



4 WEST
1/8" = 1'-0"

EXTERIOR BLDG MATERIALS	
SOUTH ELEVATION	
GLAZING	293 SF
STONE	83 SF
LP LAP SIDING	249 SF
LP LAP SIDING - HIGH	212 SF
LP SHAKE	122 SF
LP B & B	387 SF
MISC TRELLIS ETC	31 SF
TOTAL SOUTH	1377 SF
EAST ELEVATION	
GLAZING	127 SF
STONE	24 SF
LP LAP SIDING	1171 SF
MTL DOOR	45 SF
BLOCK	45 SF
TOTAL EAST	1412 SF
NORTH ELEVATION	
LP LAP SIDING	1127 SF
DOORS	165 SF
BLOCK	94 SF
TOTAL NORTH	1377 SF
WEST ELEVATION	
GLAZING	223 SF
STONE	24 SF
LP LAP SIDING	1064 SF
CONCRETE BLOCK	100 SF
TOTAL	1411 SF

REVISIONS:		
No.	Description	Date

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

12.07.2022 19826
SCOTT C. MOWER DATE LICENSE #
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Date 12.07.2022
Drawn By PA

GREGORY CONTRACTING

246XX
Hy 8
Wyoming MN

A3.0

EXT ELE

REVIEW SET

PROGRESSIVE Architecture

4828 OTTER LAKE ROAD, WHITE BEAR LAKE, MN 55110
WWW.PROGRESSIVEARCH.COM 651.292.1061

**DRAFT MINUTES
PLANNING COMMISSION
CITY OF WYOMING, MINNESOTA
JUNE 13, 2023
7:00PM**

CALL TO ORDER:

Planning Commission Chairman Lobermeier called the Regular Meeting of the Wyoming Planning Commission for June 13, 2023 to order at 7:00 PM

CALL OF ROLL:

On a Call of the Roll the following members of the Wyoming Planning Commission were present: Mark Lobermeier, Michael Naumann, and Dan Iverson

ABSENT: Commissioner Katie West

Also Present: City Administrator Robb Linwood; Planning Consultant Kim Lindquist; and Mayor Lisa Iverson

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM:

Chair Lobermeier noted that if anyone was here to discuss the chicken/livestock home occupancy permit, that application has been withdrawn because they applicant has decided to do it in another community.

APPROVAL OF MINUTES:

1. Consider approving the minutes of the “Regular Meeting” of the Wyoming, Minnesota Planning Commission for May 23, 2023

Chair Lobermeier noted a few changes necessary on page 9 to more clearly reflect the actions taken by the Commission to not deny the request, but to continue it.

A MOTION WAS MADE BY COMMISSIONER IVERSON, SECONDED BY COMMISSIONER LOBERMEIER, TO APPROVE THE MINUTES OF THE “REGULAR MEETING” OF THE WYOMING, MINNESOTA PLANNING COMMISSION FOR MAY 23, 2023 AS AMENDED.

Voting Aye: Naumann, Iverson, and Lobermeier

Voting Nay: None

Abstain: None

Absent: West

SCHEDULED PUBLIC HEARINGS:

- 2. Variances: V23-001 Highway 8 Setback, Architectural Standards, and Screening Site Plan Review: SP-23-004, Gregory Contracting
Location: Lake Boulevard/Highway 8 and Hazel Avenue
Applicant: Richard Gregory, Jr.
Owner: Westkey Enterprises, LLC
Property ID Number: 21.10712.10**

Planning Consultant Lindquist gave an overview of the Site Plan Review as well as the variances that are being requested as part of this project. She explained that this is a building being

proposed for this site in which Gregory Contracting is the proposed tenant for the building. She noted that there have been fairly significant changes from the previous application and reviewed details of the proposal. She explained that the primary uses proposed on the site are for an office building with 11 offices, a showroom, and storage space that would all be contained within the building. She stated that there had not been an application that involves outdoor storage. She stated that they are proposing 31 parking stalls which staff feels is reasonable, since a portion of the building will be used for storage. She reviewed details of the variance requests and explained that staff is support of these requests. She reviewed the landscaping and utility plans as proposed. She stated that staff recommends approval of the site plan and the variance requests with the conditions as noted in the staff report. She explained that they are recommending a modification to condition #5 to require consistency with the west end of the parcel boundary and also adding an additional condition #7 that no exterior storage be allowed on the site except for the existing customer and employee vehicles. She clarified that this included equipment, materials, and trailers.

Commissioner Iverson asked when the Highway 8 project would begin.

City Administrator Linwood explained that the latest update from Chisago County is that they will be starting construction in 2025 and will last through 2026.

Commissioner Naumann stated that the presentation said that there was conditional approval from Forest Lake and the Watershed District and asked if the City knew what the conditions of their approvals were.

Ms. Lindquist stated that she believed that until there are final plans they do not give final approval. She explained that she believed it was considered conditional approval because they still have to submit final engineering plans for review. She noted that neither entity had raised alarms about anything and just wants to see the final plans.

Richard Gregory gave an overview of his plans for the building to have a showroom upfront and offices for staff along with storage for special orders in the back of the building. He clarified that they will have a separate facility for operations where all the trucks and trailers are located and that will continue even when this new building is built. He stated that there will not be any outside storage like that on the site. He explained that his reasoning for not wanting fencing on the north side is because that is where the road will be going which means he would put the fence in a year later it would be torn back out because of the road. He noted that once the road goes in that area will also no longer be residential, which is another reason that the fence would not be needed.

Commissioner Iverson asked about the proposed materials.

Mr. Gregory explained that it is upper level residential siding that is frequently used. He explained that he would like his building to look very nice because it will be a showpiece for what they can do for customers. He stated that the front will have a combination of lap siding, shake, along with board and batten.

Commissioner Naumann asked the name of the siding.

Mr. Gregory stated that it is called LP Smart Siding and is not cement board.

Commissioner Naumann asked about the life expectancy of the LP Smart Siding.

Mr. Gregory explained that the lift expectancy is about 30-50 years.

MOTION BY COMMISSIONER IVERSON, SECONDED BY COMMISSIONER NAUMANN, TO OPEN THE PUBLIC HEARING AT 7:28 P.M.

Voting Aye: Naumann, Iverson, and Lobermeier
Voting Nay: None

Abstain: None
Absent: West

Mark Holl, stated that he is fine with what is being proposed, but would like to see screening to the north. He stated that he understands Mr. Gregory's hesitancy about putting in fencing but would like to see a berm or some trees to provide some other form of screening provided.

Ray Hortsman, 7575 250th Street, stated that he built his home in 1997 and noted that the people that care for the road have done a marvelous job. He noted that they had to rebuild a portion of 250th Street because of the wetlands and noted that there is a lot of wildlife in the area. He stated that he is here tonight because somebody told him about this public hearing. He noted that he felt the entire neighborhood should have been informed and have the ability to come and comment on the project if they wanted to. He stated that it is difficult to turn onto Hazel during rush hour and explained that he was not in support of this type of project in a neighborhood.

Bonnie Christianson, 24679 Hale Avenue, stated that she is located on the west property that is referred to in the packet. She stated that in the City code, screening is required between commercial and residential. She stated that, barring any unforeseen circumstances, she agreed that the highway probably will come through, but she lives there now. She stated that she spoke with County Engineer Tripplett and was told that his estimate was for construction in 2026 and 2027. She stated that she is requesting that if this approved that it be screened on the west side between the proposed building and her property.

Lon Erickson, 25337 Heims Lake Circle, asked if there will need to be a left hand turn lane off of Highway 8 or a bypass area. He stated that if they do not add that, he believes that there could be a significant amount of congestion in this area. He stated that he feels something will need to be done to address all the left hand turns that will be being made.

Travis Chaput, 24965 Hazel Avenue, stated that 250th Street and Hazel connect and expressed concerns about people driving through a residential neighborhood on a rough dirt road. He stated that he does not understand how they can approve a commercial building going into a residential neighborhood that has a lot of kids outside playing. He stated that there are no turn lanes proposed and noted that this is already a congested, busy intersection. He stated that until something is figured out to make it so people do not go down Hazel, he would suggest they hold off on this project until Highway 8 is completed.

Thomas Larson, 24855 Hazel Avenue, stated that he used to live at 29465 Hazel Avenue before Mr. Chaput which means he has lived on this road since 1995. He stated that he also has concerns about traffic and the children in the neighborhood. He stated that the people who live on Hazel understand that the kids are there and they get a little nervous when they think about people coming into the area from the business standpoint that will not have this information on their minds. He stated that he has personally had three family members who have been in accidents at Hazel and Highway 8 and is concerned about the volume of business coming in at this intersection.

Tom Kline, 24839 Hazel Avenue, stated that they do not have children living at home anymore, but they do have frequent visits from their grandchildren. He stated that he is also concerned about the added amount of traffic turning onto Hazel Avenue. He stated that this area is all residential and explained that his biggest concern is about adding a commercial building and its traffic to their neighborhood.

Neil Reeve, 24679 Hale Avenue, asked if a traffic study had been done and expressed concern about not having a left turn lane. He stated that in 2018 Mr. Tolzmann wanted to have 10 lots at the end of Hamlet Avenue and he was required by MnDOT to construct a westbound lane into Hamlet Avenue and they also recommended that he also do an eastbound lane. He stated that this proposed project calls for 25 employees plus customers and deliveries. He noted that he felt the primary concern of the City should be the residents that currently live there. He distributed

information to the Commission that he had gathered. He stated that he feels it is clear that a project of this magnitude should have a traffic study completed and the Commission has heard comment after comment expressing concerns about the road, safety, and traffic. He stated that he is a bit confused about what is planned for the screening of the project and asked for an overview of the requirements for a commercial project in a residential neighborhood.

Planning Consultant Lindquist explained that it requires screening when commercial is next to residential, so there needs to be a 6 foot screening fence.

Mr. Reeve asked about the residents on the other side of Hazel Avenue.

Planning Consultant Lindquist explained that staff was recommending a screen fence on the north and west sides. She stated that they are not recommending screening on the east side.

Mr. Reeve asked if the code calls for screening on the east side of this type of project.

Planning Consultant Lindquist stated that it did not because it was not immediately adjacent to residential on the east side.

Chair Lobermeier stated that there is screening planned on the north and west sides of the property which would be those that are directly adjacent to residential properties.

Mr. Reeve read aloud a portion of the code related to screening and explained that he feels it is clear that the code calls for screening along the east side.

Karl Dahl, 7415 250th Street, stated that his family farm is in the area and feels it goes without saying that they appreciate the gentle beauty of the area. He stated that it is disappointing to see the area built up, but explained that he understood that it was not his place to tell someone else what they can or cannot do with their own property. He stated that he believes that there have been some valid concerns brought up today by the residents. He stated that he has 3 children that ride their bikes up and down the driveway and explained that when they did Highway 8, they put culverts in and closed Highway 8 between 250th and Hazel. He stated that there was a bit of a snafu where all the traffic then took Hazel over to 250th which now essentially means that Highway 8 is going between on the dirt road. He stated that he has been astounded by the disrespect people have had for a residential neighborhood. He noted that he feels it will be less of a concern after Highway 8 is rebuilt, but until then he feels the concerns that have been raised are valid. He stated that he did not think right now was the time for this type of project before Highway 8 has been redone. He stated that the City has codes, but are considered issuing variances and that they are doing their due diligence on this process. He asked the Commission to keep in mind that the code is in place for a reason before they just approve a variance.

Joshua Sternham, Coon Lake, stated he likes Wyoming and that we run nicer meeting than Coon Lake and Anoka County.

Doug Chaput, 24965 Hazel Avenue, asked about the variances and what would change after the Highway 8 construction. He asked what would happen if the highway does not go in exactly the way they are planning today. He stated that he feels that in 3 years, the plans could change.

Planning Consultant Lindquist stated that because it is the Highway 8 overlay, there is a setback from the right-of-way 150 feet into the property. She explained that the setback is actually reduced and measured from the centerline of the road, so it will move and be reduced.

Chair Lobermeier asked about the status of the design for Highway 8.

City Administrator Linwood noted that it is a preliminary design at this stage.

Shirley Erickson, 7734 250th Street, stated that she thinks Mr. Gregory has done a good job working on these plans, however she completely understands the concerns that have been raised related to traffic. She stated that she understands that Highway 8 plans close off Hazel, but that puts a road between this project and the new house that connects to Hale. She stated that this brings even more residential area into the mix. She stated that she has grandchildren and pets and with this being a gravel road, she finds it a scary thought to think that there will be additional traffic up and down these roads. She stated that it will not just effect 250th and Hazel but will include Hale and all the way around.

Thomas Larson, stated that if this request is granted, he thinks something positive would be if everyone on Hazel and 250th were to have some type of posted speed limit because there is currently nothing.

Travis Chaput, asked if approval of this project would open all residential neighborhoods for commercial buildings.

Mr. Reeve asked if MnDOT had weighed in on the variance requests. He stated that it does not make sense to him that they are adding a lane in each direction and a center divider which is described as 'less wide'.

Chair Lobermeier stated that MnDOT would not comment on the City's variances. He stated that he also has questions about whether MnDOT would comment on the traffic like they did in 2018.

City Administrator Linwood stated that they did comment and explained that they are not requiring any left or right turn lane, at this time.

Mr. Reeve reiterated his thought that Highway 8 is going to be wider when they are done so he does not understand why the setback variances would go away at that time.

Chair Lobermeier explained that his understanding is that the alignment of the roadway will be shifting and with that anticipated alignment, it will change the setbacks as indicated in the staff report.

Planning Consultant Lindquist explained that once the road is constructed, the setbacks default to the underlying zoning district, so the overlay of Highway 8 is only related to preserving right-of-way until the construction.

A resident reiterated the question raised by Mr. Chaput and asked if the Commission had an answer on whether allowing this commercial use in a residential area would open up the same thing happening in other residential areas.

Chair Lobermeier stated that he did not know the exact answer, but noted that he did not believe that it sets a precedent. He stated that he thinks that there may even be areas of the City that currently has commercial traffic traveling through residential areas.

MOTION BY COMMISSIONER IVERSON, SECONDED BY COMMISSIONER NAUMANN, TO CLOSE THE PUBLIC HEARING AT 8:08 P.M.

Voting Aye: Naumann, Iverson, and Lobermeier

Voting Nay: None

Abstain: None

Absent: West

Chair Lobermeier stated that many of the residents referenced the unpaved roads and asked which in the area were unpaved.

City Administrator Linwood stated that nothing in the area was paved and explained that with the future plan for Highway 8 it would be paved, but it is currently gravel.

Commissioner Iverson stated that he had also wondered why MnDOT had recommended turn lanes in 2018, but not in the current plans, but from what staff has reported, it appears as though they have examined this and just gave a different recommendation than in the past.

A member of the audience asked if they could see that information on paper since it was not included in the packet.

Chair Lobermeier stated that he would pass along this concern and explained that staff will produce this documentation so it is available for the public. He asked if the City could post speed limit signs in the area to alleviate some of the concerns.

City Administrator Linwood stated that he believes that is something that the City could have Public Works go to do in the area.

Mr. Gregory stated that coming out of their business they are just feet from Highway 8. He stated that there is no reason why his employees would take a left in order to go down Hazel to 250th. He stated that they will not want to drive down a gravel road and get their trucks dirty, but he plans to instruct them to simply go from Hazel to Highway 8 and stay away from the neighborhood. He stated that he also has children so he understands the concerns that have been raised about the safety of the children in the neighborhood. He stated that he is open to having something about that issue included in the conditions of approval that clarifies that his employees will not be traveling through the neighborhood on a regular basis. He stated that he would not have that same control over his customer base, but noted that he only expects to have about 2-3 customer visits per day. He offered to stay after the meeting and answer any questions that members of the neighborhood may have for him.

MOTION BY COMMISSIONER LOBERMEIER, SECONDED BY COMMISSIONER IVERSON, TO RECOMMEND APPROVAL OF VARIANCE REQUEST - V23-001 FOR HIGHWAY 8 SETBACK, ARCHITECTURAL STANDARDS, AND SCREENING; SITE PLAN REVIEW, SP-23-004 FOR GREGORY CONTRACTING LOCATED AT LAKE BOULEVARD/HIGHWAY 8 AND HAZEL AVENUE FOR RICHARD GREGORY, JR. (APPLICANT) AND WESTKEY ENTERPRISES, LLC (OWNER) FOR PROPERTY ID NUMBER: 21.10712.10, SUBJECT TO THE CONDITIONS AS NOTED IN THE PACKET, WITH THE AMENDMENT OF CONDITION #5 TO INCLUDE SCREENING FOR BOTH THE WESTERN PARCEL BOUNDARY AND THE NORTHERN PARCEL BOUNDARY, AND THE ADDITION OF A CONDITION #7 TO CLARIFY THAT THERE WILL BE NO OUTSIDE STORAGE.

Voting Aye: Naumann, Iverson, and Lobermeier

Voting Nay: None

Abstain: None

Absent: West

NEW BUSINESS:

OLD BUSINESS:

- 3. Conditional Use Permit for Apartment Buildings: C-23-001**
Location: 257th Street, South end of cul-de-sac
Applicant/Owner: 257 Land Holdings, LLC, Brian Solsrud
Property ID Numbers: 21.10605.00 and 21.10542.10

Planning Consultant Lindquist explained that the Planning Commission had continued this item in order to allow time to create Findings of Fact to support the recommendation of denial of the request.

Chair Lobermeier commended staff for capturing the concerns raised by the Commission as well as the public in the Findings of Fact.

MOTION BY COMMISSIONER LOBERMEIER, SECONDED BY COMMISSIONER NAUMANN, TO RECOMMEND DENIAL OF THE CONDITIONAL USE PERMIT FOR APARTMENT BUILDINGS: C-23-001 LOCATED AT 257TH STREET, SOUTH END OF CUL-DE-SAC FOR APPLICANT/OWNER: 257 LAND HOLDINGS, LLC, BRIAN SOLSRUD, PROPERTY ID NUMBERS: 21.10605.00 AND 21.10542.10

Voting Aye: Naumann, Iverson, and Lobermeier

Voting Nay: None

Abstain: None

Absent: West

COMMUNICATIONS:

4. Vang Home Occupation – Application was withdrawn

UPDATES:

Forest Lake Sportsman's Club – Conditional Use Permit was approved by the City Council.

City Administrator Linwood noted that the EDA met last night and discussed the downtown study. He encouraged interested Planning Commission members to attend future meetings where this is discussed. He encouraged people to go online and find the downtown study and give the City their input on what they would and would not like to see in the downtown area.

A MOTION WAS MADE BY COMMISSIONER NAUMANN, SECONDED BY COMMISSIONER IVERSON, TO ADJOURN THE JUNE 13, 2023 "REGULAR MEETING" OF THE WYOMING, MINNESOTA PLANNING COMMISSION AT 8:22 PM.

Voting Aye: Naumann, Iverson, and Lobermeier

Voting Nay: None

Abstain: None

Absent: West

NEXT REGULAR MEETING:
JUNE 27, 2023
7:00PM

August 24, 2022

Fred Wreck
City of Wyoming
26885 Forest Boulevard
P.O. Box 188
Wyoming, Minnesota 55092

SUBJECT: Gregory Contracting
MnDOT Review S22-020 (**updated 8/24/2022**)
Location: NW Quad of Hwy 8 and Hazel Avenue
Control Section: 1308
Wyoming, Chisago County

Dear Fred Wreck,

The Minnesota Department of Transportation (MnDOT) has reviewed the above-referenced site plan. Please address the following issues before any further development:

East Area Program Delivery

Chisago County is leading a project to widen US8 from I-35 in Forest Lake to Karmel Avenue in Chisago City. The access changes and right-of-way needs with the project will affect this development. The developer needs to coordinate with the county to address those conflicts. In the interim condition (pre-county project) a westbound US 8 right-turn lane will be recommended for this development.

For general questions regarding this comment, contact Dmitry Tomasevich, Metro District East Area Engineer, at Dmitry.Tomasevich@state.mn.us or 651-245-4406.

Water Resources

A MnDOT drainage permit is required before development occurs as the plans are presently drawn. The permit applicant shall demonstrate that the off-site runoff entering MnDOT drainage system(s) and/or right-of-way will not increase. The drainage permit application, including the information below, should be submitted online to: <https://olpa.dot.state.mn.us/OLPA/>. Upload a copy of this letter when applying for any permits.

The following information must be submitted with the drainage permit application:

1. Grading plans, drainage plans, and hydraulic calculations demonstrating that proposed flows to MnDOT right-of-way remain the same as existing conditions, or are reduced.
2. Existing and proposed drainage area maps with flow arrows and labeling that corresponds with the submitted calculations.
3. Hydro CAD model and PDF of output for the 2, 10, and 100-year Atlas 14 storm events.

