

**AGENDA
PLANNING COMMISSION
CITY OF WYOMING, MINNESOTA
OCTOBER 26, 2021
7:00 PM**

CALL TO ORDER:

CALL OF ROLL:

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM:

“An opportunity for members of the public to address the Planning Commission on items not on the current Agenda. You will be limited to two (2) minutes and we ask that you conduct yourself in a professional, courteous manner, and refrain from the use of profanity. Failure to abide by this policy may result in the loss of your privilege to speak.”

APPROVAL OF MINUTES:

1. **Consider approving the minutes of the “Regular Meeting” of the Wyoming, Minnesota Planning Commission for October 12, 2021.**

SCHEDULED PUBLIC HEARINGS:

2. Preliminary Plat: D-21-011 Aadland Acres 3rd Plat
Final Plat D-21-012 Aadland Acres 3rd Plat
Location: Pioneer Road & Iris Avenue
Applicants: Perry Aadland, Peter Aadland, & Paul Aadland
Property ID Number: 21.10482.00
3. Site Plan Review: Sp-21-004 – Hallberg – Bingham Property
Location: Forest Boulevard / County Road 30
Applicant: Advanced Engineering Concepts
Prospective Owner: Hallberg Inc. (Austin Hallberg)
Current Owner(s) Chisago County EDA and City of Wyoming EDA
Property ID Number: 00006.00

NEW BUSINESS:

4. None.

OLD BUSINESS:

5. None.

COMMUNICATIONS:

6. None.

UPDATES:

7. None.

ADJOURN

UPCOMING:

8. Comfort Lake Forest Lake Watershed District Presentation

**UNAPPROVED MINUTES
PLANNING COMMISSION
CITY OF WYOMING, MINNESOTA
OCTOBER 12, 2021
7:00PM**

CALL TO ORDER:

Planning Commission Chairman Lobermeier called the Regular Meeting of the Wyoming Planning Commission for October 12, 2021 to order at 7:00 PM

CALL OF ROLL:

On a Call of the Roll the following members of the Wyoming Planning Commission were present: Mark Lobermeier, Kevin Teel, Bryan Murdock, Katie West, and Roger Carr

ABSENT: None

Also Present: Fred Weck Zoning Administrator and Council Liaison Brett Ohnstad, and Mayor Lisa Iverson

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM: NONE

APPROVAL OF MINUTES:

1. Consider approving the minutes of the “Regular Meeting” of the Wyoming, Minnesota Planning Commission for September 28, 2021

A MOTION WAS MADE BY COMMISSIONER MURDOCK, SECONDED BY COMMISSIONER CARR, TO APPROVE THE MINUTES OF THE “REGULAR MEETING” OF THE WYOMING, MINNESOTA PLANNING COMMISSION FOR SEPTEMBER 28, 2021 AS SUBMITTED.

*Voting Aye: Murdock, West, Teel, Carr, and Lobermeier
Voting Nay: None
Abstain: None
Absent: None*

SCHEDULED PUBLIC HEARINGS: NONE

NEW BUSINESS: NONE

OLD BUSINESS:

2. Comprehensive Plan Update – Central Business District

Chair Lobermeier noted that at the last meeting it was determined that there was still progress that needed to be made on the maps. He suggested that the Commission proceed in a work session type of manner in order to look at this information.

Zoning Administrator Weck suggested that the discussion begin with the Central Business District.

Chair Lobermeier asked if the Central Business District was the zoning district or the current Comprehensive Plan area. He stated that he would like to know the shape depicted for the Central Business District.

The Commission discussed the Central Business District.

Commissioner Murdock stated that he thinks it should be on the west side of Highway 61 north of Viking Boulevard.

Chair Lobermeier stated that he agreed and should also include the area west of the freeway and include the area near Village Inn. He stated that he thinks the City needs to determine what else, besides commercial, they are looking for and overall, what the vision is for having an area like this. He stated that past conversations were wanting things to be walkable.

The Commission discussed various parcels around the City and what designation would make the most sense and what limitations there may be to calling something Central Business District or Downtown Core.

Zoning Administrator Weck noted that within the normal commercial district there are bars, businesses that provide goods and services, car washes, clinics, convenience stores and fuel sales, daycares, funeral homes, government administration, hotels or motels, nursing or convalescent home, office buildings, personal services, restaurants (drive-in or drive-thru), retail sales, tutoring services, motor vehicle fuel sales, motor vehicle mechanical or body repair, veterinarians, micro-distilleries and breweries. Conditional uses are: antennae, dog kennels, churches, clubs, essential services, motor vehicle sales, planned unit developments, and towers. The Mixed Use district copies the commercial and the Central Business District, but it is all conditional uses and have no permitted uses. He suggested that the Commission not get bogged down into what will be allowed and begin looking at the maps.

The Commission discussed where the various ideas of where Central Business District is located.

Mayor Iverson noted that the EDA considers the Central Business District being Cornerstone back towards the church.

Zoning Administrator Weck explained that the Central Business District is designed and intended as a specialized district directed to serve pedestrian and a compact central area of the City. It will provide for high density shopping, stressing interaction of people rather than being heavily oriented towards the use of automobiles. The Commercial District is designed and intended to promote development of retail and service businesses that require volumes of automobile traffic. This district incurs many uses that reinforce and complement uses permitted in the Central Business District.

The Commission discussed the physical boundaries of what will be considered the

Central Business District and marked up a map with their preferences.

Chair Lobermeier suggested breaking the rest of the discussion into various quadrants and begin with the north.

The Commission looked at maps and discussed the boundaries and available parcels within the 'north quadrant' and the agricultural sections, sewer and water connection possibilities, Carlos Avery, and Polaris: middle quadrant location, boundaries, available parcels: southern quadrant but noted that west of the freeway is either wet or already developed residential with just a few developable portions left. They discussed the controls that sewer and unsewered will have on development density and the Highway 8 corridor.

Chair Lobermeier suggested that the maps be remarked based on tonight's discussion prior to the next meeting.

Zoning Administrator Weck stated that he thinks he can mark the maps himself in order to keep the engineering costs down.

COMMUNICATIONS:

UPDATES:

Zoning Administrator Weck noted that there are a few development items on the agenda for the next meeting, so it will be a busy meeting.

A MOTION WAS MADE BY COMMISSIONER WEST, SECONDED BY COMMISSIONER TEEL, TO ADJOURN THE OCTOBER 12, 2021 "REGULAR MEETING" OF THE WYOMING, MINNESOTA PLANNING COMMISSION AT 8:45 PM.

<i>Voting Aye:</i>	<i>Murdock, West, Teel, Carr, and Lobermeier</i>
<i>Voting Nay:</i>	<i>None</i>
<i>Abstain:</i>	<i>None</i>
<i>Absent:</i>	<i>None</i>

**CITY OF WYOMING
Planning Commission**

TO: Planning Commission
FROM: Tom Ramler-Olson, City Planner
Fred Weck
MEETING DATE: October 26, 2021
RE: Preliminary & Final Plat Review of Aadland Acres 3rd Plat
APPLICANT / Perry Aadland, Peter Aadland, Paul Aadland
OWNER: Perry Aadland, Peter Aadland, Paul Aadland
PROPERTY: PID R21.10482.00
FILE NO.: D-21-011 & D-21-012

Requested Action

Perry, Paul, and Peter Aadland (the “Applicant”) are requesting preliminary plat and final plat approval for a proposed subdivision identified as Aadland Acres 3rd Plat (the “Subdivision”) that would create Lot 1 Block 2 south of Pioneer Road.