However, the plans and stormwater report show an increase in drainage area and runoff rates to the MnDOT right-of-way, noting there is no impervious area. It also states this is due to existing topography, which is not correct – the change is driven by the proposed topography. MnDOT will not accept any increase in drainage area or runoff rates and the plans must be revised. The applicant should also account for the drainage areas

in the right-of-way showing that no changes in these drainage areas are being made with the installation of the proposed culverts.

For questions regarding this comment, contact Jason Swenson, Water Resources, at Jason.Swenson@state.mn.us or 651-234-7539.

Permits

Any use of, or work within or affecting, MnDOT right-of-way will require a permit. Permits can be applied for at this site: <https://olpa.dot.state.mn.us/OLPA/>. Please upload a copy of this letter when applying for any permits.

For questions regarding this comment, contact Buck Craig, Permits, at Buck.Craig@state.mn.us or 651-234-7911.

Review Submittal Options

MnDOT's goal is to complete reviews within 30 calendar days. Review materials received electronically can be processed more rapidly. Do not submit files via a cloud service or SharePoint link. In order of preference, review materials may be submitted as:

1. Email documents and plans in PDF format to metrodevreviews.dot@state.mn.us. Attachments may not exceed 20 megabytes per email. Documents can be zipped as well. If multiple emails are necessary, number each message.
2. For files over 20 megabytes, upload the PDF file(s) to MnDOT's Web Transfer Client site: <https://mft.dot.state.mn.us>. Contact MnDOT Planning development review staff using the same email above for uploading instructions, and send an email listing the file name(s) after the document(s) has/have been uploaded.

You are welcome to contact me at 651-234-7785, or Jake.Schutt@state.mn.us with any questions.

Sincerely,

Jake Schutt
Principal Planner

Copy sent via email:

Jason Swenson, Water Resources
Buck Craig, Permits
Mike Lynch, Right of Way
Kaare Festvog, Traffic
Dmirty Tomasevich, Area Engineer
Adam Josephson, Area Manager
Mike Samuelson, Ped/Bike Planning

Jesse Thorsen, Ped/Bike Planning
Tod Sherman, Planning
Cameron Muhic, Planning
David Elvin, Planning
David Kratz, Planning
Bethany Brant-Sargent, Metropolitan Council
Jed Hanson, Metropolitan Council

RESERVED FOR RECORDING DATA

RESOLUTION NO. 23-06-54

**RESOLUTION APPROVING A VARIANCE FROM SECTIONS 40 – 255, (4), (a) & 40-296 ; TO ALLOW THE CONSTRUCTION OF AN OFFICE BUILDING NEARER THAN THE 150 FOOT SETBACK FROM THE RIGHT-OF-WAY OF HIGHWAY 8
AT
PIN 21.10712.10**

WHEREAS, the City of Wyoming is a political subdivision, organized and existing under the laws of the State of Minnesota; and,

WHEREAS, the City Council of the City of Wyoming has adopted zoning and subdivision regulations, per Ordinances 2009-4 and 2010-08, including subsequent amendments, to promote the orderly, economic and safe development and utilization of land within the City; and,

WHEREAS, Richard Gregory, Jr. has applied for a variance from Zoning Ordinance Sections 40 – 255, (4), (a) and 40-296 to allow the construction of an office building with an one-hundred seventeen and one half (117.5) foot setback from the right-of-way of Highway 8 instead of the required one-hundred fifty (150) feet on property legally described as:

All that part of the Southwest Quarter of the Northwest Quarter of Section 34, Township 33, Range 21, Chisago County, Minnesota lying Northwest of public highway except that part of the West 267 feet of the Southwest Quarter of the Northwest Quarter lying Northerly of the Northerly right-of-way line of Lake Boulevard also known as Highway 8 and lying Northwesterly of the Northwesterly right-of-way of Hazel Avenue formerly Highway 98.

WHEREAS, on June 13, 2023 the Planning Commission held a public meeting in accordance with the Ordinance and laws of the State of Minnesota; and,

WHEREAS, the City Council and Planning Commission have reviewed the application, as submitted, and have made the following findings of fact:

1. The standards contained in Sec. 40 – 120, (5), Items 1, 2, 3, 4, 5, 6, 7, and 8 of the City of Wyoming Zoning Ordinance have been met.

2. The proposed variance will not impair an adequate supply of light and air to adjacent property.
3. The proposed variance will not unreasonably increase the congestion in the public right-of-way; increase the danger of fire or endanger the public safety.
4. The proposed variance will not unreasonably diminish or impair established property values within the neighborhood.
5. The proposed variance will not cause an unreasonable strain upon existing municipal facilities and services.
6. The proposed variance will not be contrary in any way to the spirit and intent of this Ordinance.
7. The proposed variance will not have a negative direct or indirect fiscal impact upon the City or school district.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Wyoming hereby **GRANTS** the Variance, as requested by the applicant.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF WYOMING THIS 20th DAY OF JUNE, 2023.

Lisa Iverson, Mayor

ATTEST:

This Document Drafted by:
The City of Wyoming
26885 Forest Boulevard
Wyoming, Minnesota 55092

Robb Linwood, City Administrator

RESERVED FOR RECORDING DATA

RESOLUTION NO. 23-06-55

**RESOLUTION APPROVING A VARIANCE FROM SECTION 40 – 296; TO ALLOW THE
CONSTRUCTION OF A PARKING LOT NEARER THAN THE 150 FOOT SETBACK
FROM THE RIGHT-OF-WAY OF HIGHWAY 8
AT
PIN 21.10712.10**

WHEREAS, the City of Wyoming is a political subdivision, organized and existing under the laws of the State of Minnesota; and,

WHEREAS, the City Council of the City of Wyoming has adopted zoning and subdivision regulations, per Ordinances 2009-4 and 2010-08, including subsequent amendments, to promote the orderly, economic and safe development and utilization of land within the City; and,

WHEREAS, Richard Gregory, Jr. has applied for a variance from Zoning Ordinance Section 40 – 296 to allow the construction of a parking lot with a 48.6 foot setback from the right-of-way of Highway 8 instead of the required one-hundred fifty (150) feet on property legally described as:

All that part of the Southwest Quarter of the Northwest Quarter of Section 34, Township 33, Range 21, Chisago County, Minnesota lying Northwest of public highway except that part of the West 267 feet of the Southwest Quarter of the Northwest Quarter lying Northerly of the Northerly right-of-way line of Lake Boulevard also known as Highway 8 and lying Northwesterly of the Northwesterly right-of-way of Hazel Avenue formerly Highway 98.

WHEREAS, on June 13, 2023 the Planning Commission held a public meeting in accordance with the Ordinance and laws of the State of Minnesota; and,

WHEREAS, the City Council and Planning Commission have reviewed the application, as submitted, and have made the following findings of fact:

1. The standards contained in Sec. 40 – 120, (5), Items 1, 2, 3, 4, 5, 6, 7, and 8 of the City of Wyoming Zoning Ordinance have been met.

2. The proposed variance will not impair an adequate supply of light and air to adjacent property.
3. The proposed variance will not unreasonably increase the congestion in the public right-of-way; increase the danger of fire or endanger the public safety.
4. The proposed variance will not unreasonably diminish or impair established property values within the neighborhood.
5. The proposed variance will not cause an unreasonable strain upon existing municipal facilities and services.
6. The proposed variance will not be contrary in any way to the spirit and intent of this Ordinance.
7. The proposed variance will not have a negative direct or indirect fiscal impact upon the City or school district.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Wyoming hereby **GRANTS** the Variance, as requested by the applicant.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF WYOMING THIS 20th DAY OF JUNE, 2023.

Lisa Iverson, Mayor

ATTEST:

This Document Drafted by:
The City of Wyoming
26885 Forest Boulevard
Wyoming, Minnesota 55092

Robb Linwood, City Administrator

RESERVED FOR RECORDING DATA

RESOLUTION NO. 23-06-56

**RESOLUTION APPROVING A VARIANCE FROM SECTION 40 – 296; TO ALLOW THE
CONSTRUCTION OF A FREE STANDING SIGN NEARER THAN THE 150 FOOT
SETBACK FROM THE RIGHT-OF-WAY OF HIGHWAY 8
AT
PIN 21.10712.10**

WHEREAS, the City of Wyoming is a political subdivision, organized and existing under the laws of the State of Minnesota; and,

WHEREAS, the City Council of the City of Wyoming has adopted zoning and subdivision regulations, per Ordinances 2009-4 and 2010-08, including subsequent amendments, to promote the orderly, economic and safe development and utilization of land within the City; and,

WHEREAS, Richard Gregory, Jr. has applied for a variance from Zoning Ordinance Section 40 – 296 to allow the construction of a free standing sign with a 48.6 foot setback from the right-of-way of Highway 8 instead of the required one-hundred fifty (150) feet on property legally described as:

All that part of the Southwest Quarter of the Northwest Quarter of Section 34, Township 33, Range 21, Chisago County, Minnesota lying Northwest of public highway except that part of the West 267 feet of the Southwest Quarter of the Northwest Quarter lying Northerly of the Northerly right-of-way line of Lake Boulevard also known as Highway 8 and lying Northwesterly of the Northwesterly right-of-way of Hazel Avenue formerly Highway 98.

WHEREAS, on June 13, 2023 the Planning Commission held a public meeting in accordance with the Ordinance and laws of the State of Minnesota; and,

WHEREAS, the City Council and Planning Commission have reviewed the application, as submitted, and have made the following findings of fact:

1. The standards contained in Sec. 40 – 120, (5), Items 1, 2, 3, 4, 5, 6, 7, and 8 of the City of Wyoming Zoning Ordinance have been met.

2. The proposed variance will not impair an adequate supply of light and air to adjacent property.
3. The proposed variance will not unreasonably increase the congestion in the public right-of-way; increase the danger of fire or endanger the public safety.
4. The proposed variance will not unreasonably diminish or impair established property values within the neighborhood.
5. The proposed variance will not cause an unreasonable strain upon existing municipal facilities and services.
6. The proposed variance will not be contrary in any way to the spirit and intent of this Ordinance.
7. The proposed variance will not have a negative direct or indirect fiscal impact upon the City or school district.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Wyoming hereby **GRANTS** the Variance, as requested by the applicant.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF WYOMING THIS 20th DAY OF JUNE, 2023.

Lisa Iverson, Mayor

ATTEST:

This Document Drafted by:
The City of Wyoming
26885 Forest Boulevard
Wyoming, Minnesota 55092

Robb Linwood, City Administrator

RESERVED FOR RECORDING DATA

RESOLUTION NO. 23-06-57

RESOLUTION APPROVING A VARIANCE FROM SECTION 40 – 451, (2) TO ALLOW THE CONSTRUCTION OF AN OFFICE BUILDING WITH MORE THAN 35% OF CLASS III BUILDING MATERIALS ON THE EXTERIOR OF THE STRUCTURE

**AT
PIN 21.10712.10**

WHEREAS, the City of Wyoming is a political subdivision, organized and existing under the laws of the State of Minnesota; and,

WHEREAS, the City Council of the City of Wyoming has adopted zoning and subdivision regulations, per Ordinances 2009-4 and 2010-08, including subsequent amendments, to promote the orderly, economic and safe development and utilization of land within the City; and,

WHEREAS, Richard Gregory, Jr. has applied for a variance from Zoning Ordinance Section 40 – 451, (2) to allow the construction of an office building with more than 35% of class iii building materials on the exterior of the structure on property legally described as:

All that part of the Southwest Quarter of the Northwest Quarter of Section 34, Township 33, Range 21, Chisago County, Minnesota lying Northwest of public highway except that part of the West 267 feet of the Southwest Quarter of the Northwest Quarter lying Northerly of the Northerly right-of-way line of Lake Boulevard also known as Highway 8 and lying Northwesterly of the Northwesterly right-of-way of Hazel Avenue formerly Highway 98.

WHEREAS, on June 13, 2023 the Planning Commission held a public meeting in accordance with the Ordinance and laws of the State of Minnesota; and,

WHEREAS, the City Council and Planning Commission have reviewed the application, as submitted, and have made the following findings of fact:

1. The standards contained in Sec. 40 – 120, (5), Items 1, 2, 3, 4, 5, 6, 7, and 8 of the City of Wyoming Zoning Ordinance have been met.

2. The proposed variance will not impair an adequate supply of light and air to adjacent property.
3. The proposed variance will not unreasonably increase the congestion in the public right-of-way; increase the danger of fire or endanger the public safety.
4. The proposed variance will not unreasonably diminish or impair established property values within the neighborhood.
5. The proposed variance will not cause an unreasonable strain upon existing municipal facilities and services.
6. The proposed variance will not be contrary in any way to the spirit and intent of this Ordinance.
7. The proposed variance will not have a negative direct or indirect fiscal impact upon the City or school district.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Wyoming hereby **GRANTS** the Variance, as requested by the applicant with the following conditions:

1. The Applicant shall revise the building elevations to provide a wainscoting around the entire building comprised of stone, rockface block, or brick.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF WYOMING THIS 20th DAY OF JUNE, 2023.

Lisa Iverson, Mayor

ATTEST:

This Document Drafted by:
The City of Wyoming
26885 Forest Boulevard
Wyoming, Minnesota 55092

Robb Linwood, City Administrator

RESOLUTION NO. 23-06-58

**RESOLUTION APPROVING A SITE PLAN REVIEW APPLICATION TO CONSTRUCT AN
OFFICE WITH A SHOWROOM AND STORAGE SPACE
AT
PROPERTY ID NUMBER: 21.10712.10**

WHEREAS, the City of Wyoming is a political subdivision, organized and existing under the laws of the State of Minnesota; and,

WHEREAS, the City Council of the City of Wyoming has adopted zoning and subdivision regulations, per Ordinances 2009-4 and 2010-08, including subsequent amendments, to promote the orderly, economic and safe development and utilization of land within the City; and,

WHEREAS, Richard Gregory, Jr. has requested Site Plan Review approval to construct a building with an office, showroom, and storage space on property legally described as:

All that part of the Southwest Quarter of the Northwest Quarter of Section 34, Township 33, Range 21, Chisago County, Minnesota lying Northwest of public highway except that part of the West 267 feet of the Southwest Quarter of the Northwest Quarter lying Northerly of the Northerly right-of-way line of Lake Boulevard also known as Highway 8 and lying Northwesterly of the Northwesterly right-of-way of Hazel Avenue formerly Highway 98.

WHEREAS, on June 13, 2023 the Planning Commission held a public meeting in accordance with the Ordinance and laws of the State of Minnesota; and,

WHEREAS, the City Council and Planning Commission have reviewed the Site Plan Review application, as submitted, and have made the following findings of fact:

1. The Site Plan is consistent with the various elements and objectives of the City's long range plans, including, but not limited to, the Comprehensive Plan;
2. The Site Plan is consistent with the purposes of this Code;
3. The Site Plan preserves the site in its natural state, insofar as practicable, by minimizing tree and soil removal, and designing any grade changes so as to be in keeping with the general appearance of neighboring developed or developing areas;
4. The Site Plan is has a harmonious relationship of buildings and open spaces with the terrain and with existing and future buildings having a visual relationship to the proposed development;
5. The Site Plan creates a functional and harmonious design for structures and site features including;
 - a. Creation of an internal sense of order for the various functions and buildings on the site and provision of a desirable environment for occupants, visitors and the general community;
 - b. Appropriateness of the amount and arrangement of open space and landscaping to the design and function of the development;
 - c. Appropriateness of the materials, textures, colors and details of construction as an expression of the design concept of the project and the compatibility of the same with the adjacent and neighboring structures and functions; and
 - d. Adequacy of vehicular, cycling and pedestrian circulation, including walkways, interior drives and parking, in terms of location and number of

access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian, cycling and vehicular traffic and arrangement and amount of parking so as to be safe, convenient and, insofar as practicable, compatible with the design of proposed buildings, structures and neighboring properties.

6. The Site Plan protects adjacent and neighboring properties through reasonable provisions for such matters as surface water drainage, sound and sight buffers, preservation of views, light, and air, and those aspects of design, not adequately covered by other regulations, which may have substantial effects on neighboring land uses.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Wyoming hereby **APPROVES** the Site Plan Review, as requested by the applicant with the following conditions:

1. The Applicant shall revise the building elevations to provide a wainscoting around the entire building comprised of stone, rockface block, or brick.
2. The Applicant shall submit a lighting plan that complies with all standards in ordinance lighting requirements Article VII, Division 15, including turning off site lighting, except for security lighting one (1) hour after closing.
3. Any signage on site will require a separate sign permit (s).
4. The Applicant address all engineering comments provided to the applicant.
5. The Applicant shall install screening consistent with the ordinance requirements along the western and northern parcel boundary.
6. The Applicant is prohibited from any outside storage of materials, vehicles including trailers, or equipment on the site.
7. All required local, state and/or federal permitting must be obtained.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF WYOMING THIS 20th DAY OF JUNE, 2023.

Lisa Iverson, Mayor

ATTEST:

This Document Drafted by:
The City of Wyoming
26885 Forest Boulevard
Wyoming, Minnesota 55092

Robb Linwood, City Administrator

**CITY OF WYOMING
PLANNING AND ZONING**

TO: City Council
DATE: June 20, 2023
FROM: Kim Lindquist, City Planner
Fred Weck, Zoning Administrator
RE: Conditional Use Permit & PUD Master
Development Plan/Site Plan Review
Application
APPLICANT: 257 Land Holdings, LLC.
PROPERTY: R.21.10605.00 & R.21.10542.10
FILE NO.: Z-22-004

OVERVIEW

On May 23, 2023, the Planning Commission continued this application and directed staff to prepare a resolution of denial with appropriate findings of fact. The resolution was based upon the revised plans, specifically the civil plans dated April 17, 2023.

Within the April staff review and recommendation, city staff had recommended approval of the applications with 14 recommended conditions of approval. Several members of the public spoke during the open forum about this project since the public hearing had been closed in March. The applicant also spoke and provided information regarding several of the questions or comments from the public or Commission members. During the Commission’s deliberations, members expressed reservations about the project, focusing much of the discussion on the architecture of the buildings, the unit style and building internal layout, and the constrained site which led to poor pedestrian circulation for future tenants and restricted vehicular circulation. Much of the conversation dealt with the proposed use as elderly independent housing and the unit style, building layout and tenant access to units and from garages. The Commission felt the unit layout and inconvenient pedestrian access to individual units was inconsistent and contrary to the stated over 55 land use. It was noted that the current zoning only permitted over 55 residential land uses.

It is recognized that the staff had recommended approval of the proposal, but the Commission declined to recommend approval. Staff review is directed toward the ordinance standards and regulations. As the application moves through the approval process, the Commission and most certainly the City Council, review applications based upon the ordinance performance standards as well as the policies and goals of the community as embodied in the Comprehensive Plan. The Commission’s recommendation for denial is based upon existing ordinance standards and Comprehensive Plan policies as defined in the attached resolution and findings of fact.

STAFF RECOMMENDATION

Based upon the direction from the Planning Commission the following recommendation is made:

The requirements of Chapter 40, Article V, Division 6, “Conditional Use Permits”, Section 40 – 112, as contained in the City of Wyoming Ordinance has not been complied with. Staff is recommending denial of a Conditional Use Permit to allow establishment of a Commercial

Planned Unit Development based upon the findings of fact related to use of the PUD Overlay and conditions for granting of a Conditional Use Permit for the property PID R.21.10605.00 & R.21.10542.10.

Staff is recommending denial of a PUD master plan/site plan for the Heim's Lake Senior Housing project (PID R.21.10605.00 & R.21.10542.10) based upon the following findings of fact:

1. The building design and individual unit layout is not consistent with the proposed land use based upon the following:
 - a. The proposed development consists of two one story apartment buildings with 13 total units and two detached single stall parking garages with 21 stalls.
 - b. Access to the dwelling units and garages is via exterior sidewalks.
 - c. The proposed apartment units have three exterior doors to each individual unit.
 - d. Each apartment unit has at least two bedrooms and three bathrooms.
 - e. Pedestrian circulation is difficult and doesn't provide easy access to units from parking stalls or parking garages, which is inconsistent with the use as elderly housing.
2. The use is not in conformity with the Comprehensive Plan. The proposed plan does not provide "A high level of site planning, landscaping and façade treatment will be required..." as stated in the Comprehensive Plan Land Use Plan chapter, Office and Health Care land use description.
3. The use is not sufficiently compatible with adjacent development so that existing development will not be depreciated in value.
 - a. The proposed apartment units have three exterior doors to each individual unit.
 - b. The proposed structures do not meet the Architectural Standards Division of the Zoning Ordinance.
4. The structures have an appearance that will have an adverse effect upon adjacent properties.
 - a. The proposed structures do not meet the Architectural Standards Division of the Zoning Ordinance.
5. The use is not located, designed, maintained, and operated to be compatible with the existing or intended character of the zoning district in which it is to be located.
 - a. The housing is not designed for elderly housing due to the constrained circulation on the site
 - b. The parking areas are not designed for elderly housing as they are not immediately adjacent to individual housing units and require crossing parking lots to access units.
 - c. The buildings are not designed for elderly housing as they do not provide reasonable access to individual units as the back-to-back design means that rear units must be accessed through a pedestrian sidewalk containing little lighting.
6. The use is inconsistent with the purpose of this and other City Ordinances.