The sketch plan was reviewed on July 13, 2021.

Staff Recommendation

Based on analysis of the requests and the standards for approval, staff finds that the requirements of Article III, Division 2, “The Preliminary Plat,” and Division 3, “The Final Plat,” as contained in the City of Wyoming Subdivision Ordinance have been complied with. Accordingly, Staff recommends approval of the preliminary plat. Staff recommends approval of the final plat with the following conditions:

1. That the City Attorney shall state whether fee simple title to the platted property is in the names of the subdividers.

General Staff Review

Article III of the City of Wyoming Subdivision Ordinance sets forth the platting procedure with the first requirement being the sketch plan. The Applicant previously submitted a sketch plan for City review and comment. The City reviewed a sketch plan for this proposal at the April 13, 2021 Planning Commission meeting.

Following sketch plan review, the Applicant has now advanced to the second step to review of the proposed subdivision. Because of the circumstances of the Subdivision, the Applicant is able to seek Preliminary and Final Plat approval concurrently. Those reviews are provided later in this staff report.

Comprehensive Plan

The existing parent parcel is located along Pioneer Road and has a total area of approximately 15.2 acres. This parcel is proposed to be subdivided on either side of Pioneer Road, and the southern lot being created (Block 2) is proposed to be 3.5 acres in size. The present use of the property is agriculture and proposed to be used for a home within the Residential I (R1) Zoning District.

The table below describes the planned land use and zoning of the surrounding parcels:

Direction	Planned Land Use / Zoning District
North	Lower Density Suburban Neighborhood / R2 – Rural Residential II
West	Lower Density Suburban Neighborhood / R1 – Rural Residential I
South	Lower Density Suburban Neighborhood / R1 – Rural Residential I
East	Low Density Residential / R-2 (NOTE: Outside City - Chisago City)

The Subdivision is guided to for the Lower-Density Suburban Neighborhoods comprehensive plan designation, which is described as follows:

“The Lower Density Suburban Neighborhoods Areas category provides locations that can be subdivided and economically served with either public or private shared wastewater treatment systems. Parcels for single-family housing in the Lower Density Suburban Neighborhoods should be in the range of 9,000 to 18,000 square feet. The neighborhoods may also include types of housing that have more than one dwelling per building and have an outdoor entrance for each dwelling, such as townhouses.”

And “Prior to the Lower Density Suburban Neighborhood areas being served with municipal or private community wastewater lines, they should be zoned to allow an average of 1 house per 20 acres (not 20-acre lots) on unsewered sites and farming activities on sites of 20 acres or larger. Higher average unsewered housing densities may be allowed if the applicant receives approval from the City for a plan showing how the property could realistically be resubdivided in the future and developed with smaller lots (less than one-half acre) with public or shared private wastewater service.”

Block 1 is expected to be subdivided further in the future and served by municipal water and sewer.

Zoning

The proposed development currently has a single zoning designation of R1 – Rural Residential I. Per Section 40-180, the purpose of the R1 District is to provide an area for very low-density housing with on-site wastewater systems in locations that are already predominately developed in a pattern similar to that described in this zoning district. As reviewed below, the new lot would comply with the minimum lot area, lot width, and depth requirements as well as the Shoreland Management Overlay dimensional standards:

1. One (1) acre lot area. *The proposed parcel complies.*
2. All lots must have one (1) acre buildable area. *The boring and percolation test reports for the new lot have been submitted and have been reviewed. The borings comply with the*

requirements of the City of Wyoming Subsurface Sewage Treatment System Ordinance and comply with Chapter 7080, Minnesota Pollution Control Agency Water Quality Division Subsurface Sewage Treatment System Program.

3. 200 feet of public road frontage. *The proposed parcel complies.*
4. 200-foot lot depth. *The proposed parcel complies.*
5. 200-foot lot width. *The proposed parcel complies.*
6. <4:1 lot depth to width ratio. *The proposed parcel complies.*

Utilities

Municipal sanitary sewer and watermain are not available to the site at this time.

Roads and Traffic

No review necessary as no improvements are proposed.

Drainage/Natural Resources/Wetlands

No review necessary as no improvements are proposed.

Park Dedication

The area of the proposed subdivision is not an area that the City is looking to acquire land and as such the City will require park and trail dedication funds. The minimum park dedication for the proposed subdivision equals \$1,500.00 plus the minimum trail dedication of \$300.00, whose payment will be a condition of approval of the requests.

Preliminary Plat Review

In considering the Preliminary Plat, the Planning Commission shall consider the following factors:

- a. Consistency with the design standards and other requirement of this ordinance.
- b. Consistency with the City's Comprehensive Plan, Stormwater Management Plan, and any other development plans officially adopted by the City.
- c. The physical characteristics of the site, including but not limited to topography, erosion, flooding potential, development, and major vegetation.
- d. The proposed development's fiscal impact and environmental impact.
- e. Whether the proposed subdivision is in conflict with applicable general and specific plans (e.g. growth management system goals and policies, capital improvement programs, ordinances).
- f. Whether the design or improvement of the proposed subdivision is in conflict with applicable development plans.
- g. That the site is physically suitable for the proposed density of the development.
- h. Whether the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage.

- i. Whether the design of the subdivision or the type of improvements are likely to cause serious public health problems.
- j. Whether the design of the subdivision or the type of improvements will conflict with easements of record or of easements established by judgment of a court.

The new lot created satisfies Preliminary Plat requirements when analyzed against factors listed above. The Subdivision will simply split the Subject Property along Pioneer Road. This split does not entail any new improvements, nor does it conflict with any other plans in the area.

Final Plat Review

The following is an itemization of regulations from the Subdivision Ordinance, Article III, Division 3, "The Final Plat", which are to be completed prior to plat approval:

1. Taxes are to be paid in full for 2021. *This has been done.*
2. The City Engineer is to review the final plat for conformity with engineering standards. *No improvements are proposed as part of this application, so the City Engineer review is not applicable.*
3. The City Attorney shall state whether fee simple title to the platted property is in the names of the subdividers. *As of the writing of this report the City Attorney has not commented.*
4. The Zoning Administrator shall confirm that the final plat substantially conforms to the preliminary plat as modified and approved by the City Council. *The proposed parcel complies.*
5. The predetermined park fee has been paid. *This will be completed.*
6. All known legal, engineering, and any other costs associated with the plat shall be paid prior to final plat approval. *This will be completed.*
7. If improvements are not complete, a Developer's Agreement must be signed. *No improvements are proposed so this is not applicable.*



City Of Wyoming
26885 Forest Blvd., PO Box 188
Wyoming, MN 55092
Phone (651) 462-4947 Fax (651) 462-3938

PRELIMINARY PLAT
SUBDIVISION APPLICATION

A Preliminary Plat Application is filed after the Planning Commission has reviewed the Sketch Plan Application for the proposed subdivision. The application is reviewed by the Plat Review Committee and then forwarded on to the Planning Commission for a public hearing. After the public hearing the application is considered by the City Council.