7. The establishment or maintenance of the use will be detrimental to the public, health, safety, or general welfare.
 - a. The stormwater ponds freeboard elevations does not provide a minimum of two feet of height separation from the finish floor elevations of the proposed structures.
 - b. The proposed site lighting does not provide adequate lighting for residents and visitor to navigate the site.
8. Section 40-316 request processing of PUD developments must be processed as a conditional use permit. Denial of the Conditional Use Permit means that the PUD Master Development Plan/Site Plan Review must also be denied.

BACKGROUND

The site was previously rezoned from R1 to OHC to allow the multi-family use. The zoning ordinance allows elderly housing, either independent living, assisted living, memory care or convalescent care in the OHC by permitted use. The applicant has indicated that this project will be restricted to 55 and older residents. A recommended condition of approval requires consistent compliance with this standard.

The property is also located in the Shoreland Overlay District which requires greater setbacks, regulates impervious surface and impacts site density. Staff has determined that a commercial PUD expansion could be appropriate for the project development. Use of a PUD requires approval of a master development plan and a CUP to permit the PUD overlay. In March, the plan also required a conditional use permit for hard surface coverage. The revision in the plans reduced the amount of impervious surface on the site and it is now below the ordinance maximum, negating the need for a CUP. Therefore, a conditional use permit for the PUD, a PUD master development plan and a site plan approval are required to allow construction of the proposal as currently proposed.

The site is comprised of two parcels identified as R.21.10605.00 (Lot 1) and R.21.10542.10 (Lot 2) which are presently vacant. In total the sites are 14.23 acres however both parcels have significant wetlands and therefore the total land above the delineated wetland is closer to 4.53 acres. In addition, both parcels abut Heims Lake and therefore the site is subject to Shoreland Overlay standards.

The applicant will construct two multi-family residential buildings housing seven (7) or six (6) units within the two structures. An office suite is also provided in the 7-unit building. Detached garage buildings are also located next to the two residential buildings along with twenty-one surface stalls. Access will be from 257th Street, by a private drive extension from the existing cul-de-sac. The site has access to sanitary sewer and water and each residential building will have a sprinkler system. Building location is constrained due to the amount of land designated for natural resource protection and the required setbacks from the wetlands and Heims Lake. The buildings and parking meet the setback requirements.



City Of Wyoming
 26885 Forest Blvd, PO Box 188
 Wyoming, MN 55092
 Phone (651) 462-4947
 permits@wyomingmn.org

LAND USE APPLICATION: CONDITIONAL & INTERIM USE PERMIT

A conditional use permit application requests a use permitted in a particular zoning district, but regulated and controlled through conditions placed upon it by the City Council after review by the Planning Commission.

Property Address: Parcels 21,10542.10 @ 21,10605.00
 Applicant(s): Name(s) 257 Land Holdings, LLC
 Address 4463 White Bear PKwy
 City White Bear Lake State MN Zip 55110
 Phone Number 612-532-1164 Email brian@bergen-financial.com

Owner(s) - If other than Applicant(s):
 Name(s) _____
 Address _____
 City _____ State _____ Zip _____
 Phone Number _____ Email _____

Owner(s) Signature(s) _____ Date _____

Legal description of property: survey is attached
 Property Identification Number: R.21. 10605.00 + 21,10542.10 Present Zoning: OTC R1
 Present use of property: Vacant lot
 Proposed use of property: 13 UNIT AFFORDABLE MULT. FAMILY HOUSING
 Is this an application for an Interim Use permit? Yes No If yes, on what date, or upon what event, would the applicant desire the interim use to expire? Date: ____/____/____ OR Event: _____

This application and the following attachments must be submitted to be considered a complete application:

- A detailed site plan showing the following information from Sec. 40 - 111, A-K also including:
 - The grading and drainage plan must be designed in accordance with Article VII, Division 21 of the Zoning Ordinance and the City Of Wyoming Surface Water Resource Guidance Document
 - Elevation drawings of all sides of the proposed building to show compliance with the architectural standards of the zoning district the use will be located in
 - Landscaping and Screening in accordance with Article VII, Divisions 14 & 26
 - Lighting Plan in accordance with Article VII, Division 15
- A letter explaining the proposed use and how it will be operated
- A completed Conditional & Interim Use Permit Worksheet
- Applications for uses described in Article VI, Divisions 7, 18 & 19 and Article VII, Divisions 2, 8, 10, 17-20 & 25 of the Zoning Ordinance. It must include the information necessary to show compliance with the applicable section of the ordinance.
- Applications for uses that are within the Highway 8 Overlay District or that utilize Highway 8 for access must include the information necessary to show compliance with Article VI, Division 14 of the Zoning Ordinance
- The application fee and escrow must be paid at the time of application - The fee is not refundable and the unused portion of the escrow will be returned to the applicant.
- Any other information deemed necessary by the Zoning Administrator or Planning Commission

RECEIVED
 JAN 17 2023

BY: FW

Applicant(s) Signature(s) [Signature] Date 11/20/22

As the applicant for this request I agree to reimburse the City for all expenses incurred by the City in employing planning, engineering, legal, and other professional consultants in reviewing this application. This may include the replenishment of any escrow funds as required as part of this application. Such costs shall be paid by me, the applicant, regardless of the outcome of the review and prior to commencing any work on the project. All of Article V, Division 6, Conditional Use Permits, and Article VII, Division 13, Home Occupations are attached to this application and by signing this application, the Applicant acknowledges that they have been read and understood.

A public hearing can be scheduled only after a complete application has been received.

OFFICE USE ONLY
 Date Complete Application Received 2/21/23 Application # C-23-001 Date Application Received 1/17/2023
 60 Days 4/22/23 By: [Signature]
 Date Paid 1/17/23 Check # 5590
 Fee: \$220.00 + Escrow
 Escrow - Commercial Is \$1,000.00 & Residential Is \$750.00

Extended to 6/21/23

CONDITIONAL & INTERIM USE PERMIT WORKSHEET

Applicant: 257 Land Holdings LLC

Address: 4463 White Bear PKWY

Type of Business: Apartments

Business name: 257 Land Holdings LLC

Answer the following questions based on the standards contained in Sec. 40 – 112 of the City of Wyoming Zoning Ordinance for Conditional and Interim Use Permits. If needed, use a separate page. All questions must be answered.

1. Is your proposed use in conformity with the Comprehensive Plan and development policies of the City?
 Yes No Explain: _____
2. Will your proposed use create an excessive demand on existing parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the area?
 Yes No Explain: _____
3. Will your proposed use be sufficiently compatible or separated by distance or screening from adjacent development or land so that existing development will not be depreciated in value and so there will be no deterrence to development of vacant land?
 Yes No Explain: _____
4. Will the structure and site have an appearance that will not have an adverse effect upon adjacent properties?
 Yes No Explain: _____
5. Is the proposed use reasonably related to the overall needs of the City and to the existing land use?
 Yes No Explain: _____
6. Will the proposed use be consistent with the purpose of the Zoning Ordinance and other City Ordinances?
 Yes No Explain: _____
7. Will the proposed use be located, designed, maintained, and operated to be compatible with the existing or intended character of the zoning district in which it is to be located?
 Yes No Explain: _____
8. Will the proposed use generate only minimal vehicular traffic on local streets?
 Yes No Explain: _____
9. Will the proposed use create traffic hazards or unsafe access or parking needs?
 Yes No Explain: _____
10. Will existing businesses nearby be adversely affected by your proposed use because of the curtailment of customer trade brought about by intrusion of noise, glare, or general unsightliness?
 Yes No Explain: _____
11. Will the establishment or maintenance of the proposed use be detrimental to the public health, safety or general welfare?
 Yes No Explain: _____
12. Will the proposed use be hazardous, detrimental, or disturbing to present and potential surrounding land uses due to water pollution, odor, fumes, and general unsightliness or other nuisances?
 Yes No Explain: _____
13. How will the proposed use preserve and incorporate the site's important natural and scenic features into the development design?
 Yes No Explain: _____
14. Will the proposed use cause adverse environmental effects?
 Yes No Explain: _____

Application # _____

Revised 10/19/22



March 17, 2023

257 Land Holdings, LLC
Attn: Brian Solsrud
4463 White Bear Parkway
White Bear Lake, MN 55110

VIA EMAIL & U.S. MAIL

RE: Minnesota Statute 15.99; Time Deadline for Agency Action on the Conditional Use Permit Application for the Construction of Two Apartment Buildings and Two Parking Garage Structures

Dear Mr. Solsrud:

Pursuant to Minnesota State Statute 15.99, the City of Wyoming must make a decision on your Conditional Use Permit application within sixty (60) days of a complete application being received (which was on February 21, 2023) unless the City extends the time limit in accordance with Subdivision 3, (f).

The Wyoming Planning Commission has tabled your request until on or before their regular meeting on May 24, 2023. This was done in order to give you and your consultants the opportunity to provide the following information as detailed in the Staff Report to the Planning Commission:

1. The applicant clarify the type of housing project proposed and it's compliance with the OHC zoning district.
2. The applicant address all engineering comments provided to the applicant.
3. The applicant address Comfort Lake Forest Lake Watershed District Comments
4. The applicant shall submit architectural drawings for the detached garage building and verify the number of parking stalls provided on site.
5. The residential unit design shall be modified, or a drive aisle be installed around each residential unit to permit fire and emergency vehicle access to all units within each structure.
6. The applicant provide traffic generation and calculations for the 13 residential units and one office unit.
7. The applicant revised the landscape plan to add additional overstory tress unto the site.
8. The applicant clarify the intended use of the proposed office unit.

In accordance with Minnesota Statute 15.99, Subdivision 3, (f), the City of Wyoming is extending the deadline for action on your request an additional 60 days to June 21, 2023. The city will need to receive the information at least ten (10) business days prior to the May 24th meeting so that it can be reviewed.

If you have any further questions I can be reached at (651) 462-4947 between the hours of 8:00 a.m. & 4:30 p.m., Monday through Friday.

Sincerely,

Frederick E. Weck, IV
Zoning Administrator
Building Official #1825
City of Wyoming



DEPARTMENT OF BUILDING SAFETY

P.O. Box 188, 26885 Forest Blvd., Wyoming, MN 55092

Phone: 651-462-4947 Fax: 651-462-3938

257 Land Holding LLC
4463 White Bear Pkwy Suite 101
White Bear Lake MN 55127
612-532-1164
brian@bergen-financial.com

April 14, 2023

City Planner
City of Wyoming
7665 Wyoming Trail
Wyoming MN 55092

Dear Sir:

RE Response to your letter dated March 17, 2023

Number 1. The applicant clarify the type of housing project and it's compliance with he OHC zoning district.

This project will serve tenants 55 and older. It will be a senior independent living apartment community.

Number 8. The applicant clarify the intended use of the proposed office unit.

The office unit will serve as the rental office for the apartment community.

Thanks



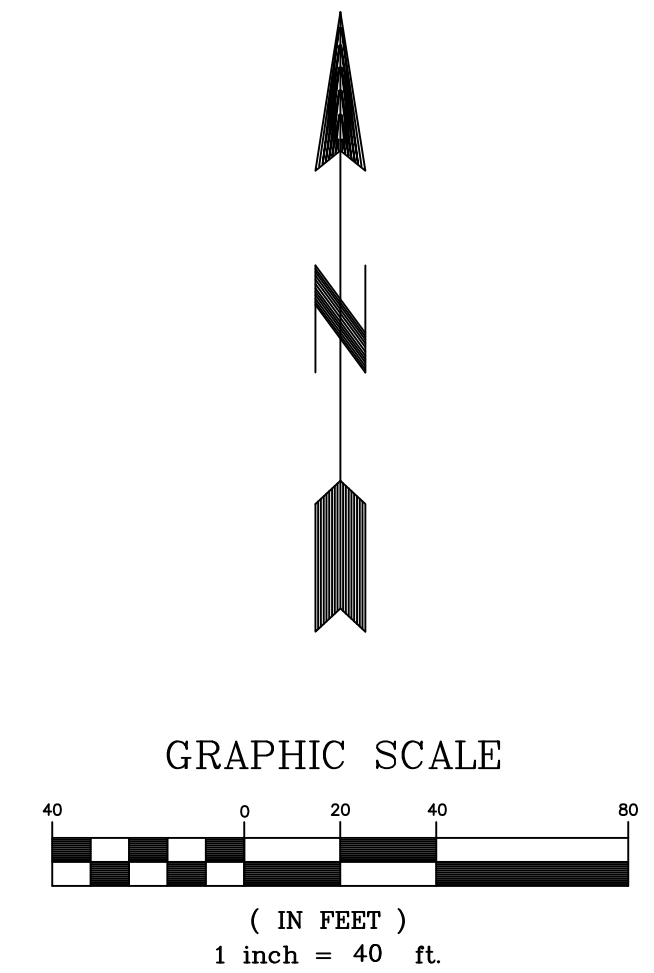
Brian Solsrud
Member

XCCENT INC
LOT 1
BLOCK 1

HEIMS LAKE CIRCLE

HEIMS LAKE VILLAS

257TH STREET



NOTES:

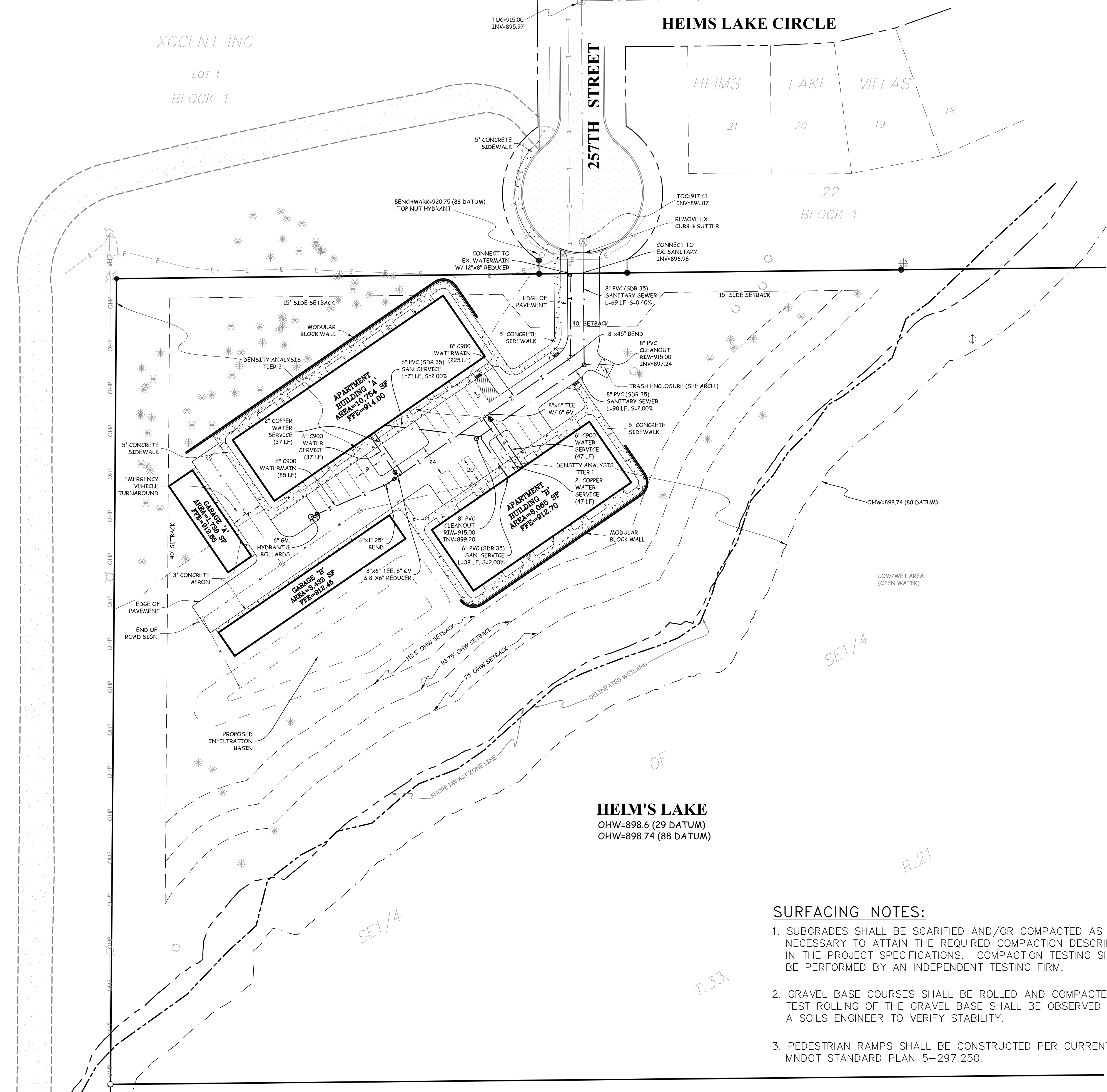
1. BASE PLAN USED IS A SURVEY PREPARED BY O'MALLEY & KRON LAND SURVEYORS, INC.
2. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS SHOWN ARE APPROXIMATE ONLY. CONTRACTOR SHALL CONFIRM ALL LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT UTILITY COMPANIES VIA GOPHER STATE ONE-CALL ONLINE OR BY CALLING 811 OR 1-800-252-1166.
3. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RESTRICTIVE OF THE PROJECT SPECIFICATIONS, THE STANDARD SPECIFICATIONS OF THE CITY OF WYOMING AND THE LATEST EDITION OF MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
4. TOTAL PARCEL AREA = 597,175 SF (13.71 AC)
TOTAL UPLAND (SITE) AREA = 197,265 SF (4.53 AC)
EXISTING IMPERVIOUS AREA = 0 SF
PROPOSED IMPERVIOUS AREA = 48,241 SF (8.1%/24.5%)
5. PROPOSED PARKING STALLS = 21 EACH
(INCLUDES 1 ACCESSIBLE STALL)
PROPOSED GARAGE STALLS = 21 EACH

UTILITY NOTES:

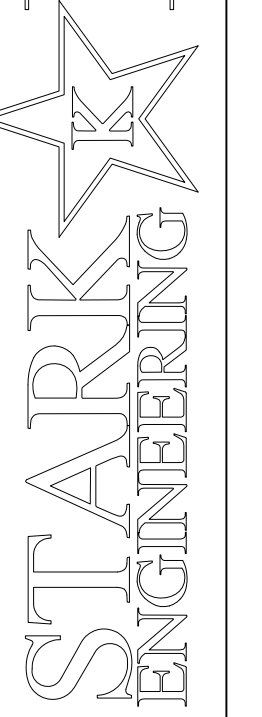
1. WATER MAIN AND ANY WATER SERVICE LINES SHALL BE PLACED AT A MINIMUM DEPTH OF 8 FEET BELOW FINISHED GRADE.
2. HORIZONTAL SEPARATION BETWEEN ALL SEWER AND WATER LINES SHALL BE 10".
3. WHERE SEWER AND WATER LINES CROSS, A MINIMUM VERTICAL SEPARATION OF 18" SHALL BE MAINTAINED. IF INSULATION IS NECESSARY, IT SHALL BE PROVIDED AS AN INCIDENTAL ITEM. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING THIS VERTICAL SEPARATION.
4. THE CONTRACTOR SHALL TIE ALL WATER MAIN FITTINGS TO THE MAIN ON ALL SIDES. THREADED ROD JOINT RESTRAINT SHALL BE USED ON ALL HYDRANTS, WHILE POURED CONCRETE SHALL BE UTILIZED ON ALL OTHER FITTINGS. MECHANICAL RESTRAINED JOINTS ARE AN APPROVED ALTERNATIVE TO THREADED ROD JOINT RESTRAINTS AND POURED CONCRETE.
5. ALL STORM SEWER PIPE SHALL HAVE WATERTIGHT GASKETED JOINTS CONFORMING TO MNDOT STANDARD PLATE NO. 3006G.
6. CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.