Applicant(s): Name(s) Perry Aadland, Peter Aadland, Paul Aadland

Address 12982 Mulligan Court

City Lindstrom

State MN

Zip 55045

Work and home phone numbers 612-812-3643 Email perryaadland@gmail.com

Owner(s): (if other than Applicant(s))

Name(s) _____

Address _____

City _____

State _____

Zip _____

Work and home phone numbers _____

Email _____

Signature of owner(s) _____

Aadland Acres 3rd Plat Date 9/30/21
NE 1/4 OF NE 1/4 EXCEPT THAT PT LYING S OF A LINE BEG AT

Legal description of property:

A PT 450 FT N OF THE SE COR OF SAID NE 1/4 OF NE 1/4; TH S 87 D :

Property Identification Number R.21. 10482.00

Present use of property: vacant

Proposed use of property: building site

Present zoning of property: R1

Total acreage of property: 3.5 acres

Total acreage in wetlands or floodplain: 1+/-

Number of proposed lots: 1

Acreage of proposed parkland dedication: _____

☒ 11 full size copies of the proposed preliminary plat.

☒ 2 reduced copies (no larger than 11 X 17).

☐ A copy of proposed protective covenants, if applicable.

☒ Grading, drainage and erosion control plans.

☒ Septic site evaluation reports.

☒ Wetlands delineation report.

☒ Applications for any necessary variances, conditional use permits, or rezoning.

☒ Copies of permit application submittals to all agencies with jurisdiction over wetlands or water bodies and channels on the development site.

☒ List of any special assessments. Paul

☒ Environmental Assessment Worksheet, if necessary.

Signature of Applicant(s) _____

Date _____

As the applicant for this request, I agree to reimburse the City for all expenses incurred by the City in employing planning, engineering, legal, and other professional consultants in reviewing this application. This may include the replenishment of any escrow funds as required as part of this application. Such costs shall be paid by me, the applicant, regardless of the outcome of the review and prior to commencing any work on the project.

A public hearing can be scheduled only after a complete application has been received.

Application # D-21-012

OFFICE USE ONLY

Date Application Received 9/30/21

Date Complete Application Received 9/30/21

120 Days 1/28/2022

By: [Signature]

Official

\$450.00 + \$70.00/Lot + Consultant Escrow = Total

Date Paid 9/30/21

Check # 1072

Consultant Escrow \$1,000.00 without improvements; \$10,000.00 with improvements + \$500.00 per lot for 30 or more lots.



City Of Wyoming
26885 Forest Blvd., PO Box 188
Wyoming, MN 55092
Phone (651) 462-4947 Fax (651) 462-3938

FINAL PLAT
SUBDIVISION APPLICATION

Applicant(s): Name(s) Perry Aadland. Peter Aadland, Paul Aadland
Address 12982 Mulligan Court
City Lindstrom State MN Zip 55045
Work and home phone numbers 612-812-3643 Email PerryAadland@gmail.com

Owner(s): (if other than Applicant(s))
Name(s) _____
Address _____
City _____ State _____ Zip _____
Work and home phone numbers _____ Email _____
Signature of owner(s) _____ Date _____

Legal description of property: to be Aadland Acres 3rd Plat
Property Identification Number R.21

Present use of property: vacant land

Proposed use of property: building site

Present zoning of property: R1

Surveyor: Name EG Rud, Dan Obermiller Phone 651-361-8200

Engineer: Name _____ Phone _____

Real Estate Agent: Name _____ Phone _____

This application and the following attachments must be submitted to be considered a complete application:

Total size of property: 3.5 Total acreage in wetlands or floodplain: less than 1 acre
Number of proposed lots: 1 Current zoning and use of property: R1

- | | |
|---|---|
| ☒ 11 full size copies of the final plat drawings | ☒ 2 reduced copies (no larger than 11 x 17) |
| ☒ Improvements complete & accepted | ☒ Developers Agreement |
| ☒ Performance guarantee for the improvements | ☒ Certificate of Title & Opinion |
| ☒ Soil perc tests and borings | ☒ Receipt proving that the taxes have been paid |
| ☒ Park Dedication Submitted | ☒ Legal & Engineering Fees Paid |
| ☐ Other _____ | |
| ☒ The application fee and escrow must be paid at the time of application. | |

Signature of Applicant(s) Perry W Aadland Date 9/14/21
As the applicant for this request, I agree to reimburse the City for all expenses incurred by the City in employing planning, engineering, legal, and other professional consultants in reviewing this application. This may include the replenishment of any escrow funds as required as part of this application. Such costs shall be paid by me, the applicant, regardless of the outcome of the review and prior to commencing any work on the project.

The meeting can be scheduled only after a complete application is received

Application # D-21-011 OFFICE USE ONLY Date Application Received 9/14/21
Date Complete Application Received 9/30/21 120 Days 1/28/2022 By: [Signature]
Fee \$200.00 + Escrow \$1,000.00 Date Paid 9/14/21 Check # 1070

~of~ **AADLAND ACRES 3RD PLAT**
Wyoming, MN

The Northeast Quarter of the Northeast Quarter (NE 1/4 of NE 1/4), Section Twenty-seven (27), Township Thirty-three (33), Range Twenty-one (21), except that part thereof which is platted. Also excepting therefrom the following three parcels:

- 1) That part of the Northeast Quarter of the Northeast Quarter, Section 27, Township 33 North, Range 21 West, Chisago County, Minnesota, described as follows:

Commencing at the Southeast Corner of Lot 6, Block 2, of the recorded plat of AADLAND ACRES; thence South 75 degrees 00 minutes East; plat bearing along the Easterly extension of the Southerly line of said Lot 6, a distance of 60.00 feet; thence North 6 degrees 43 minutes 47 seconds East, 199.61 feet to the Northeast corner of said Lot 6; thence South 24 degrees 00 minutes West, along the easterly line of said Lot 6, a distance of 200.00 feet to the point of beginning.

AND

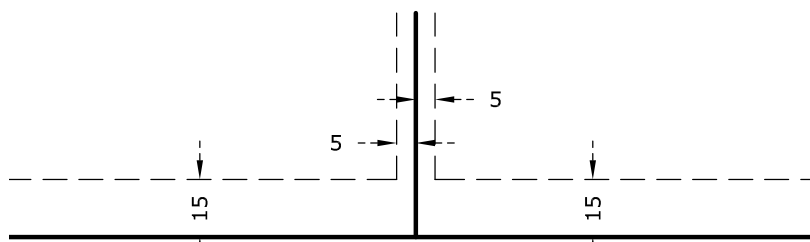
- 2) That part of the Northeast Quarter of the Northeast Quarter (NE 1/4 of NE 1/4) Section Twenty-seven (27), Township Thirty-three (33) North, Range Twenty-one (21) West, Chisago County, Minnesota, described as follows:

Beginning at the Southeast corner of said NE 1/4 of NE 1/4; thence North 0 degrees 07 minutes 50 seconds East, assumed bearing along the East line of said NE 1/4 of NE 1/4, a distance of 225.00 feet, thence South 88 degrees 50 minutes 22 seconds West, 679.90 feet to the Northeast corner of Lot 4, Block 2, of the recorded plat of AADLAND ACRES 2ND PLAT; thence South 0 degrees 48 minutes 9 seconds West, along the Easterly line of said Lot 4, a distance of 201.12 feet to the South line of said NE 1/4 of NE 1/4, thence South 89 degrees 8 minutes 57 seconds East, along said South line, 682.14 feet to the point of beginning.