SURFACING NOTES:

1. SUBGRADES SHALL BE SCARIFIED AND/OR COMPACTED AS NECESSARY TO ATTAIN THE REQUIRED COMPACTION DESCRIBED IN THE PROJECT SPECIFICATIONS. COMPACTION TESTING SHALL BE PERFORMED BY AN INDEPENDENT TESTING FIRM.
2. GRAVEL BASE COURSES SHALL BE ROLLED AND COMPACTED. TEST ROLLING OF THE GRAVEL BASE SHALL BE OBSERVED BY A SOILS ENGINEER TO VERIFY STABILITY.
3. PEDESTRIAN RAMPS SHALL BE CONSTRUCTED PER CURRENT MNDOT STANDARD PLAN 5-297.250.



HEIM'S LAKE
OHW=898.6 (29 DATUM)
OHW=898.74 (88 DATUM)



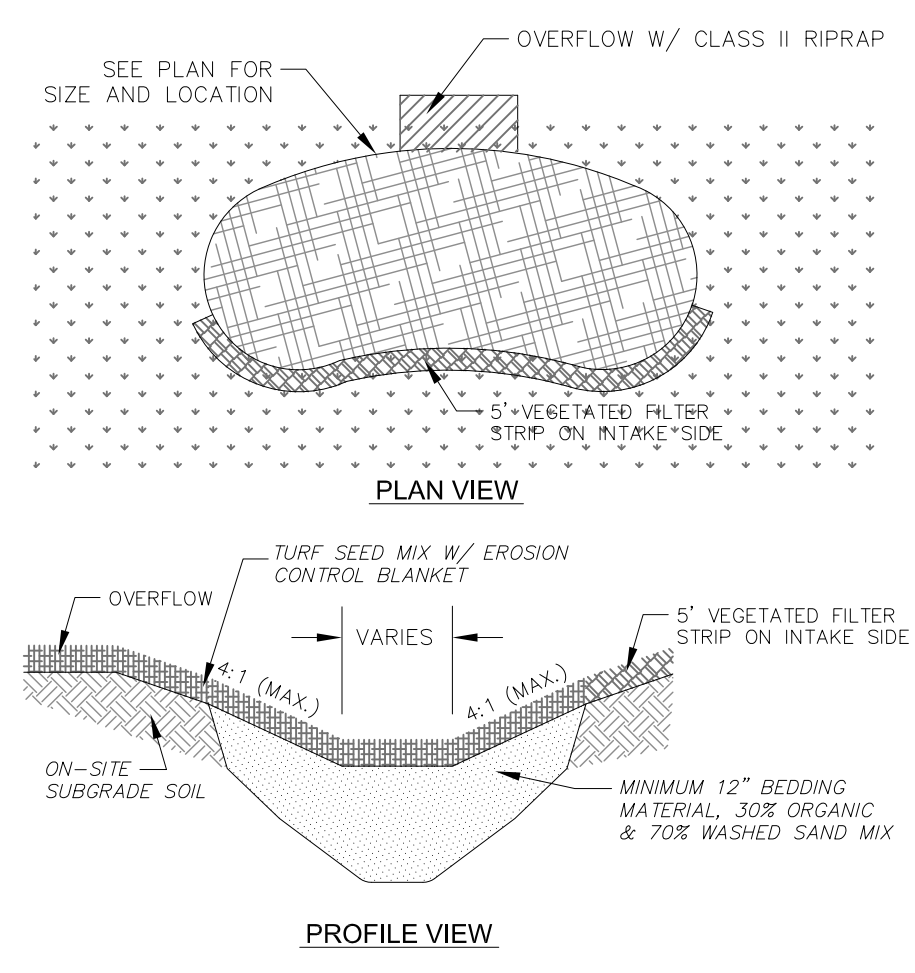
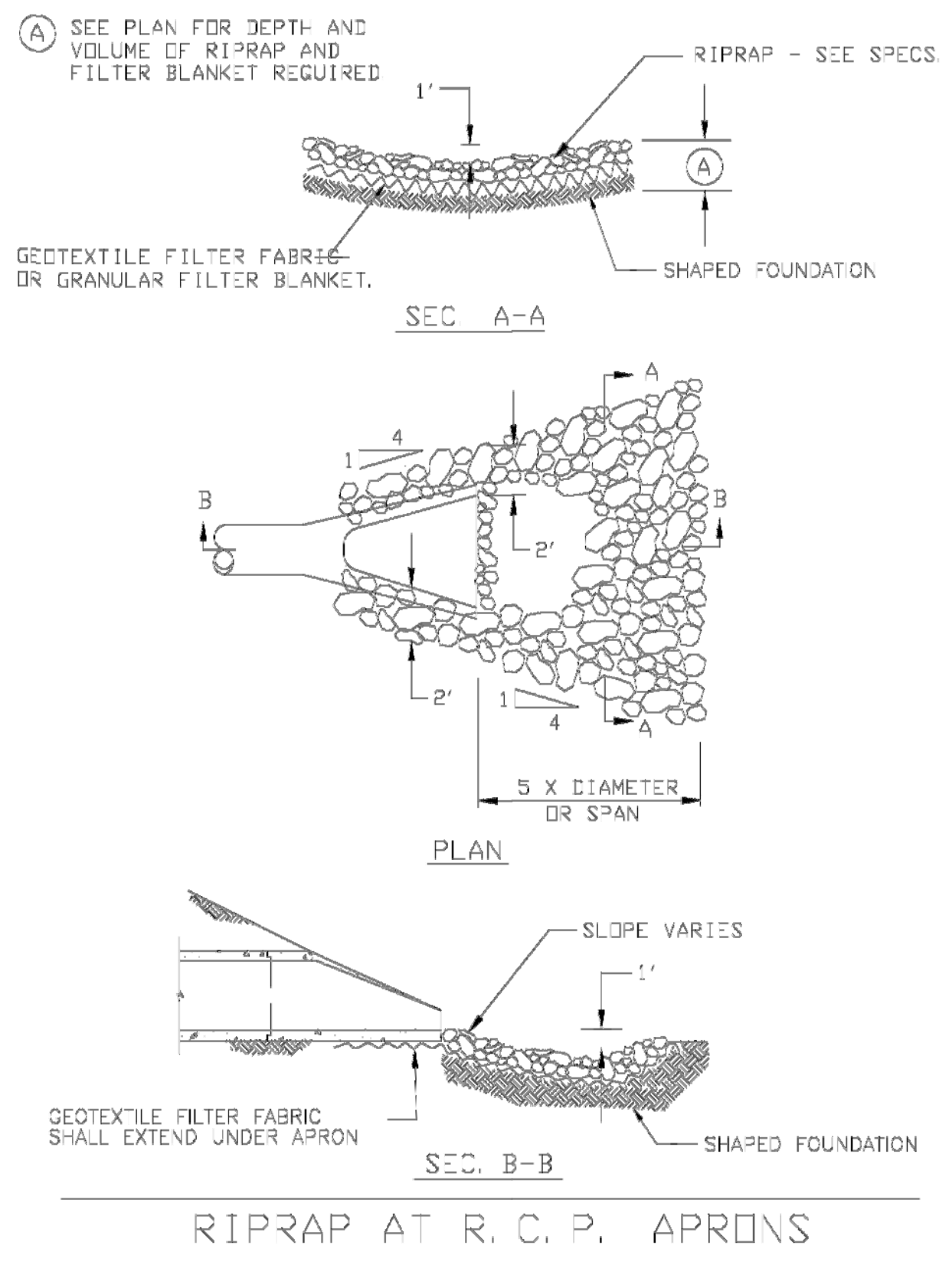
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Registered Engineer under the laws of the State of Minnesota.
Wayne C.B. Stark Date: 4/17/23 Registration No. 26093

REVISIONS	DATE	BY	DESCRIPTION
1/17/23	CITY SUBMIT.		
2/17/23	CITY SUBMIT.		
4/10/23	PER REVIEW		
4/13/23	PER REVIEW		
4/17/23	CITY SUBMIT.		

SITE & UTILITY PLAN

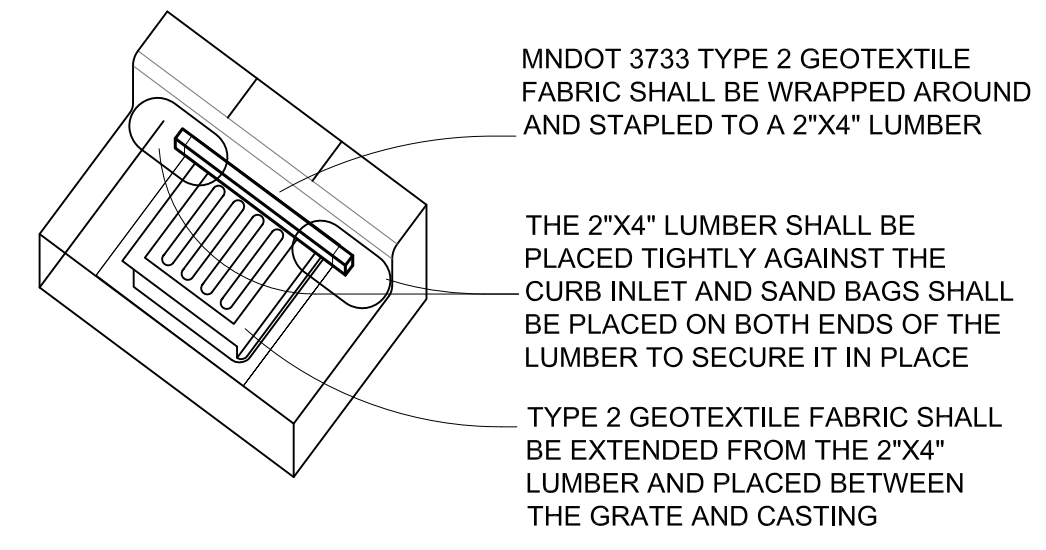
HEIM'S LAKE APARTMENTS
WYOMING, MINNESOTA
for:
257 LAND HOLDINGS, LLC

PERMIT PLAN
NOT FOR CONSTRUCTION



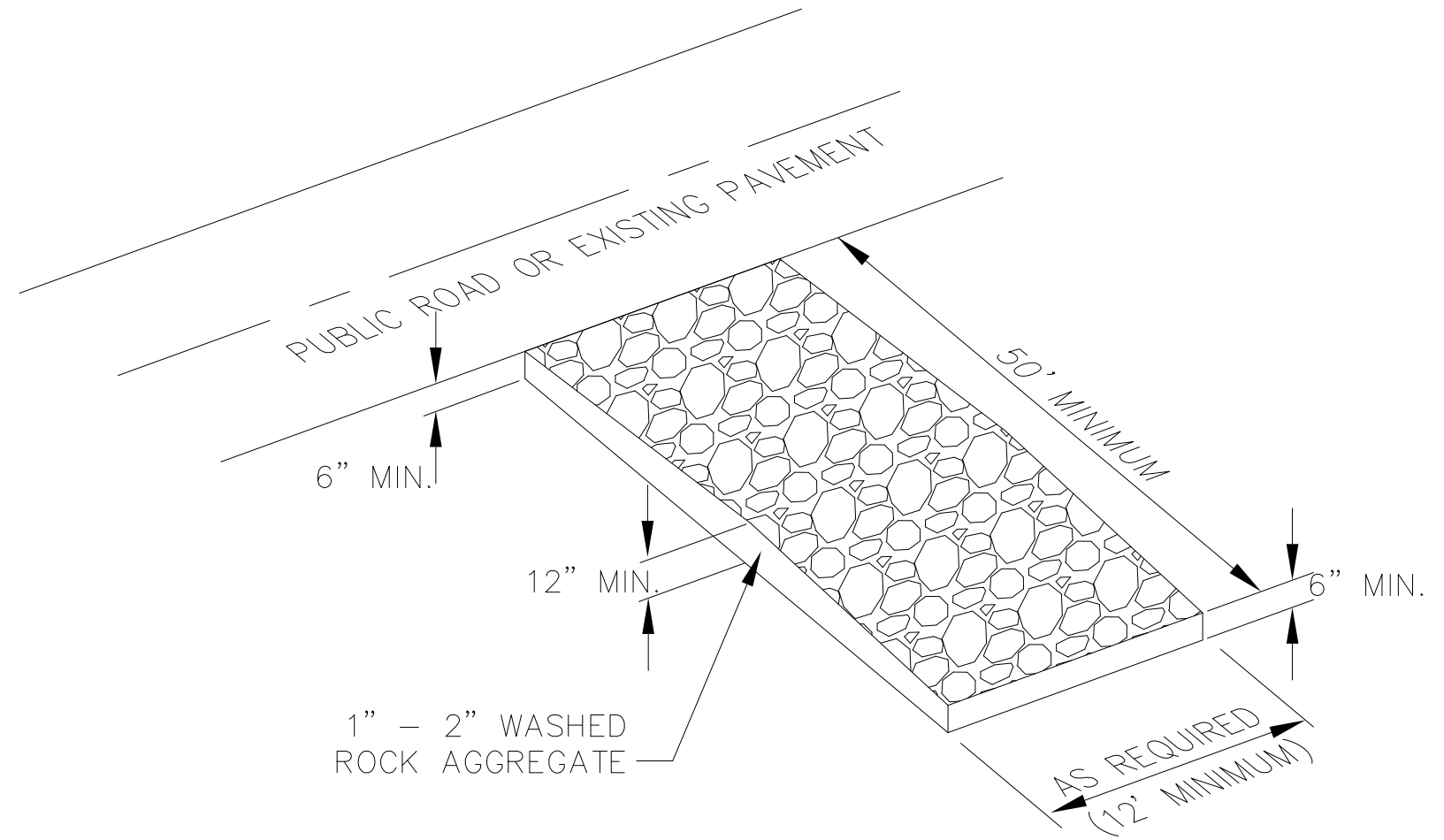
NOTES:
1) FILTRATION BASIN AREAS SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC AND SCARIFIED AFTER GRADING OPERATIONS ARE COMPLETE.

INFILTRATION BASIN DETAIL
NO SCALE

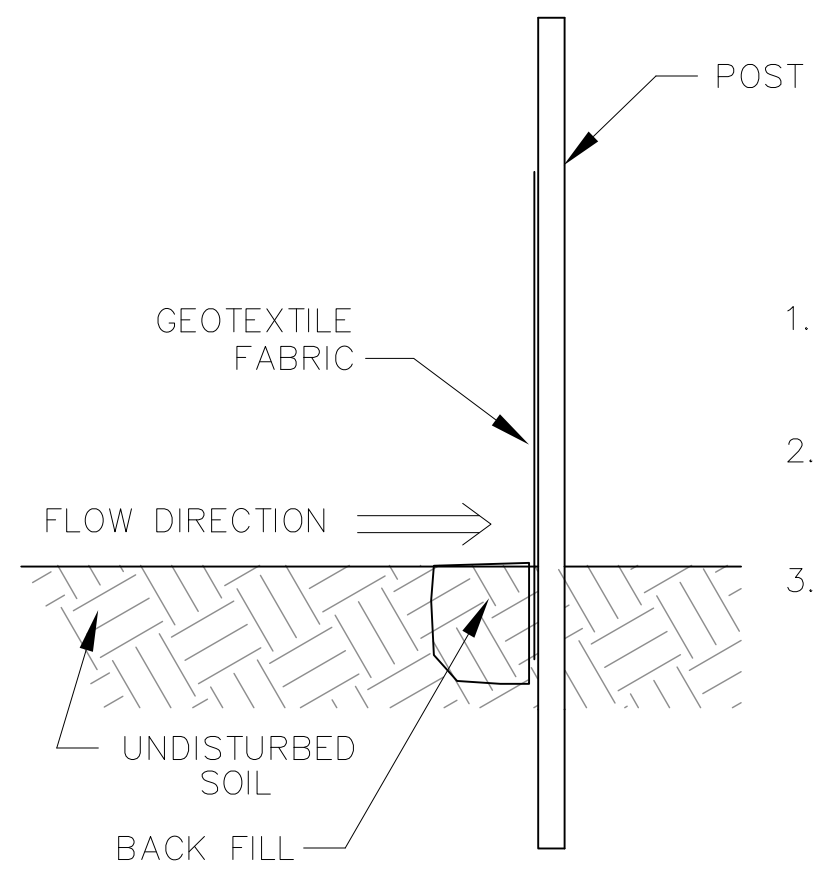


NOTES:
1. THE CATCH BASIN PROTECTION SHOWN IN THIS DETAIL SHALL BE USED IN PAVED AREAS.
2. WIMCO INLET PROTECTION DEVICES (OR APPROVED EQUAL) ARE ALSO ACCEPTABLE.

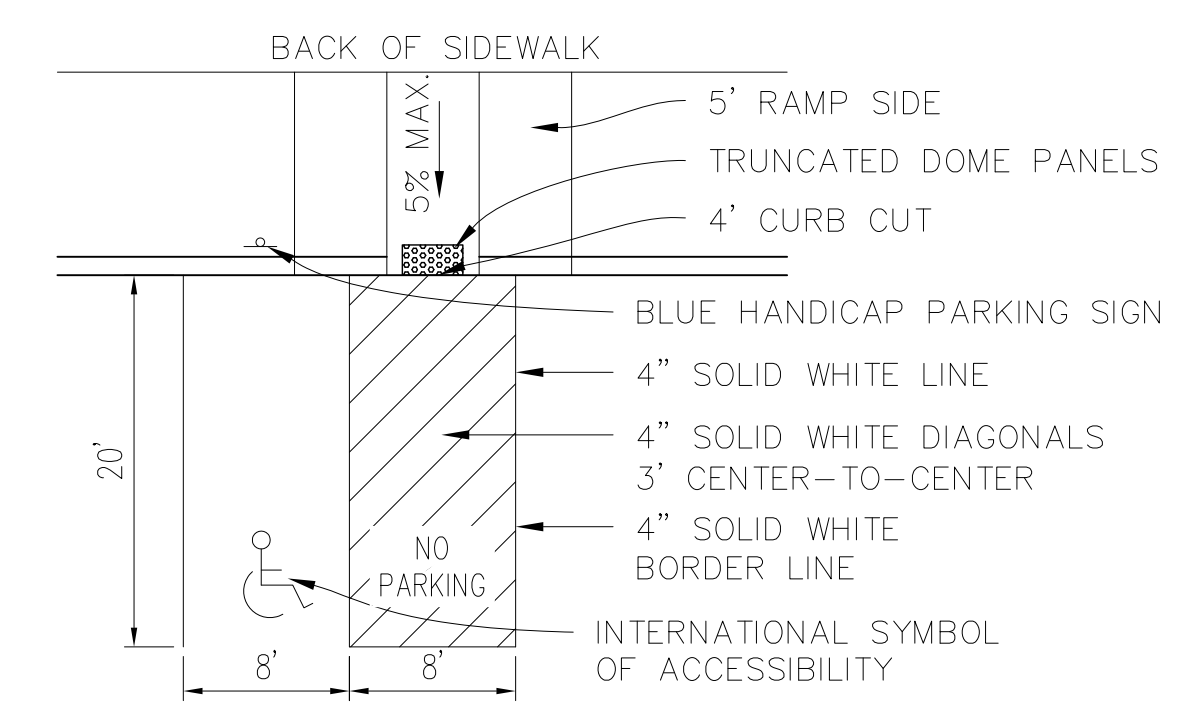
INLET PROTECTION
NO SCALE



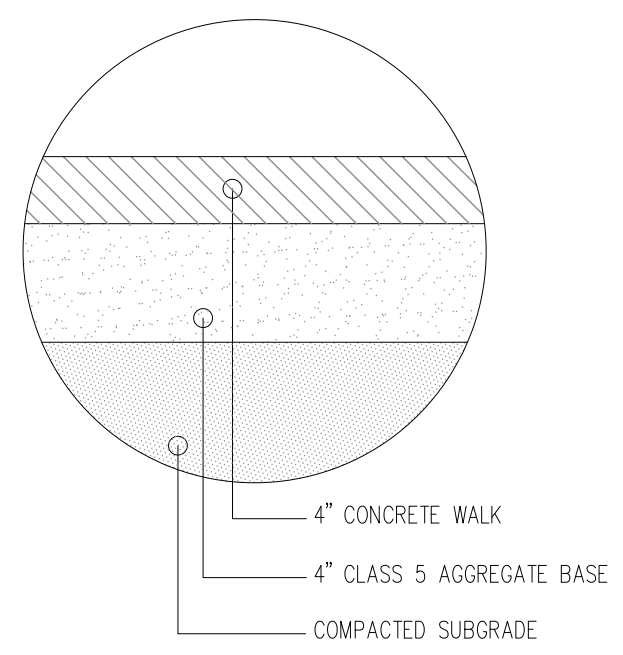
ROCK ENTRANCE DETAIL
NO SCALE



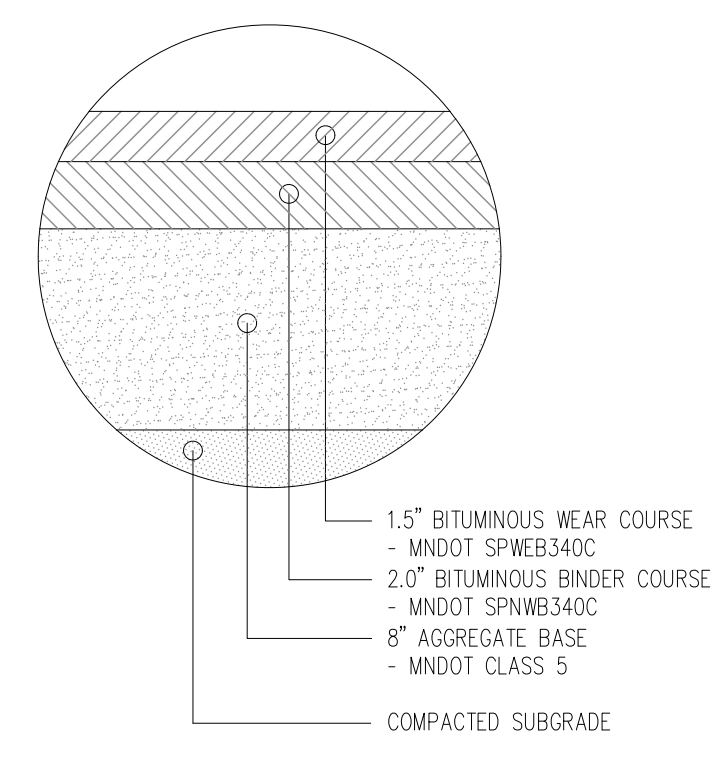
TYPICAL SILT FENCE INSTALLATION
NO SCALE