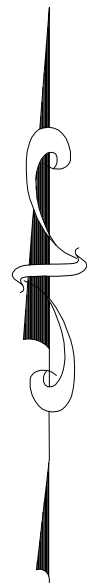
AND

- 3) That part of the Northeast Quarter of the North Range (NE 1/4 of NE 1/4), Section Twenty-seven (27), Township Thirty-three (33) North, Range Twenty-one (21) West, Chicago County, Minnesota, described as follows: Commencing at the southeast corner of said NE 1/4 of NE 1/4; thence North 0 degrees 07 minutes 50 seconds East, assumed bearing along the East line of said NE 1/4 of NE 1/4, a distance of 225.00 feet to the point of beginning; thence continuing North 0 degrees 07 minutes 50 seconds East, along said east line, 225.00 feet; thence South 87 degrees 33 minutes 57 seconds West, 677.94 feet to the northeast corner of Lot 3, Block 2, of the recorded plat of AADLAND ACRES 2ND PLAT; thence South 0 degrees 48 minutes 09 seconds West, along the easterly line of said Lot 3, a distance of 210.00 feet to the southeast corner of said Lot 3; thence North 88 degrees 50 minutes 22 seconds East, 679.90 feet to the point of beginning.

DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:
(NOT TO SCALE)



BEING 5 FEET IN WIDTH ADJOINING LOT LINES AND 15 FEET IN WIDTH
ADJOINING RIGHT OF WAY LINES UNLESS OTHERWISE SHOWN.



NORTH

GRAPHIC SCALE



(SCALE IN FEET)

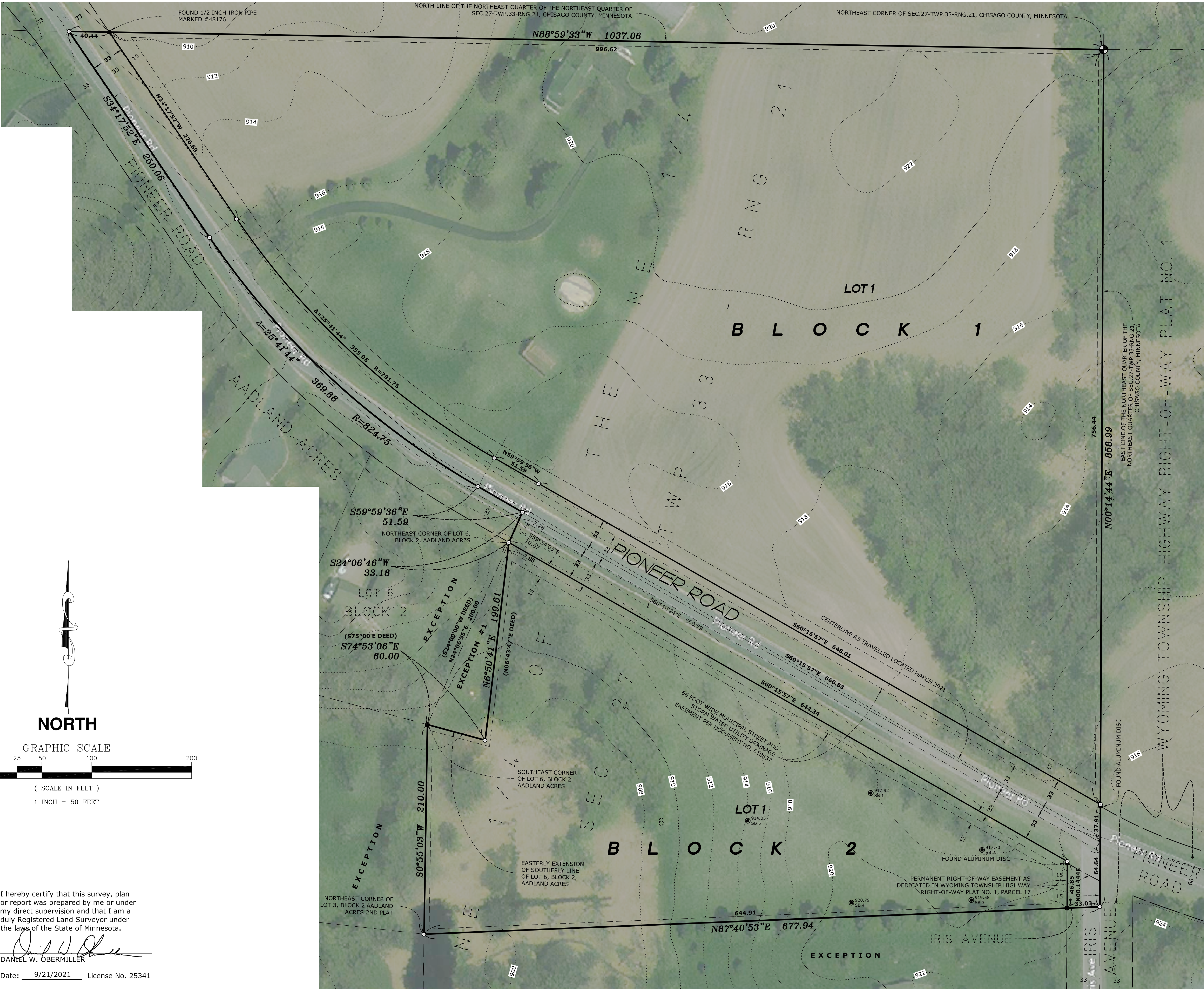
1 INCH = 50 FEET

- DENOTES FOUND 1/2 INCH IRON MONUMENT MARKED #6617 UNLESS OTHERWISE NOTED
- DENOTES SET 1/2 INCH BY 14 INCH IRON PIPE MARKED BY RLS NO. 25341, THAT WILL BE SET WITHIN ONE YEAR AFTER RECORDING OR SOONER AS SPECIFIED BY THE APPROVING LOCAL GOVERNMENT UNIT
- ⊙ DENOTES FOUND CHISAGO COUNTY ALUMINUM MONUMENT

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.