ACCESSIBLE PARKING STALL
NO SCALE

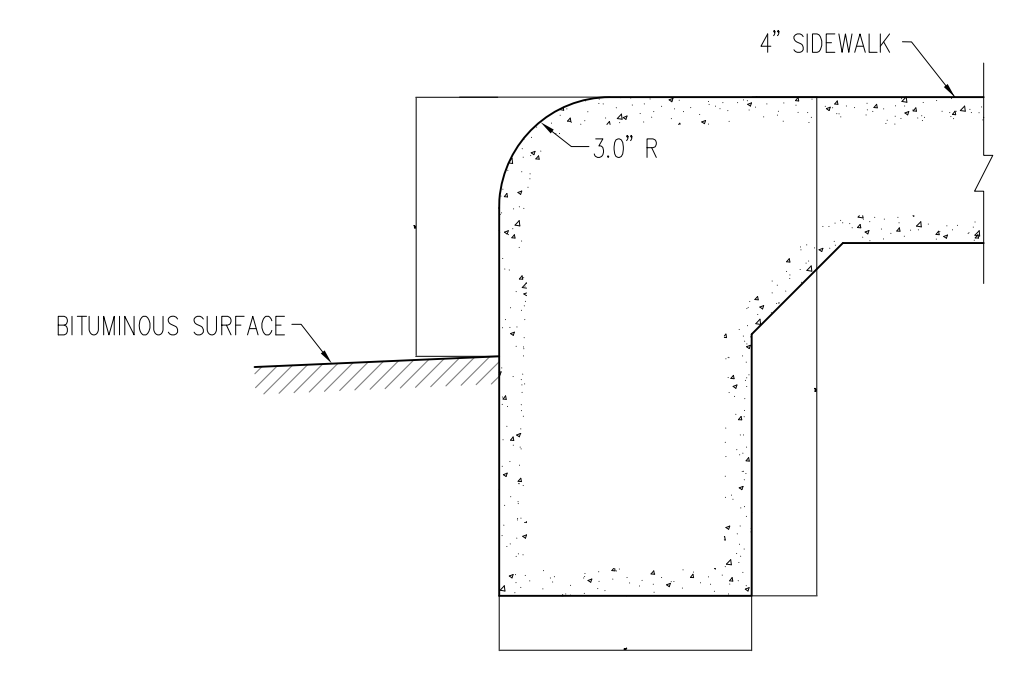


SIDEWALK SECTION
NO SCALE



NOTE: PAVEMENT SECTION MAY BE REVISED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND RECOMMENDATIONS

PAVEMENT SECTION
NO SCALE

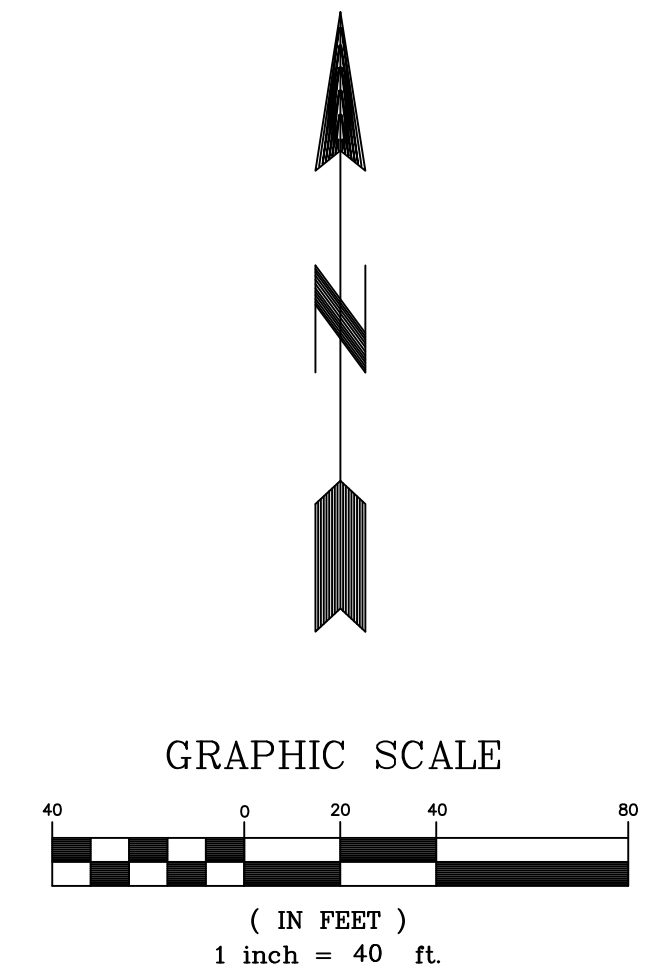
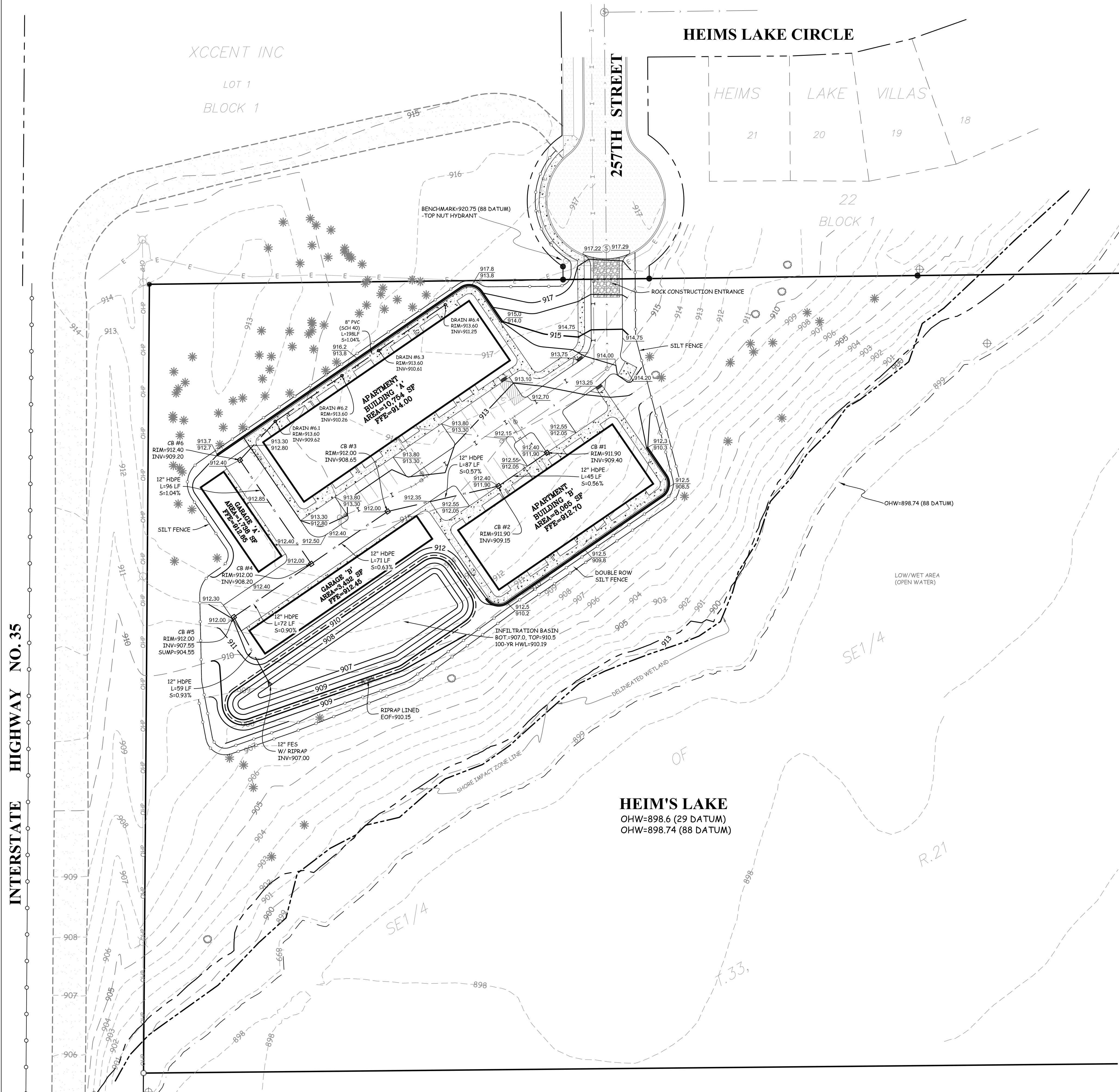


REFERENCE TO MNDOT SPEC. 2531

INTEGRAL 6" CURB & SIDEWALK
NO SCALE

REVISIONS	CITY SUBMIT.
4/17/23	

DETAILS



NOTES:

1. BASE PLAN USED IS A SURVEY PREPARED BY O'MALLEY & KRON LAND SURVEYORS, INC.
2. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS SHOWN ARE APPROXIMATE ONLY. CONTRACTOR SHALL CONFIRM ALL LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL CONTACT UTILITY COMPANIES VIA GOPHER STATE ONE-CALL ONLINE OR BY CALLING 811 OR 1-800-252-1166.
3. ALL CONSTRUCTION SHALL CONFORM TO THE MOST RESTRICTIVE OF THE PROJECT SPECIFICATIONS, THE STANDARD SPECIFICATIONS OF THE CITY OF WYOMING AND THE LATEST EDITION OF MNDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
4. SEE SHEET C-4 FOR THE SEQUENCE AND PROTOCOLS TO BE FOLLOWED FOR EROSION AND SEDIMENT CONTROL DURING THE SITE DEVELOPMENT PROCESS.
5. CATCH BASINS SHALL BE 24" DIAMETER NYLOPLAST WITH ROUND CASTINGS AND GRATES SUITABLE FOR VEHICLE TRAFFIC. DRAINS ON NORTH SIDE OF BUILDING A SHALL BE 12" DIAMETER NYLOPLAST WITH ROUND CASTINGS AND GRATES SUITABLE FOR PEDESTRIAN TRAFFIC.
6. ESTIMATED QUANTITIES: ROCK CONSTRUCTION ENTRANCE=1 EACH, INLET PROTECTION=6 EACH, SILT FENCE=1,800 LF AND TEMPORARY/PERMANENT SEEDING=0.74 ACRE.

GRADING NOTES:

1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS INCLUDING LOCATIONS, AND RIM AND INVERT ELEVATIONS, OF EXISTING DRAINAGE AND SANITARY STRUCTURES. LOCATION AND SIZE OF EXISTING SANITARY, WATER, AND STORM SEWER STUBS, AND EXISTING GRADES SHALL ALSO BE VERIFIED.
2. NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE DISCOVERED BETWEEN THE EXISTING CONDITIONS AND THE CONDITIONS NOTED ON THE PLANS, WHICH ARE SIGNIFICANT ENOUGH TO ALTER THE INTENT OF THE DRAWINGS.
3. CONTRACTOR SHALL PERFORM CALCULATIONS TO VERIFY EARTHWORK QUANTITIES. CONTRACTOR'S BID/QUOTE SHALL BE BASED ON HIS/HER OWN EARTHWORK CALCULATIONS.
4. ALL PROPOSED ELEVATIONS ARE TOP OF PAVING OR GUTTER, UNLESS NOTED OTHERWISE. PROPOSED ELEVATIONS ARE INTENDED TO PROVIDE POSITIVE DRAINAGE TOWARDS CATCH BASINS AND/OR OUTLETS. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE THE REQUIRED ELEVATIONS, WHICH WILL PROMOTE POSITIVE DRAINAGE THROUGHOUT THE PROJECT SITE.
5. TOPSOIL SHALL BE RESPREAD IN THE SEEDING AREAS ONLY AT A MINIMUM DEPTH OF 6 INCHES.
6. ANY BITUMINOUS PAVEMENT OR CONCRETE REMOVED OR DEBRIS ENCOUNTERED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND DISPOSED OF OFF THE R.O.W. AND EASEMENTS OF THE OWNER PER MNDOT SPECIFICATION 2104.3C3 OR RECYCLED PER MNDOT SPECIFICATIONS.

PERMIT PLAN
NOT FOR CONSTRUCTION

STARK ENGINEERING

www.starkengineer.com
350-249-2611
Sauk Rapids, Minnesota

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Registered Engineer under the laws of the State of Minnesota.

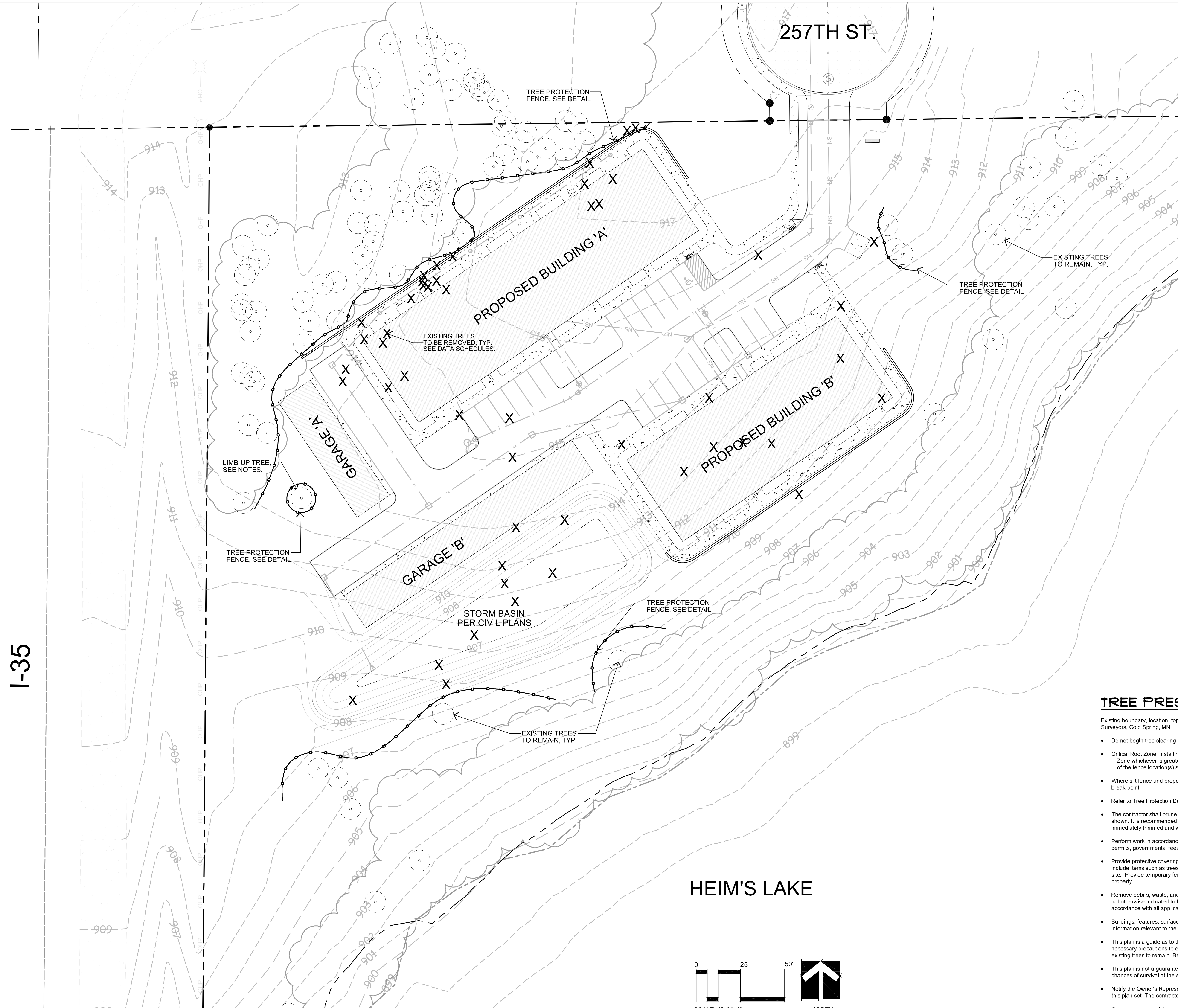
Wayne C. Stark Date: Registration No. 4/17/23 26093

REVISIONS	CITY SUBMIT	CITY SUBMIT	CITY SUBMIT
1/17/23			
2/17/23			
4/17/23			

GRADING & EROSION CONTROL PLAN

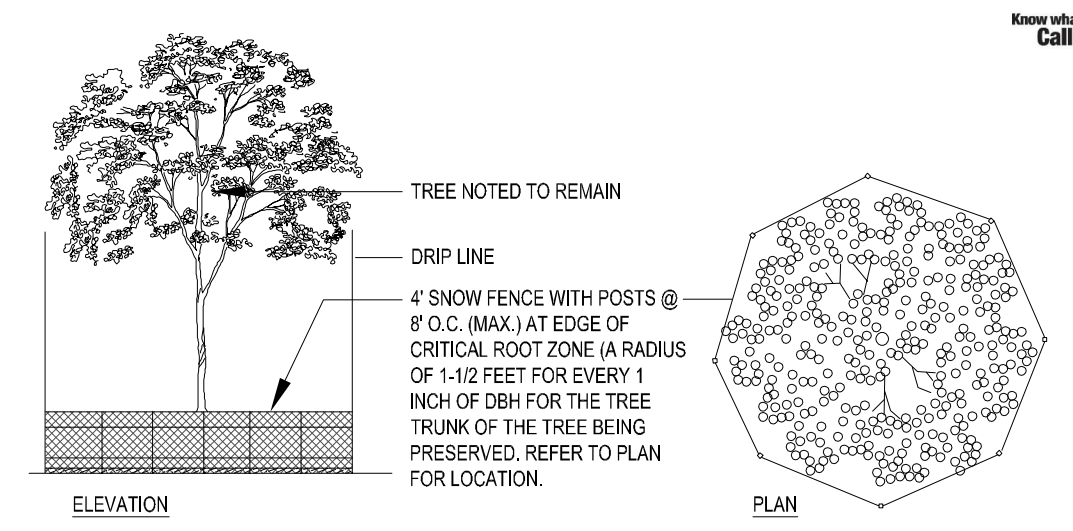
HEIM'S LAKE APARTMENTS
WYOMING, MINNESOTA
for:
257 LAND HOLDINGS, LLC

SHEET
C-3
OF 4 SHEETS



REVISIONS	CITY COMMENTS
04/17/23	

PROTECT EXISTING TREES TO REMAIN



NOTE: TREE PROTECTION SHALL BE PROVIDED BY CONTRACTOR AS REQUIRED TO AID IN SURVIVABILITY OF EXISTING TREES TO REMAIN. DO NOT STORE MATERIALS OR DRIVE EQUIPMENT WITHIN THE TREE DRIP LINE AS DESIGNATED ABOVE. MAINTAIN THE FENCE INTEGRITY AT ALL TIMES THROUGHOUT CONSTRUCTION.