DANIEL W. OBERMILLER

Date: 9/21/2021 License No. 25341



KNOW ALL PERSONS BY THESE PRESENTS: That Perry W. Aadland and Mary Aadland, husband and wife; Paul F. Aadland, a single person; and Peter S. Aadland and Elaine A. Aadland, husband and wife; as tenants in common, fee owners of the following described property:

The Northeast Quarter of the Northeast Quarter (NE 1/4 of NE 1/4), Section Twenty-seven (27), Township Thirty-three (33), Range Twenty-one (21), except that part thereof which is platted. Also excepting therefrom the following three parcels:

- 1) That part of the Northeast Quarter of the Northeast Quarter, Section 27, Township 33 North, Range 21 West, Chisago County, Minnesota, described as follows:

Commencing at the Southeast Corner of Lot 6, Block 2, of the recorded plat of AADLAND ACRES; thence South 75 degrees 00 minutes East; plat bearing along the Easterly extension of the Southerly line of said Lot 6, a distance of 60.00 feet; thence North 6 degrees 43 minutes 47 seconds East, 199.61 feet to the Northeast corner of said Lot 6; thence South 24 degrees 00 minutes West, along the easterly line of said Lot 6, a distance of 200.00 feet to the point of beginning.
- AND
- 2) That part of the Northeast Quarter of the Northeast Quarter (NE 1/4 of NE 1/4) Section Twenty-seven (27), Township Thirty-three (33) North, Range Twenty-one (21) West, Chisago County, Minnesota, described as follows:

Beginning at the Southeast corner of said NE 1/4 of NE 1/4; thence North 0 degrees 07 minutes 50 seconds East, assumed bearing along the East line of said NE 1/4 of NE 1/4, a distance of 225.00 feet, thence South 88 degrees 50 minutes 22 seconds West, 679.90 feet to the Northeast corner of Lot 4, Block 2, of the recorded plat of AADLAND ACRES 2ND PLAT; thence South 0 degrees 48 minutes 9 seconds West, along the Easterly line of said Lot 4, a distance of 201.12 feet to the South line of said NE 1/4 of NE 1/4, thence South 89 degrees 8 minutes 57 seconds East, along said South line, 682.14 feet to the point of beginning.
- AND
- 3) That part of the Northeast Quarter of the Northeast Quarter (NE 1/4 of NE 1/4), Section Twenty-seven (27), Township Thirty-three (33) North, Range Twenty-one (21) West, Chisago County, Minnesota, described as follows: Commencing at the southeast corner of said NE 1/4 of NE 1/4; thence North 0 degrees 07 minutes 50 seconds East, assumed bearing along the East line of said NE 1/4 of NE 1/4, a distance of 225.00 feet to the point of beginning; thence continuing North 0 degrees 07 minutes 50 seconds East, along said east line, 225.00 feet; thence South 87 degrees 33 minutes 57 seconds West, 677.94 feet to the northeast corner of Lot 3, Block 2, of the recorded plat of AADLAND ACRES 2ND PLAT; thence South 0 degrees 48 minutes 09 seconds West, along the easterly line of said Lot 3, a distance of 210.00 feet to the southeast corner of said Lot 3; thence North 88 degrees 50 minutes 22 seconds East, 679.90 feet to the point of beginning.

Have caused the same to be surveyed and platted as AADLAND ACRES 3RD PLAT and do hereby donate and dedicate to the public for public use forever the public way and also easements as shown on this plat for drainage and utility purposes.

In witness whereof said Perry W. Aadland and Mary Aadland, husband and wife, have hereunto set their hands this _____ day of _____, 20_____.

Perry W. Aadland Mary Aadland

STATE OF MINNESOTA
COUNTY OF _____

This foregoing instrument by Perry W. Aadland and Mary Aadland, husband and wife, was acknowledged before me this _____ day of _____, 20_____.

Notary Public, _____ County, Minnesota
My Commission Expires _____

In witness whereof said Paul F. Aadland, a single person, has hereunto set his hand this _____ day of _____, 20_____.

Paul F. Aadland

STATE OF MINNESOTA
COUNTY OF _____

This foregoing instrument by Paul F. Aadland, was acknowledged before me this _____ day of _____, 20_____.

Notary Public, _____ County, Minnesota
My Commission Expires _____

In witness whereof said Peter S. Aadland and Elaine A. Aadland, husband and wife, have hereunto set their hands this _____ day of _____, 20_____.

Peter S. Aadland Elaine A. Aadland

STATE OF MINNESOTA
COUNTY OF _____

This foregoing instrument by Peter S. Aadland and Elaine A. Aadland, husband and wife, was acknowledged before me this _____ day of _____, 20_____.

Notary Public, _____ County, Minnesota
My Commission Expires _____

I Daniel W. Obermiller do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

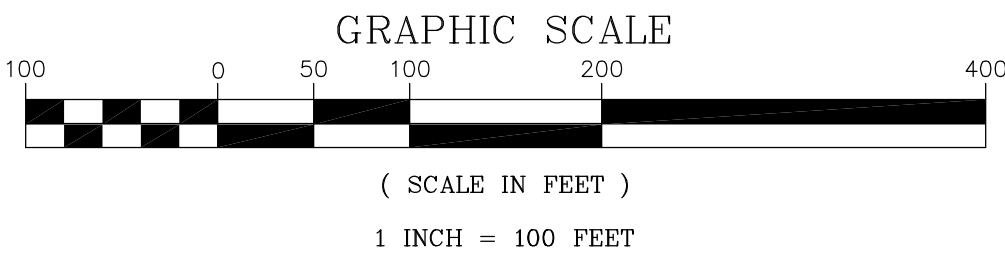
Dated this _____ day of _____, 20_____.

Daniel W. Obermiller, Licensed Land Surveyor
Minnesota License No. 25341

STATE OF MINNESOTA
COUNTY OF _____

This instrument was acknowledged before me this _____ day of _____, 20_____ by Daniel W. Obermiller.

Notary Public, _____ County, Minnesota
My Commission Expires _____



AADLAND ACRES 3RD PLAT

Approved by the City Council of the City of Wyoming, Minnesota, this _____ day of _____, 20_____, and is in compliance with the provisions of Chapter 505.03, Subdivision 2, Minnesota Statutes.

Signed _____ Mayor Signed _____ Clerk

This plat was approved as to form and execution this _____ day of _____, 20_____.

City of Wyoming Attorney

Pursuant to Chisago County Subdivision Ordinance Number 99-2, I hereby certify that this plat has been checked and approved as to compliance with Chapter 505, Minnesota Statutes this _____ day of _____, 20_____.

Chisago County Surveyor

No delinquent taxes and transfer entered this _____ day of _____, 20_____.