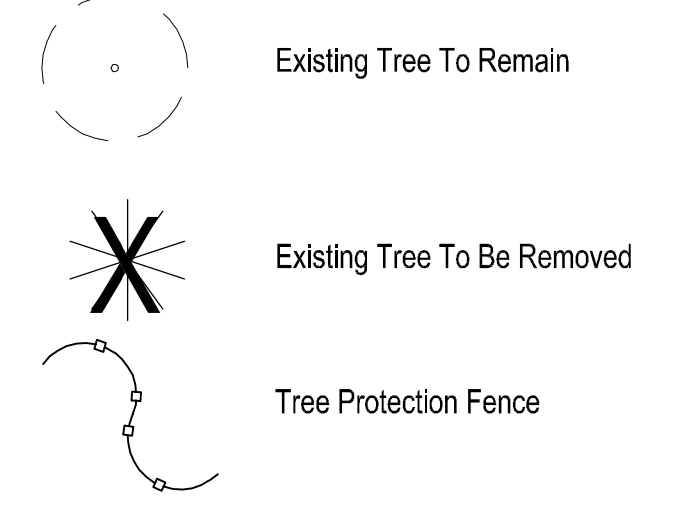
TREE PROTECTION FENCE SHALL BE IN PLACE PRIOR TO THE START OF DEMOLITION.

1 TREE PROTECTION DETAIL
 L-1 NOT TO SCALE

GENERAL NOTES:

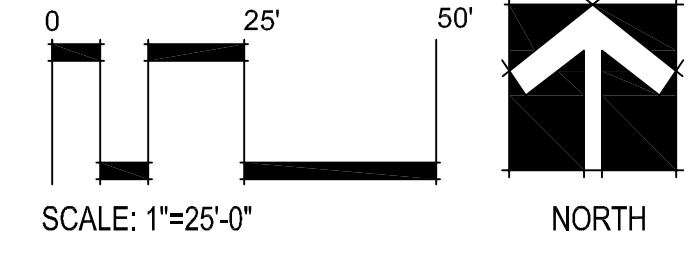
1. Refer to Sheet L-1 for Tree Preservation Plan.
2. Refer to Sheet L-2 for Landscape Plans.
3. Refer to Sheet L-3 for Landscape Details, Notes, and Schedules.
4. Refer to Sheet L-3 for Tree Inventory Schedule.
5. Contractor to coordinate work in the city easement or right-of-way with City of Wyoming.
6. Protect existing trees to remain from damage during construction.
7. Place a minimum of 4" topsoil or slope dressing on all areas disturbed by construction, including right-of-way boulevards, unless specified otherwise. Re-use stripped topsoil.
8. Protect existing paving during landscape installation.

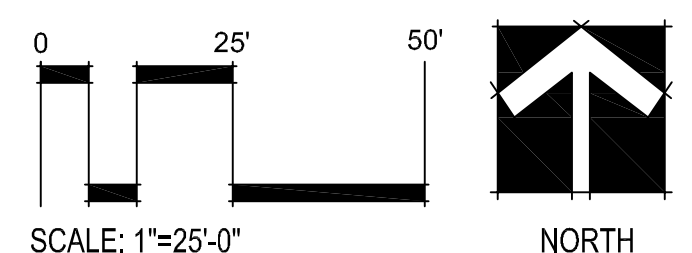
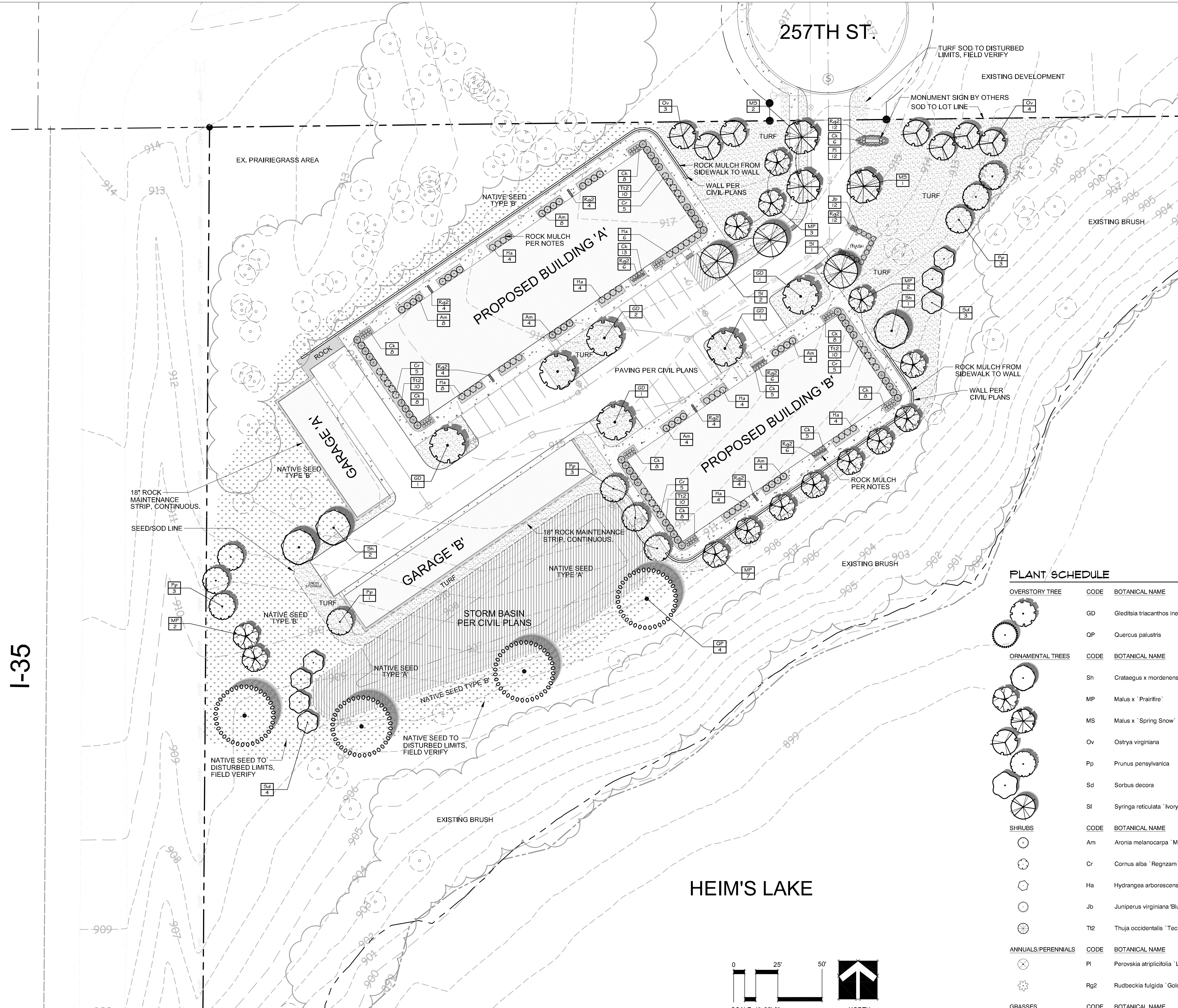
LANDSCAPE LEGEND:



TREE PRESERVATION NOTES:

- Existing boundary, location, topographic, vegetation, and utility information shown on this plan is from a field survey by O'Mally and Kron Land Surveyors, Cold Spring, MN
- Do not begin tree clearing work until tree protection measures are in place and to the permit approval of the City Forester has been granted.
 - **Critical Root Zone:** Install high density polyethylene safety fence, 4 ft. high, international orange, at the Drip Line or at the Critical Root Zone whichever is greater. of trees to be preserved per detail, prior to commencement of earthwork activity. Field-staking of the fence location(s) subject to City approval.
 - Where silt fence and proposed tree protection fence overlap, place the tree protection fence on the outside of the silt fence, double-staked at the break-point.
 - Refer to Tree Protection Detail 1
 - The contractor shall prune the canopy of existing trees to remain where the canopy is in jeopardy of damage due to the new improvements shown. It is recommended that the contractor hire a certified arborist to perform the pruning. Any branches broken during construction shall be immediately trimmed and wounds painted to prevent further damage.
 - Perform work in accordance with the laws, ordinances, rules, regulations, and orders of public authority having jurisdiction. Secure and pay for permits, governmental fees and licenses necessary for the proper execution of the demolition work.
 - Provide protective coverings and enclosures as necessary to prevent damage to existing work that is to remain. Existing work to remain may include items such as trees, shrubs, lawns, sidewalks, drives, curbs, utilities, buildings and/or other structures on or adjacent to the demolition site. Provide temporary fences and barricades as required for the safe and proper execution of the work and the protection of persons and property.
 - Remove debris, waste, and rubbish promptly from the site. On-site burial of debris is not permitted. Burn no debris on the site. Salvage material not otherwise indicated to be reused shall become the Contractor's property and is to be removed promptly from the site and disposed of in strict accordance with all applicable laws, regulations, and/or statutes.
 - Buildings, features, surfaces, and other descriptive references shown on this drawing are for informational purposes only. Field verify all information relevant to the project prior to proceeding with the work. Visit the site and determine all site conditions and hazards.
 - This plan is a guide as to the anticipated amount of disturbance expected due to proposed improvements. The contractor is expected to take all necessary precautions to ensure trees noted to remain are not damaged during construction. Do not store material or drive within the drip line of existing trees to remain. Be aware of overhead branches for clearance of material and equipment.
 - This plan is not a guarantee that existing trees will survive during/post construction, but rather a guide to help assure their protection and greatest chances of survival at the surface level. Further protection measures outside this scope could involve ecologists, foresters and arborists.
 - Notify the Owner's Representative when tree protection fencing is taken down to perform work in conjunction with the new improvements noted in this plan set. The contractor is responsible for re-erecting the tree protection fence immediately after the work is complete, when ever possible
 - Trees shown as existing to remain (be preserved) that are damaged / killed as a result of construction activities are subject to replacement per the City Tree Replacement penalty. Replacement trees are to be paid for at no additional expense to the Owner.





REVISIONS

DATE	CITY COMMENTS
04/17/23	

MUNICIPAL LANDSCAPE CALCULATIONS:

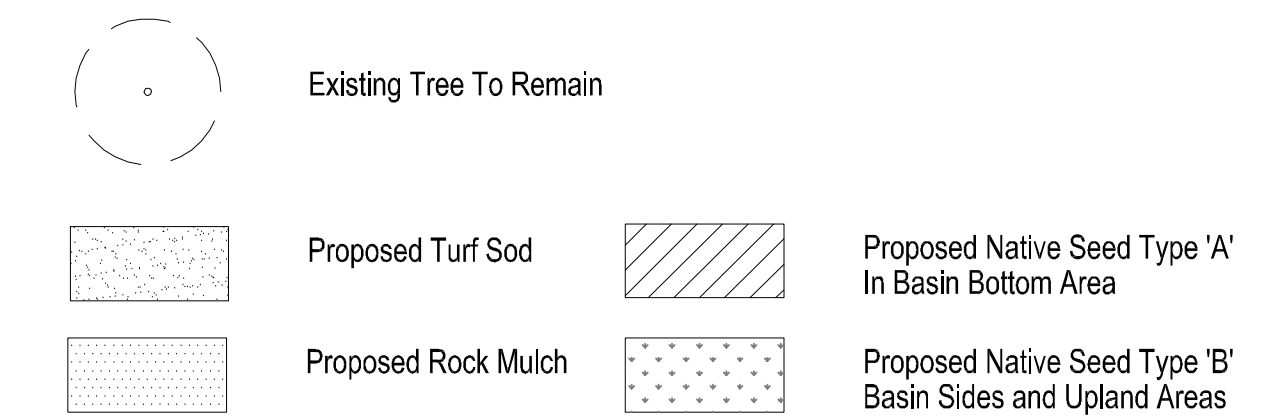
Per City of Wyoming Requirements: (1) Overstory Tree and (2) Understory Trees are required per 1/10th acre (excluding wetlands):

Site Area (excluding wetlands):	4.53 Acres
Overstory Trees Required On Site:	45
- Existing Overstory Trees as Credit:	35
New Overstory Trees Owed:	10
Understory Trees Required On Site:	91
- Existing Understory Trees as Credit:	44
New Understory Trees Owed:	47

GENERAL NOTES:

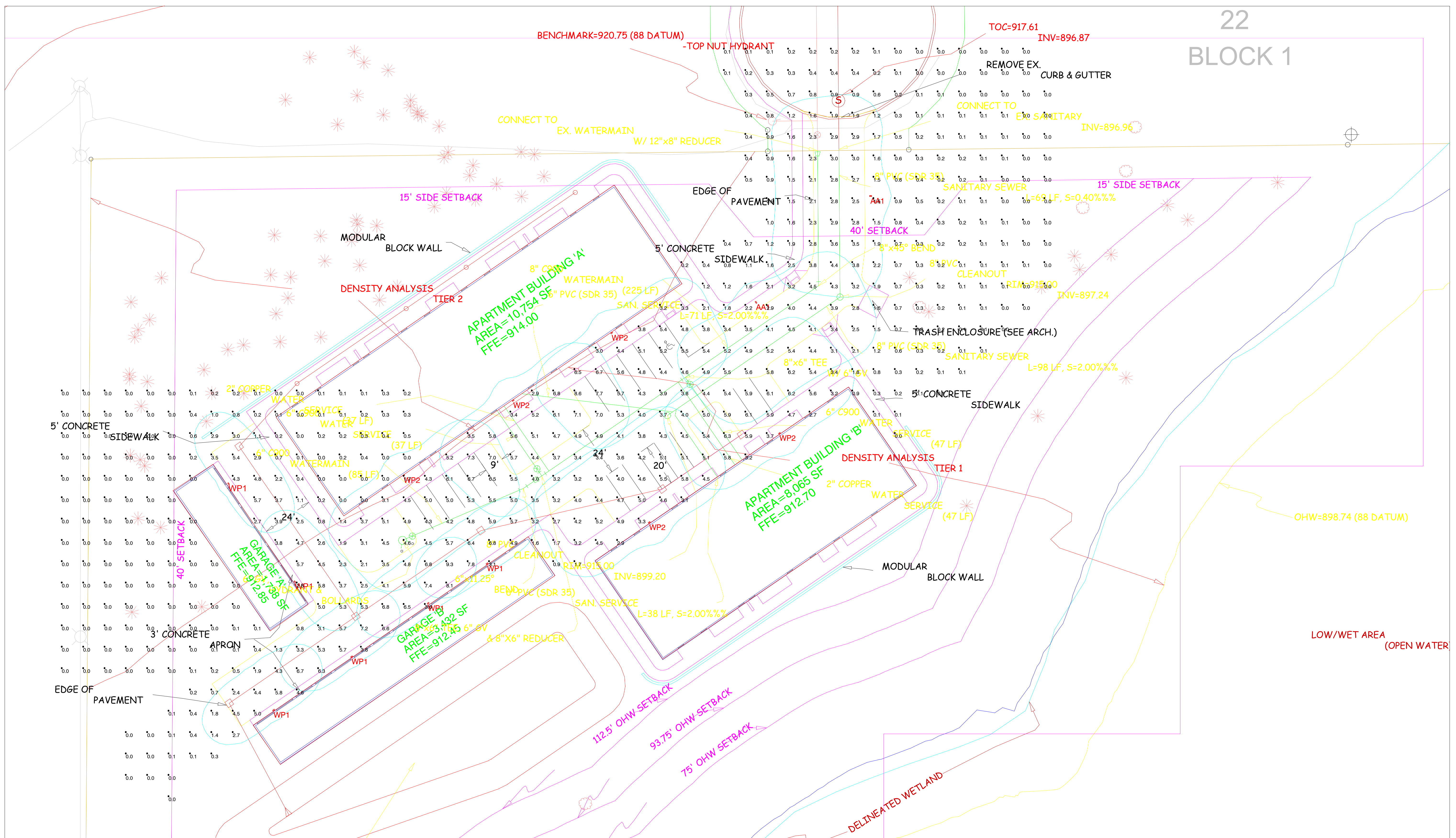
1. Refer to Sheet L-1 for Tree Preservation Plan.
2. Refer to Sheet L-2 for Landscape Plan.
3. Refer to Sheet L-3 for Landscape Details, Notes, and Schedules.
4. Refer to Sheet L-3 for Tree Inventory Schedule.
5. Contractor to coordinate work in the city easement or right-of-way with City of Wyoming.
6. Protect existing trees to remain from damage during construction.
7. Place a minimum of 4" topsoil or slope dressing on all areas disturbed by construction, including right-of-way boulevards, unless specified otherwise. Re-use stripped topsoil.
8. Protect existing paving during landscape installation.

LANDSCAPE LEGEND:



PLANT SCHEDULE

OVERSTORY TREE	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	GD	Gleditsia triacanthos inermis 'Draves'™	Street Keeper Honey Locust	2.5" Cal.	B&B	6
	QP	Quercus palustris	Pin Oak	2.5" Cal.	B&B	4
ORNAMENTAL TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Sh	Crataegus x mordenensis 'Snowbird'	Snowbird Hawthorn	2" Cal.	B&B	3
	MP	Malus x 'Prairifire'	Prairifire Crab Apple	1.5" Cal.	B&B	14
	MS	Malus x 'Spring Snow'	Spring Snow Crab Apple	2.5" Cal.	B&B	3
	Ov	Ostrya virginiana	American Hophornbeam	2.5" Cal.	B&B	7
	Pp	Prunus pensylvanica	Pin Cherry	2" Cal.	B&B	10
	Sd	Sorbus decora	Showy Mountain Ash	1.5" Cal.	B&B	7
	SI	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	2.5" Cal.	B&B	3
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Am	Aronia melanocarpa 'Morton'™	Iroquois Beauty Black Chokeberry	5 gal.	Pot	32
	Cr	Cornus alba 'Regnzam'	Red Gnome Dogwood	3 gal.	Pot	20
	Ha	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	5 gal.	Pot	34
	Jb	Juniperus virginiana 'Blue Arrow'	Blue Arrow Juniper	10 gal.	Pot	12
	Tl2	Thuja occidentalis 'Techny Globe'	Techny Globe Arborvitae	5 gal.	Pot	40
ANNUALS/PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	PI	Perovskia atriplicifolia 'Little Spire'	Little Spire Russian Sage	1 gal.	Pot	12
	Rg2	Rudbeckia fulgida 'Goldstrum'	Black Eyed Susan	1 gal.	Pot	62
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	Ck	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal.	Pot	85



Not to Scale

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
LOT_Planar	Illuminance	Fc	1.96	9.3	0.0	N.A.	N.A.

Luminaire Schedule									
Symbol	Qty	Label	Manufacturer	Description	Arrangement	Lum. Lumens	Lum. Watts	LLF	
□	5	WP2		RWL2-160L-135-4K7-4-U	Single	17390	137.1	0.900	
□	6	WP1		RWL2-160L-45-4K7-3-U	Single	6780	46.1	0.900	
□	2	AA1		RAR1-160L-115-4K7-4W-U	Single	15232	109.7	0.900	

TYPE AA1 20FT POLE ON 3FT BASE

1. Lighting Reflectance of 80/50/20 used unless noted otherwise
2. Interior calc points shown at 30" A.F.F. unless noted otherwise
3. Exterior calc points shown at grade unless noted otherwise
4. Emergency egress calc points shown at 0" A.F.F.
5. Photometric drawings are for Design purposes only, not for Construction documents

Calculated light levels shown are estimates based on information available at time of layout request. Due to unknown site conditions JTH Lighting assumes no responsibility for installed light levels.

Project #: _____
Date: 4/14/2023
Paper Size: ARCH D - 24X36"

HEIM LAKE APARTMENTS v2

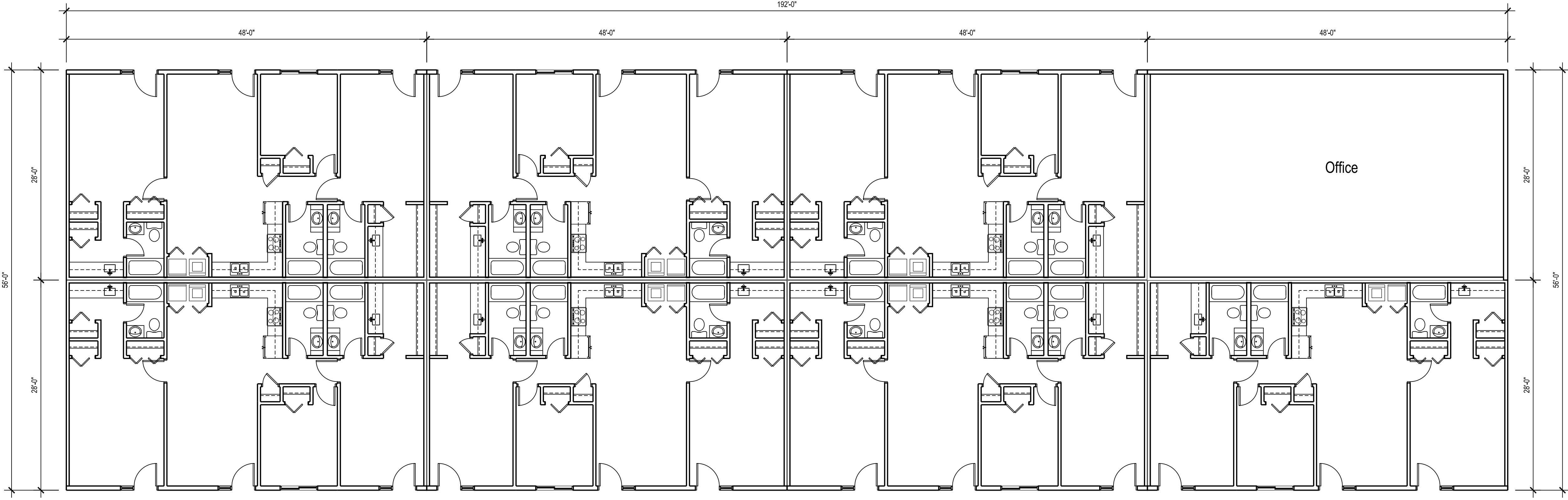
REVISIONS	
△	MM/DD/YYYY

SHEET TITLE
 FLOOR PLANS: BUILDING #1
 AND BUILDING #2

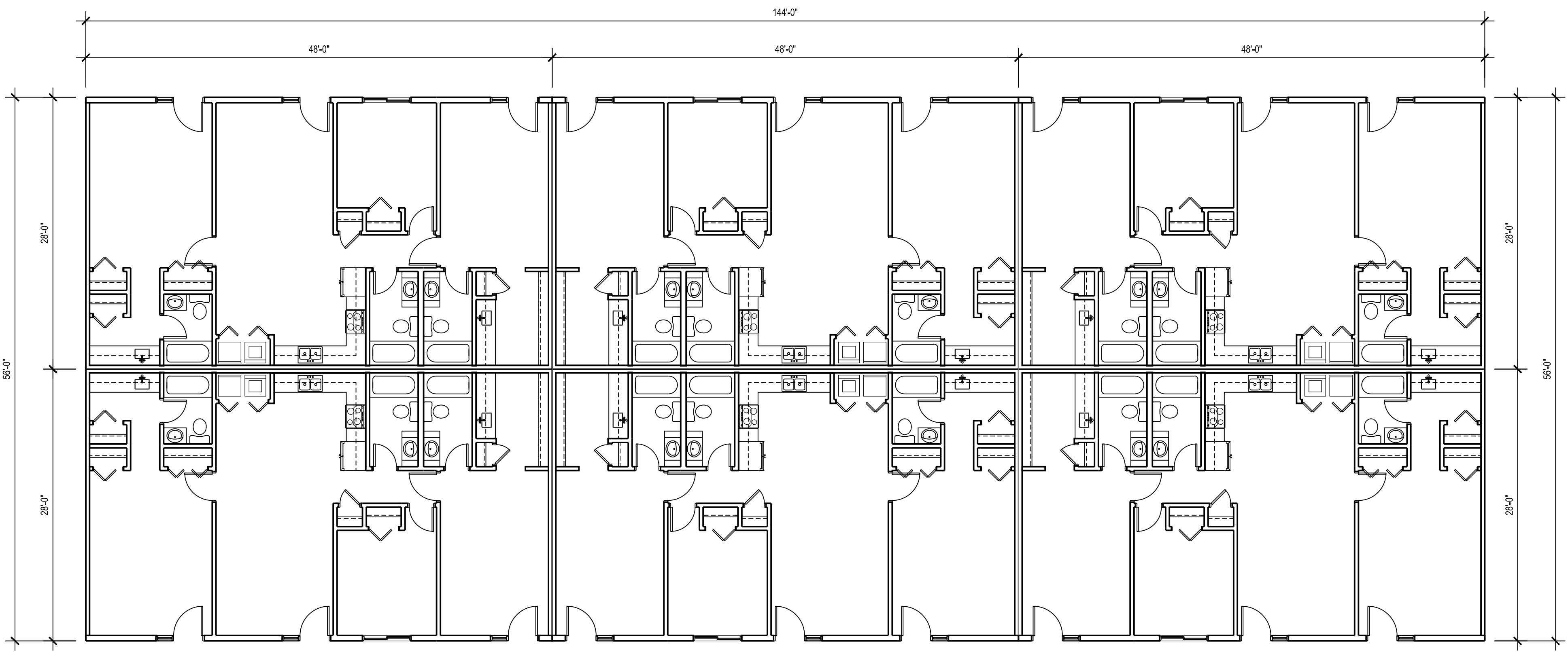
DRAWN BY: DATE:
 Hung Ly 04/15/2023

SHEET NO.
A2

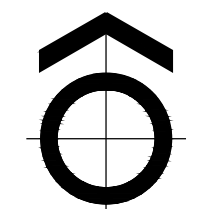
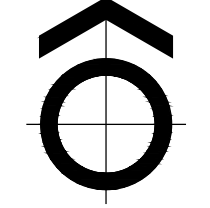
PROJECT NO.:



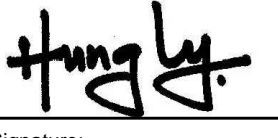
1 FLOOR PLAN - 7 UNITS APARTMENT PLUS OFFICE: BUILDING #1
 SCALE: 1/8" = 1'-0"

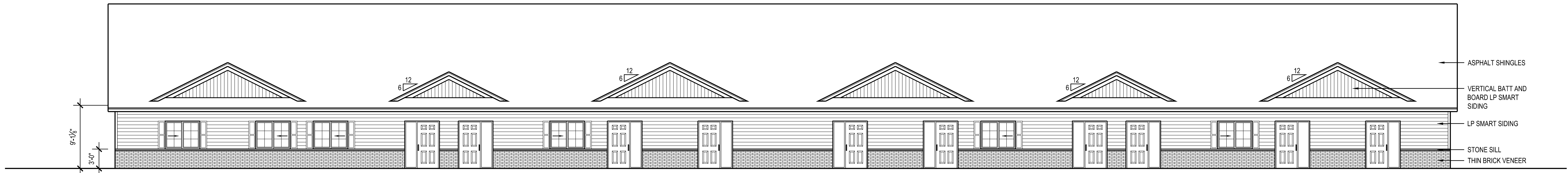


2 FLOOR PLAN - 6 UNITS APARTMENT: BUILDING #2
 SCALE: 1/8" = 1'-0"

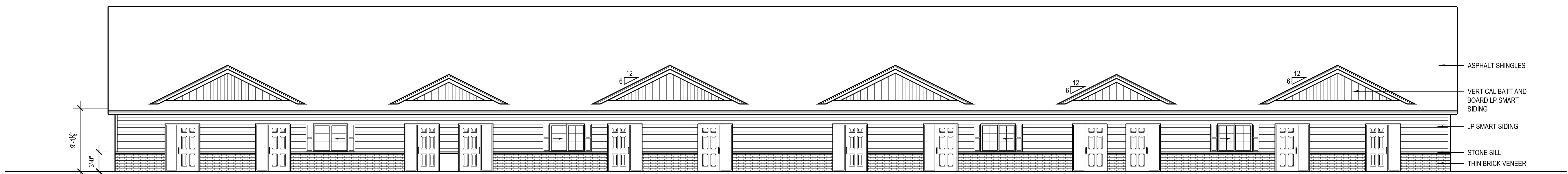


PRELIMINARY NOT FOR CONSTRUCTION

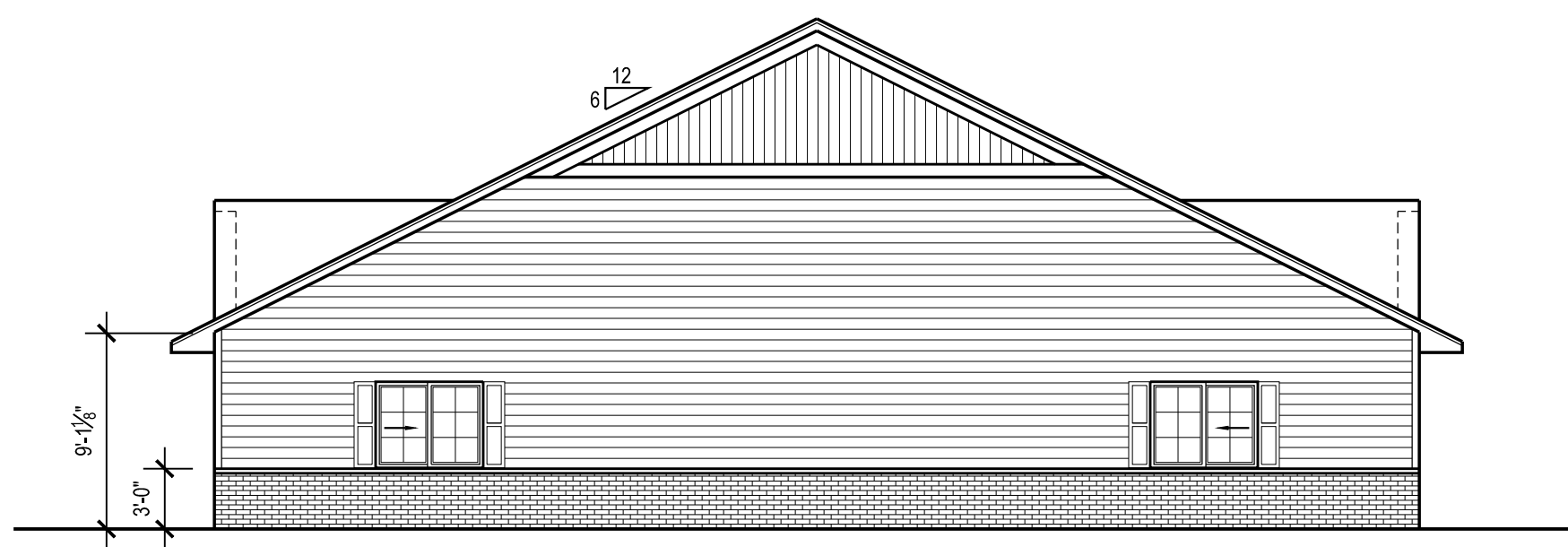
ARCHITECT CERTIFICATION:
 I Herby Certify That This Plan Was
 Prepared By Me Or Under My
 Direct Supervision and I am A Duly
 Licensed Architect Under The Laws
 Of The State of Minnesota

 Signature:
 Hung Ly
 REG. 50476 Date: 04/15/2023



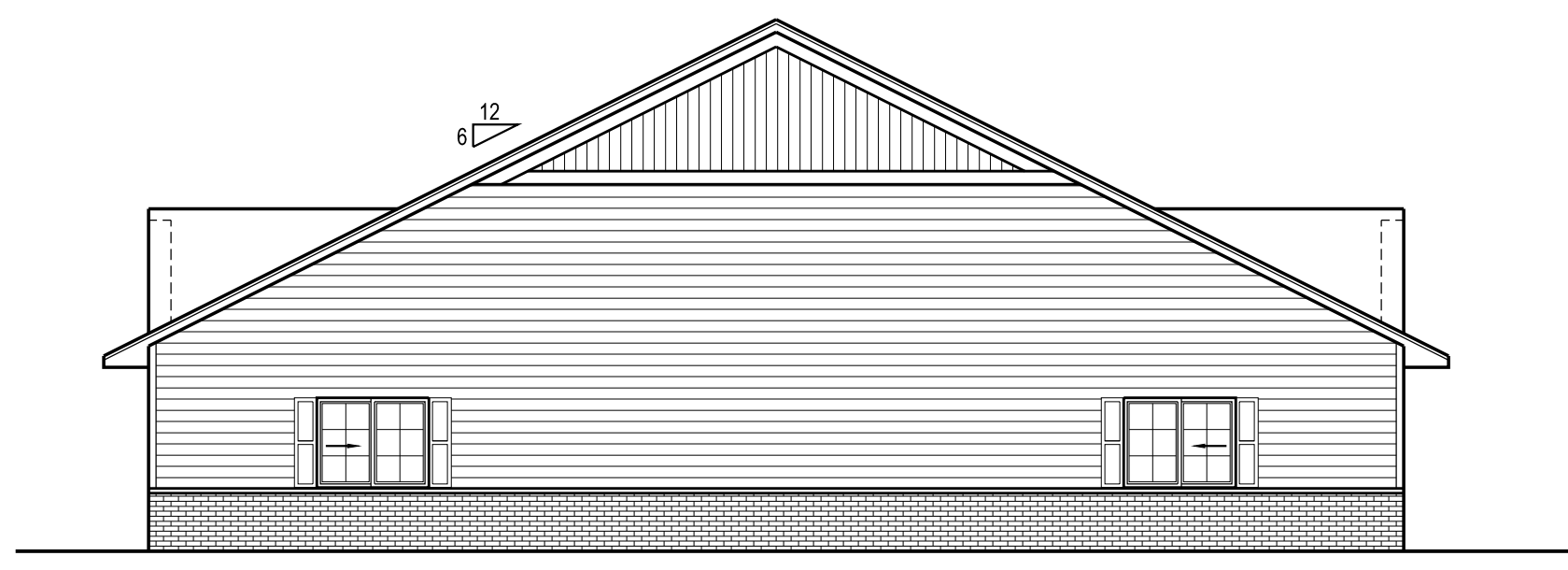
1 EXTERIOR FRONT ELEVATION
 SCALE: 1/8" = 1'-0"



2 EXTERIOR REAR ELEVATION
 SCALE: 1/8" = 1'-0"



3 EXTERIOR RIGHT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"



4 EXTERIOR LEFT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

**PROPOSED 13 RESIDENTIAL UNITS
 APARTMENT**

Address
 City, State Zip Code

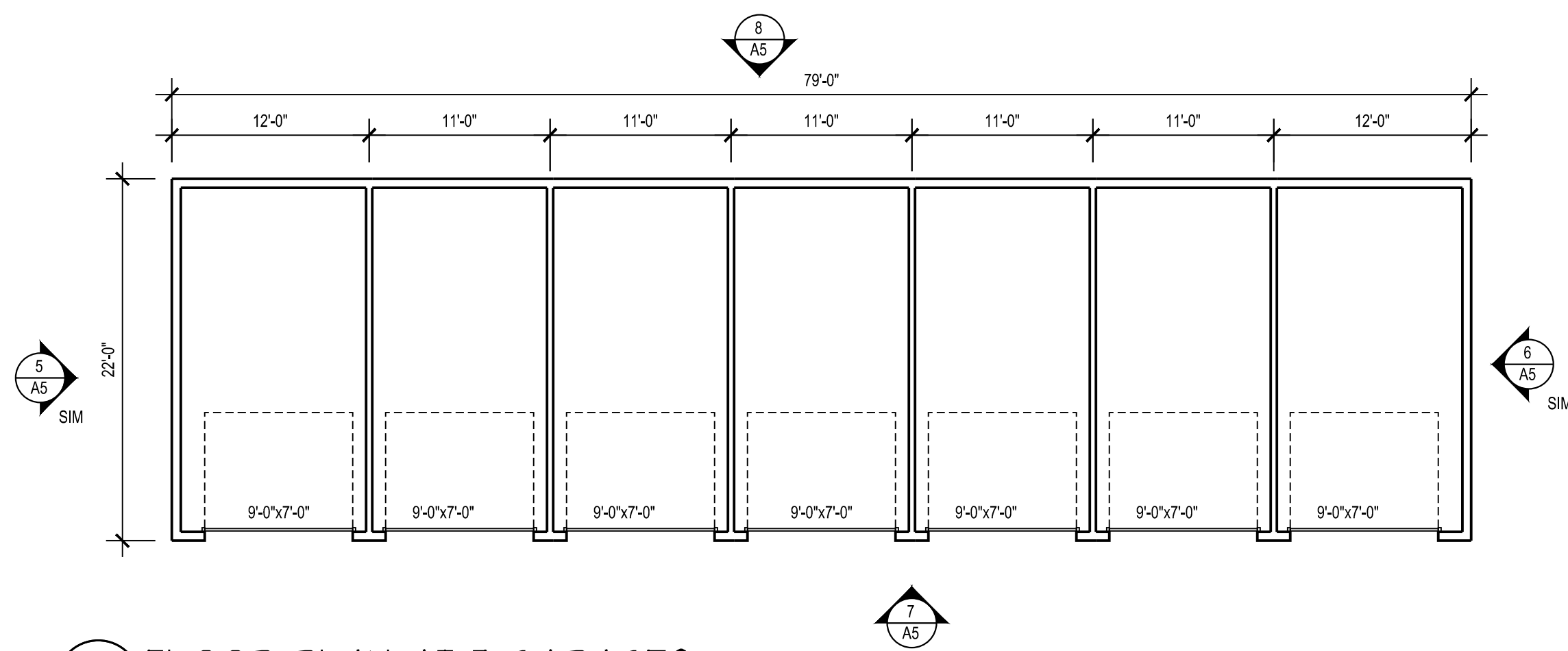
REVISIONS	
△	MM/DD/YYYY

SHEET TITLE
 EXTERIOR ELEVATIONS:
 BUILDING #1

DRAWN BY:	DATE:
Hung Ly	04/15/2023

SHEET NO.
A3

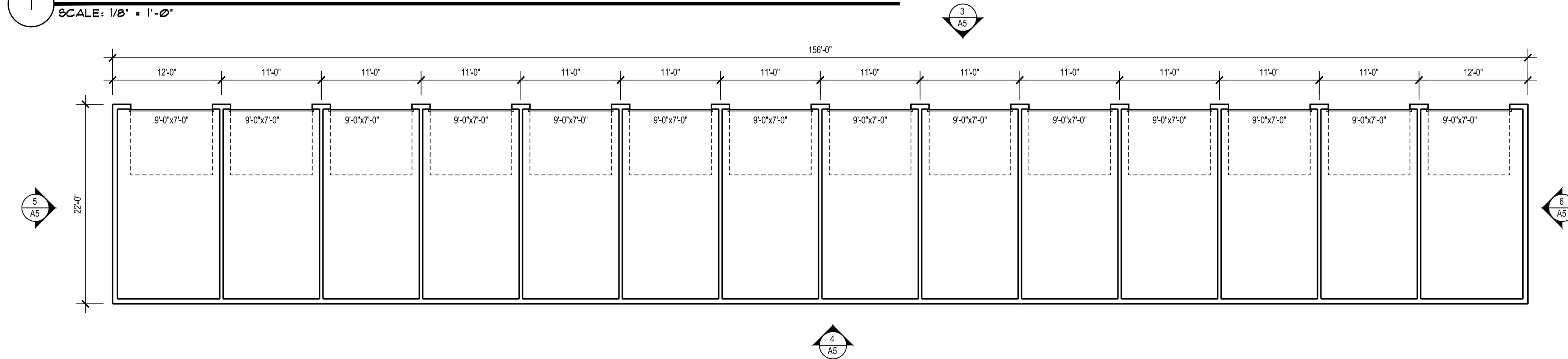
PROJECT NO.:



1 FLOOR PLAN AT 7 GARAGES
SCALE: 1/8" = 1'-0"



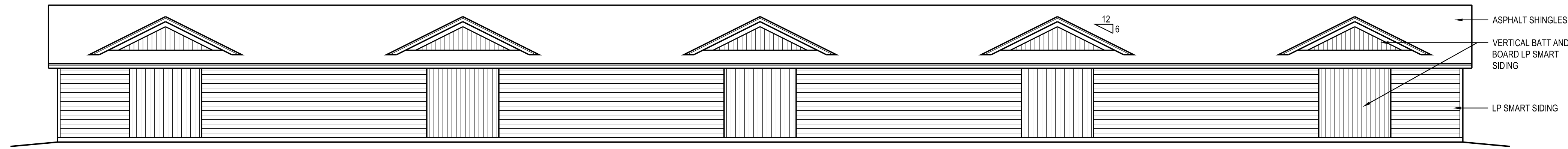
2 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



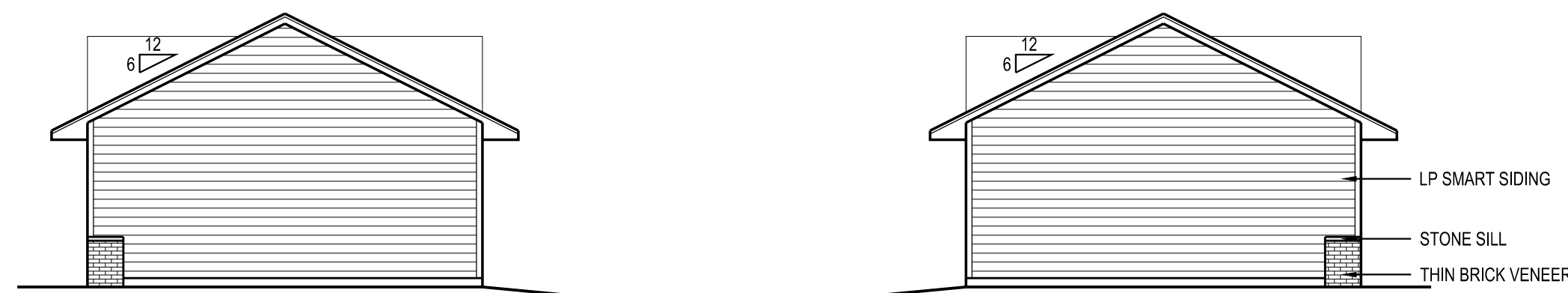
3 FLOOR PLAN AT 14 GARAGES
SCALE: 1/8" = 1'-0"