Chisago County Auditor

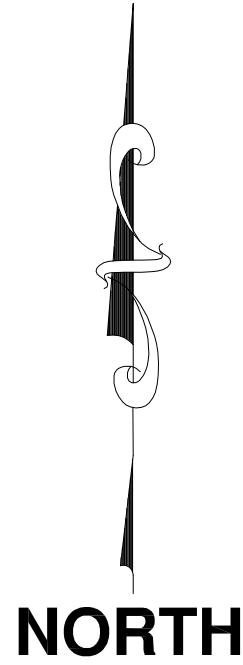
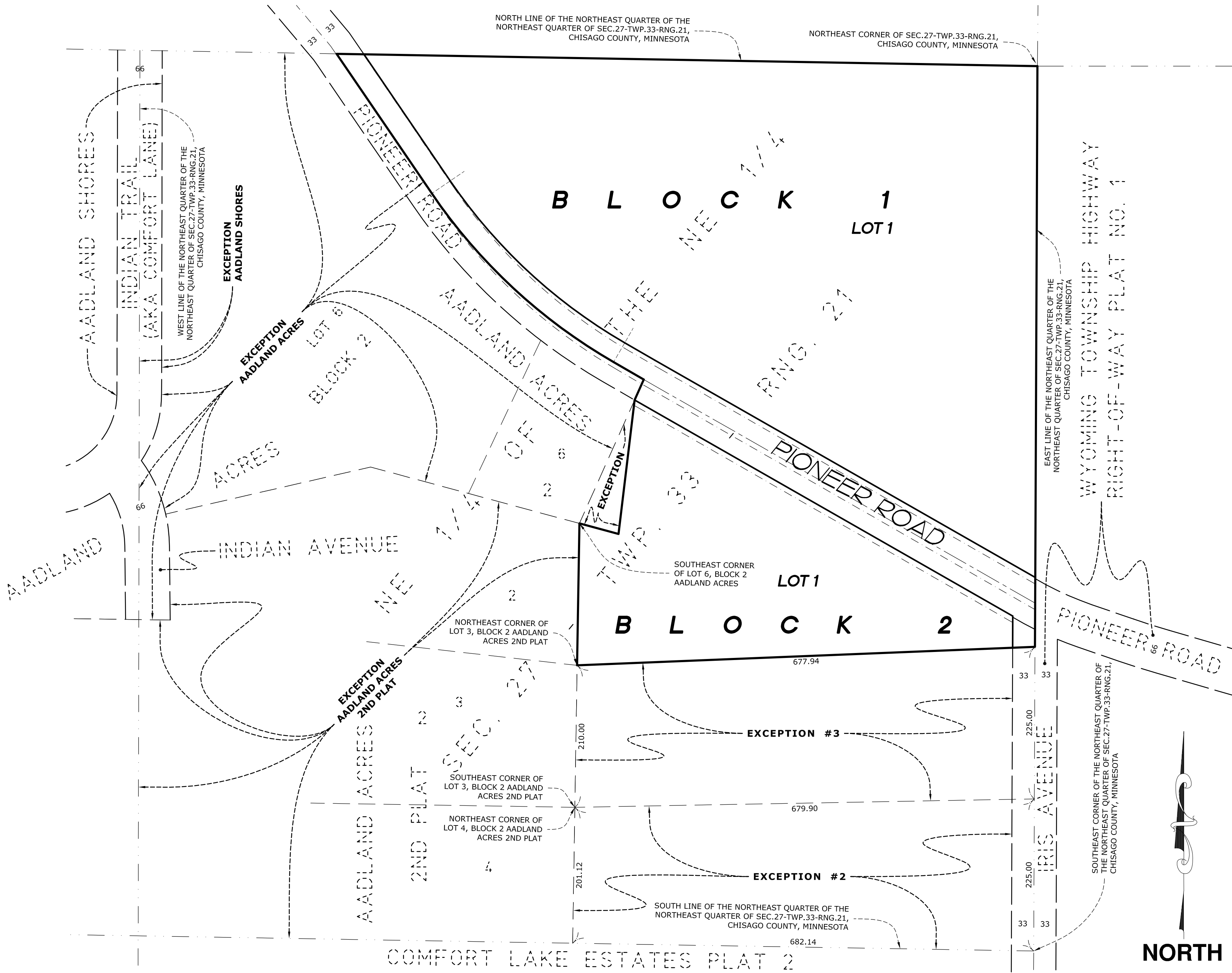
I hereby certify that the taxes for the year _____ on the property described herein are paid this _____ day of _____, 20_____.

Chisago County Treasurer

Document No. _____

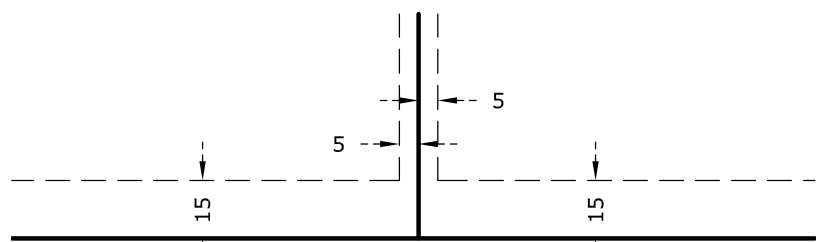
I hereby certify that this instrument was filed in the office of the County Recorder for record on this _____ day of _____, 20_____, at ____ o'clock ____ M., and was duly recorded in Chisago County Records.

Chisago County Recorder



EASEMENT DETAIL

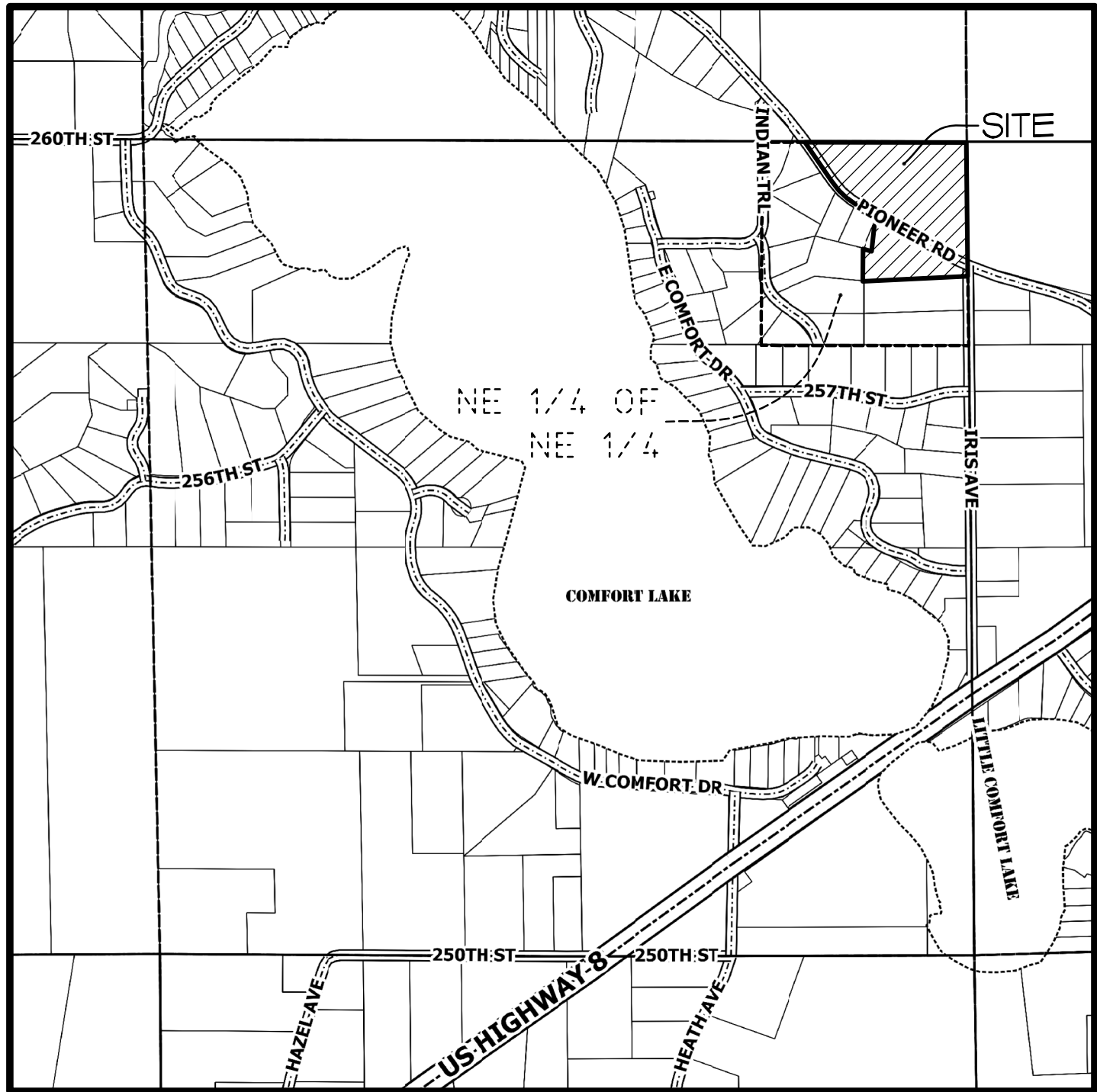
DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THUS:
(NOT TO SCALE)



BEING 5 FEET IN WIDTH ADJOINING LOT LINES AND 15 FEET IN WIDTH
ADJOINING RIGHT OF WAY LINES UNLESS OTHERWISE SHOWN.

VICINITY MAP

SEC. 27, TWP. 33, RNG. 21

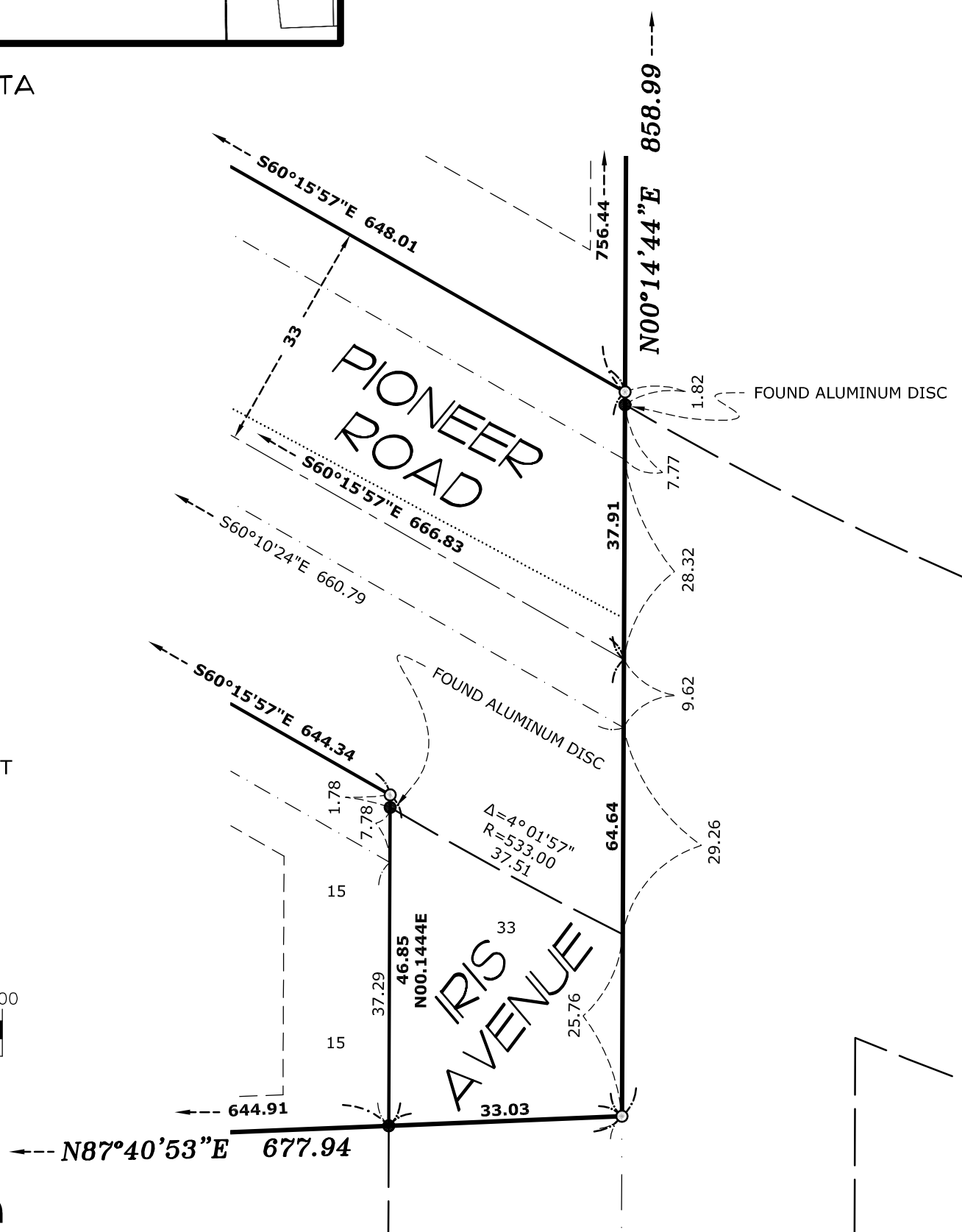


CHISAGO COUNTY, MINNESOTA
(NO SCALE)

NORTH

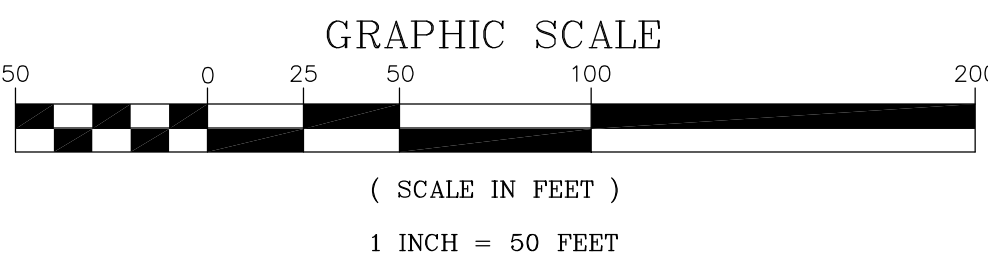
DETAIL A

(SCALE: 1 INCH = 20 FEET)