4 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



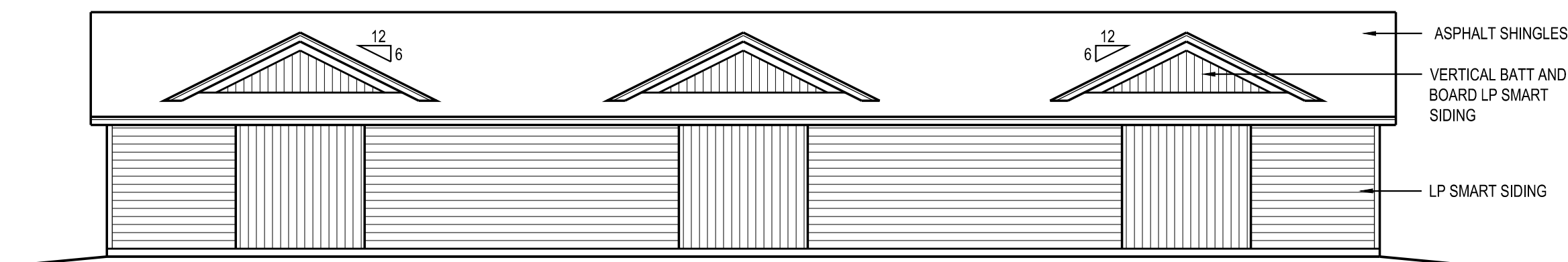
5 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



6 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



7 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



8 EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

REVISIONS	
△	MM/DD/YYYY

SHEET TITLE
GARAGE FLOOR PLANS AND EXTERIOR ELEVATIONS

DRAWN BY: DATE:
Hung Ly 04/15/2023

SHEET NO.
A5

PROJECT NO.:

RESOLUTION NO. 23-06-59

**RESOLUTION DENYING A CONDITIONAL USE PERMIT APPLICATION
AT
PROPERTY ID NUMBERS: 21.10605.00 & 21.10542.10.10**

WHEREAS, the City of Wyoming is a political subdivision, organized and existing under the laws of the State of Minnesota; and,

WHEREAS, the City Council of the City of Wyoming has adopted zoning and subdivision regulations, per Ordinances 2009-4 and 2010-08, including subsequent amendments, to promote the orderly, economic and safe development and utilization of land within the City; and,

WHEREAS, Brian Solsrud of 257 Land Holdings, LLC has requested a Conditional Use Permit to allow establishment of a Commercial Planned Unit Development and a Master Plan for the Heims Lake Senior Housing project approval on property legally described as:

That part of Southwest 1/4 of Southwest 1/4, Section 29, Township 33, Range 21, described as follows: Commencing at the SW corner of said Section 29: then easterly along the south line of said SW 1/4 of SW 1/4, a distance of 354 feet, then northerly at a right angle 1092 feet to the point of beginning; then continue northerly on a projection of the last described line to the north line of said SW 1/4 of SW 1/4; then westerly along said north line to the west line of said SW 1/4 of SW 1/4; then southerly along said west line to the intersection with a line drawn westerly parallel with the south line of said SW 1/4 of SW 1/4 from the point of beginning; then easterly along said parallel line to point of beginning, excluding public waters.

AND

That part of the Southeast 1/4 of the Southeast 1/4, Section 30, Township 33, Range 21, lying northerly of the south 720 ft.; lying easterly of the easterly right of way line of Interstate Highway No.35, and lying northerly, westerly and northwesterly of the following described line: commencing at the southeast corner of said section 30; then west assumed bearing along the south line of said Section 30, a distance of 221 feet to the point of beginning of said line to be described; then north 1092; then east to the east line of said SE 1/4 of SE 1/4 and said line there terminating, excluding public waters.

WHEREAS The property is within the Office and Health Care (OHC) Zoning District and is contained within the Shoreland Overlay for Heims Lake, a Recreational Development Lake. Section 40-262 restricts housing in the OHC District to Elderly, including independent living, assisted living, memory care, and convalescent (nursing) care. The applicant has indicated the housing proposed is elderly independent living.

WHEREAS, Section 40-263 regulates permitted uses in the OHC are conditional uses when in the Shoreland District. Housing restricted to the elderly is a Conditional Use in the OHC district when within the shoreland overlay for a recreational development lake.

WHEREAS, Section 40-362 requires a Conditional Use Permit for any planned unit developments (PUD). The applicant is proposing a commercial PUD for the site.

WHEREAS, Section 40-451 regulates architectural standards including "architecture in relationship to the proposed land use, site characteristics and interior building layout."

WHEREAS, on March 14, 2023, May 23, 2023 and June 13, 2023 the Planning Commission held a public hearing and public meetings in accordance with the Ordinance and laws of the State of Minnesota; and,

WHEREAS, the City Council and Planning Commission have reviewed the Conditional Use Permit application for a Commercial Planned Unit Development and the PUD application for a Master Plan approval; and as submitted, and have made the following findings of fact:

1. The building design and individual unit layout is not consistent with the proposed land use based upon the following:
 - a. The proposed development consists of two one story apartment buildings with 13 total units and two detached single stall parking garages with 21 stalls.
 - b. Access to the dwelling units and garages is via exterior sidewalks.
 - c. The proposed apartment units have three exterior doors to each individual unit.
 - d. Each apartment unit has at least two bedrooms and three bathrooms.
 - e. Pedestrian circulation is difficult and doesn't provide easy access to units from parking stalls or parking garages, which is inconsistent with the use as elderly housing.
2. The use is not in conformity with the Comprehensive Plan. The proposed plan does not provide "A high level of site planning, landscaping and façade treatment will be required..." as stated in the Comprehensive Plan Land Use Plan chapter, Office and Health Care land use description.
3. The use is not sufficiently compatible with adjacent development so that existing development will not be depreciated in value.
 - a. The proposed apartment units have three exterior doors to each individual unit.
 - b. The proposed structures do not meet the Architectural Standards Division of the Zoning Ordinance.
4. The structures have an appearance that will have an adverse effect upon adjacent properties.
 - a. The proposed structures do not meet the Architectural Standards Division of the Zoning Ordinance.
5. The use is not located, designed, maintained, and operated to be compatible with the existing or intended character of the zoning district in which it is to be located.
 - a. The housing is not designed for elderly housing due to the constrained circulation on the site
 - b. The parking areas are not designed for elderly housing as they are not immediately adjacent to individual housing units and require crossing parking lots to access units.
 - c. The buildings are not designed for elderly housing as they do not provide reasonable access to individual units as the back-to-back design means that rear units must be accessed through a pedestrian sidewalk containing little lighting.
6. The use is inconsistent with the purpose of this and other City Ordinances.
7. The establishment or maintenance of the use will be detrimental to the public, health, safety, or general welfare.
 - a. The stormwater ponds freeboard elevations does not provide a minimum of two feet of height separation from the finish floor elevations of the proposed structures.

- b. The proposed site lighting does not provide adequate lighting for residents and visitor to navigate the site.
- 8. Section 40-316 request processing of PUD developments must be processed as a conditional use permit. Denial of the Conditional Use Permit means that the PUD Master Development Plan/Site Plan Review must also be denied.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Wyoming hereby **DENIES** the Conditional Use Permit as requested by the applicant:

ADOPTED BY THE CITY COUNCIL OF THE CITY OF WYOMING THIS 20th DAY OF JUNE, 2023.

Lisa Iverson, Mayor

ATTEST:

This Document Drafted by:
The City of Wyoming
26885 Forest Boulevard
Wyoming, Minnesota 55092

Robb Linwood, City Administrator

Request for Council Action

Date: June 15, 2023

To: Wyoming City Council, Mayor Lisa Iverson, Councilmembers Claire Luger, Linda Nanko Yeager, Brett Ohnstad and Dennis Schilling

Cc: Robb Linwood; File

From: City Engineer, Mark Erichson, PE

RE: 2023 Fallbrook Avenue and 264th Street Improvements - Approve Plans and Specifications and Authorize Advertisement for Bids

Background and supporting documentation of request:

The 2023 Fallbrook Avenue and 264th Street Improvements includes full depth reclamation of the existing street section and a full width bituminous paving along Fallbrook Avenue and 264th Street, including complete curb replacement along Fallbrook Avenue from Fairview Boulevard to 260th Street. Additional utility improvements include replacing two storm sewer culvert crossings and minor improvements to the existing sanitary sewer.

Plans and Specifications have been prepared and are ready to be advertised for bidding. Staff is requesting approval of the plans and specifications and authorization to advertise for bids. Staff will place the advertisement for bids which is required to run for a minimum of 21 days. Plans and Specifications are available for your review at City Hall.

Recommendation:

Approve Resolution No. 23-06-60, a resolution Approving Plans and Specifications and Authorize Advertisement for Bids for the 2023 Fallbrook Avenue and 264th Street Improvements.

RESOLUTION NO. 23-06-60

**CITY OF WYOMING
CHISAGO COUNTY, MINNESOTA**

**RESOLUTION APPROVING PLANS AND SPECIFICATIONS AND ORDERING
ADVERTISEMENT FOR BIDS FOR
2023 FALLBROOK AVENUE AND 264TH STREET IMPROVEMENT**

WHEREAS, pursuant to action previously passed by the City Council, the City Engineer has prepared plans and specifications for the 2023 Fallbrook Avenue and 264th Street Improvements and has presented such plans and specifications to the Council for approval;

NOW THEREFORE BE IT RESOLVED BY THE COUNCIL OF THE CITY OF WYOMING:

1. Such plans and specifications, a copy of which is attached hereto and made a part hereof, are hereby approved.
2. The City Engineer shall prepare and cause to be inserted in the official City newspaper and the Finance and Commerce an advertisement for bids upon the making of such improvements under such approved plans and specifications.
3. The advertisement shall be published in each of said publications at least once not less than three (3) weeks before the date set for opening bids, shall specify the work to be done, shall state the bids will be publicly opened at the Wyoming City Hall in said City and that no bids will be considered unless sealed and filed with the City Clerk and accompanied by a cash deposit, cashier's check, bid bond, or certified check payable to the City Clerk for five (5%) percent of the amount of such bid.

BE IT FINALLY RESOLVED that the City Council hereby orders the Advertisement for Bids for 2023 Fallbrook Avenue and 264th Street Improvements.

Hereupon said Resolution was declared duly passed and adopted this 20th day of June 2023.

Lisa Iverson, Mayor

ATTEST:

Robb Linwood, City Administrator/Clerk

(seal)

Request for Council Action

Date: June 15, 2023
 To: Wyoming City Council, Mayor Lisa Iverson, Councilmembers Claire Luger, Linda Nanko Yeager, Brett Ohnstad and Dennis Schilling
 Cc: Robb Linwood; File
 From: City Engineer, Mark Erichson, PE
 RE: 2023 Fallbrook Avenue and 264th Street Improvements, Parking Restrictions

Background and supporting documentation of request:

The 2023 Fallbrook Avenue and 264th Street Improvements includes full depth reclamation of the existing street section and a full width bituminous paving along Fallbrook Avenue and 264th Street, including complete curb replacement along Fallbrook Avenue from Fairview Boulevard to 260th Street.

Both Fallbrook Avenue and 264th Street have been designated as Municipal State Aid (MSA) roadways and will be required to be constructed to meet the design requirements set forth by MnDOT as the City will be expending MSA funds for the project.

Given the current use of both roadways is primarily for commercial and industrial purposes, restricting parking along the majority of this route is recommended to allow larger vehicle traffic to safely navigate the roadways to the adjacent commercial and industrial properties. The southern portion of Fallbrook Avenue near Fairview Avenue is recommended to continue to allow parking on the west side (currently the only side utilized for parking).

Staff recommends approval of the resolution restricting parking along the following segments:

- 264th Street from Forest Boulevard (TH 61) to Fallbrook Avenue – both sides of roadway
- Fallbrook Avenue from 264th Street to 400 feet north of Fairview Avenue – both sides of roadway
- Fallbrook Avenue from Fairview Avenue 400 feet north – east side of roadway only

Staff recommends approval of the Resolution restricting parking on Fallbrook Avenue and 264th Street as detailed above.

Recommendation:

Approve Resolution No. 23-06-61, a resolution Restricting Parking on Fallbrook Avenue and 264th Street.

RESOLUTION NO. 23-06-61

**CITY OF WYOMING
CHISAGO COUNTY, MINNESOTA**

**A RESOLUTION RESTRICTING PARKING ON FALLBROOK AVENUE AND 264TH
STREET FOR THE 2023 FALLBROOK AVENUE AND 264TH STREET
IMPROVEMENT PROJECT**

WHEREAS, the City of Wyoming has planned improvements to 264th Street, State Aid Route No. 106, between Forest Boulevard (TH 61) and Fallbrook Avenue and to Fallbrook Avenue, State Aid Route No. 110, between 264th Street and Fairview Avenue; and

WHEREAS, the City of Wyoming has ordered the project for the 2023 Fallbrook Avenue and 264th Street Improvements; and

WHEREAS, the City of Wyoming will be expending Municipal State Aid System funds on improvements to Fallbrook Avenue and 264th Street; and

WHEREAS, the current use along Fallbrook Avenue and 264th Street is primarily for commercial and industrial traffic with parking recommended to be restricted as described below:

- 264th Street from Forest Boulevard (TH 61) to Fallbrook Avenue – both sides of roadway
- Fallbrook Avenue from 264th Street to 400 feet north of Fairview Avenue – both sides of roadway
- Fallbrook avenue from 400 feet north of Fairview Avenue and Fairview Avenue – east side of roadway only

and approval of the proposed construction as a Municipal State Aid Street project must therefore be conditioned upon certain parking restrictions.

NOW THEREFORE BE IT RESOLVED, by the City Council of the City of Wyoming that The City of Wyoming shall prohibit the parking of motor vehicles along Fallbrook Avenue and 264th Street as described herein.

Hereupon said Resolution was declared duly passed and adopted this 20th day of June 2023.

Lisa Iverson, Mayor

ATTEST:

Robb Linwood, City Administrator/Clerk

(seal)



Request for Council Action

Date: June 16, 2023

Presented to: Mayor Iverson and City Council Members

Presented by: Alex Saxe, Assistant City Administrator

Department: Administration

Reference: Age-Friendly Project Coordinator

Method: New Business

Background Information:

This past February, staff presented a communication to council informing them the city was working to apply for a Minnesota Age-Friendly Community Grant. The city was recently notified that we were awarded \$19,000. Utilizing that grant money, the city is proposing the creation of a part-time temporary Project Coordinator position whose sole focus will be around Age-Friendly work. They will work about 10 hours a week at a rate of \$22/hr.

The city is an AARP Age-Friendly community and to be a part of the community there are certain actions the city needs to perform to maintain the Age-Friendly Status. The city needs to develop a community survey to identify needs within the community and then create an action plan to follow into the future. The proposed position will work with community stakeholders and city leaders to plan, develop and implement this community survey. Once they have compiled the survey results they would assist in creating an action plan for the city to utilize in the future. They will also assist the city in work on a community garden. This position will be grant funded until March of 2024. The hope is that this project coordinator will have laid a foundation for staff to maintain the Age-Friendly status and be able to approach future projects with an age-friendly lens. Staff have attached the job description for council review.

Recommendation:

Staff is recommending approval of the position and authorizing advertisement for the position.



CITY OF WYOMING

P.O. Box 188, 26885 Forest Blvd., Wyoming, MN 55092
Phone: 651-462-0575 Fax: 651-462-0576



**CITY OF WYOMING
JOB DESCRIPTION**

POSITION:	Part-Time Age-Friendly Project Coordinator
DEPARTMENT:	ADMINISTRATION
LOCATION:	CITY HALL
IMMEDIATE SUPERVISOR:	CITY ADMINISTRATOR
HOURS WORKED:	10 HOURS PER WEEK
FLSA STATUS:	Part-time, temporary, non-exempt
BENEFITS:	Not benefit eligible

Position Details:

Under the general supervision of the City Administrator this individual will be assisting the city in developing a community survey, developing an action plan and creating a community garden. This position is funded through a grant and will be discontinued, without further action, upon expiration and/or exhaustion of grant funds.

Job Summary:

- Assist the City of Wyoming as they complete the process to become an Age Friendly community:
 - Convene Key community members to Plan and Develop activities to assist Wyoming in becoming an Age Friendly Community.
- Assist to Convene Key community members/partners to begin development of a community survey to determine the strengths, needs and wants from community members
- Outreach and engagement with community members to build a community leadership team
- Develop and Implement a community survey
- Assist to assess the data from the surveys
- Lead efforts in planning and implementation of community focus group discussions
- Lead efforts in assessing data from the Surveys and Focus groups to develop the Age Friendly Action Plan for the City of Wyoming
- Planning and Development of community gardening- engaging Key stakeholders to assist in planning and development of the garden
- Assist to Engage potential funding sources for continued community collaborative efforts for Wyoming to as they complete and implement the cities Action Plan
- Work with the designated City staff to gather data for Grant reporting

- Assist to develop and maintain contact list for designated- Key community contacts to include but not limited to, direct providers, State, and local government officials.
- Assist Designated City of Wyoming staff to gather information for reports, as required for Grant for designated project.

Position Requirements:

Knowledge, Skills and Abilities:

- Be able to read and understand correspondence, memos and materials
- Must be able to effectively represent the organization
- Knowledgeable in Microsoft Office Suite
- Be able to effectively present in front of groups

Education:

- Bachelor's Degree or equivalent work experience.

Requirements:

- Possession of an appropriate driver's license valid in the State of Minnesota.
- Willingness to travel around the community

Desired Qualifications:

- Knowledgeable about municipal government functions
- Project Management experience
- Experience in survey collection and data analysis work

Working Conditions:

This is sedentary work requiring the exertion of up to 20 pounds of force occasionally, up to 10 pounds of force frequently, and a negligible amount of force frequently or constantly to move objects; work requires general computer and typing skills; vocal communication is required for expressing or exchanging ideas by means of the spoken word; hearing is required to perceive information at normal spoken word levels; visual acuity is required for preparing and analyzing written or computer data, determining the accuracy and thoroughness of work, and observing general surroundings and activities; the worker is not subject to adverse environmental conditions

Competencies Common to All City Positions:

- Develop, maintain a thorough working knowledge of, and comply with all departmental and applicable City policies and procedures
- Demonstration by personal example the spirit of service, excellence, and integrity expected from all staff.
- Develop respectful and cooperative working relationships with co-workers, including willing assistance to newer staff so job responsibilities can be performed with confidence as quickly as possible.
- Confer regularly with and keep immediate supervisor informed of all-important matters which

- pertain to the applicable job functions and responsibilities.
- Represent the Wyoming in a professional manner to the public, outside contacts and constituencies.

***The work environment characteristics described here are representative to those an employee encounters while performing essential functions of this job. Reasonable accommodations can be made to enable individuals with disabilities to perform the essential functions.*

SELECTION GUIDELINES:

Formal application, rating of education and experience, oral interview and reference check may be required. The duties listed above are intended only as illustrations of the various types of work that may be performed. The omission of specific statements of duties does not exclude them from the position if the work is similar, related, or a logical assignment to the position.

The job description does not constitute an employment agreement between the employer and employee and is subject to change by the employer as the needs of the employer and requirements.

EQUAL OPPORTUNITY EMPLOYER:

The City of Wyoming is strongly committed to diversity in its work force. We are an affirmative action / equal employment opportunity employer.

DRAFT



Request for Council Action

Date: June 16, 2023

Presented to: Mayor Iverson and City Council Members

Presented by: Robb Linwood, City Administrator

Department: Administration

Reference: Rueter Walton Work session

Method: New Business

Background Information:

Staff would like to have a work session with council to discuss the potential project from Rueter Walton for an apartment complex.

Recommendation:

To approve and notice a City Council work session on June 27, 2023 at 5:30PM



CITY OF WYOMING

P.O. Box 188, 26885 Forest Blvd., Wyoming, MN 55092
Phone: 651-462-0575 Fax: 651-462-0576