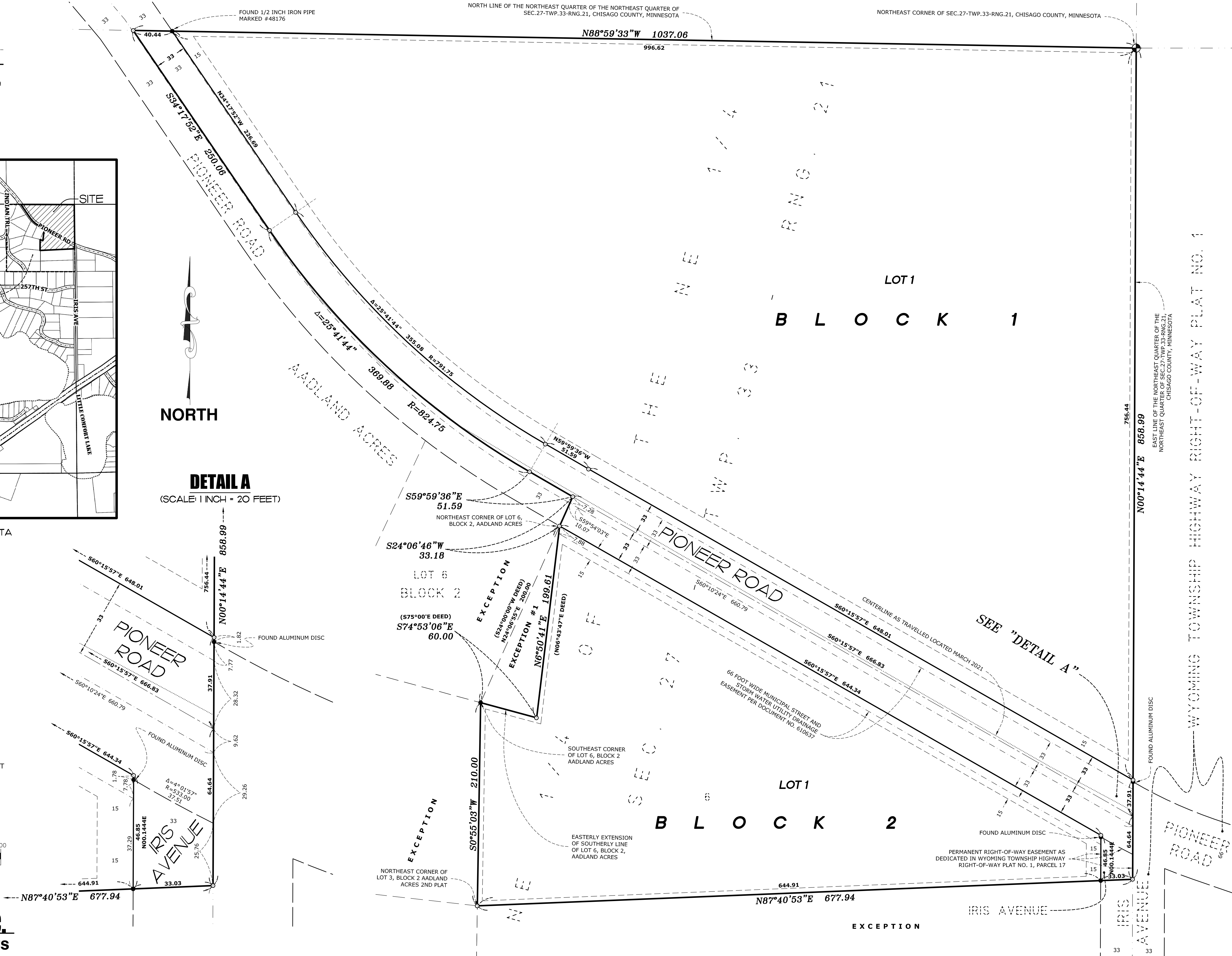


THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE
CHISAGO COUNTY COORDINATE SYSTEM NAD83_1996 ADJUSTMENT

- DENOTES FOUND 1/2 INCH IRON MONUMENT MARKED #6617 UNLESS OTHERWISE NOTED
- DENOTES SET 1/2 INCH BY 14 INCH IRON PIPE MARKED BY RLS NO. 25341, THAT WILL BE SET WITHIN ONE YEAR AFTER RECORDING OR SOONER AS SPECIFIED BY THE APPROVING LOCAL GOVERNMENT UNIT
- ⊕ DENOTES FOUND CHISAGO COUNTY ALUMINUM MONUMENT



AADLAND ACRES 3RD PLAT



**CITY OF WYOMING
Planning Commission**

TO: Planning Commission
FROM: Tom Ramler-Olson, City Planner
Fred Weck
MEETING DATE: November 9, 2021
RE: Site Plan review of Hallberg Multi-Tenant Site Plan
APPLICANT: Advanced Engineering Concepts (Matt Appel)
PROSPECTIVE OWNER: Hallberg Inc. (Austin Hallberg)
CURRENT OWNER(S): Chisago County EDA and City of Wyoming EDA
PROPERTY: PID 21.00006.00
FILE NO.: SP-21-004

Requested Action

Advanced Engineering Concepts (“applicant”), on behalf of Hallberg Inc. (“prospective property owner”), is requesting a site plan review to construct the first of two multi-tenant industrial buildings at the property on the corner of 273rd Street and Forest Boulevard, commonly known as the Bingham Property (“subject property”). Plans provided by the applicant show that the project will proceed in two separate development phases: the first phase will entail a 20,000 square foot multi-tenant building on the eastern side of the subject property and the second phase will entail a lot split and a plan to build a second industrial building on the west side of the subject property. A second site plan review and platting approval will be necessary for the development in the second phase. This request is for the first phase.

Staff Recommendation

Staff recommends approval of the proposed site plan with the following conditions:

1. Texture-Clad panels are stainless steel wall panels designed with a stucco finish. Masonry stucco is considered a Class II material, which is limited to 35% of the exterior under the Code. The applicant shall revise the building design so that it incorporates more exterior material(s) from Class I that are compatible with the rules in Section 40 – 450 with percentages labeled indicating each class material. A building permit shall not be issued until such plans meet the rules in Section 40 – 450.
2. A cross-access agreement will be required to provide access to the phase 2 property.
3. All engineering comments (both detailed redline comments on the plans as well as comments in the staff report) will be required to be addressed prior to approval of plans.

Background

The subject property is currently an undeveloped parcel consisting of open area. Much of the site is encumbered with wetlands that exist on the west side of the property. The closest improvements will be approximately 40-feet on the north and 48-feet on the south of the wetlands. No floodplains or other drainage ways exist on the site. The stormwater facilities proposed by the applicant are intended to intercept and treat runoff from pavement and rooftop areas prior to discharge to the wetlands.

Construction of the first building is expected to be completed by early Summer 2022. The proposed use of the subject property in the first phase is a multi-tenant building with finished offices and warehouse space. The second proposed building will be a 45,000 sq ft warehouse that will be leased to a single industrial tenant. Construction of the second building is estimated to be completed in two to three years.

Site Plan Review

The site is bound by Forest Boulevard (County Rd 30) to the east and I-35 to the west. The property to the south is an undeveloped parcel owned by the City of Wyoming. The parcel to the north is a commercial property. The properties to the east across Forest Boulevard are single-family residences.

Direction	Planned Land Use / Current Zoning
North	Light Industrial and General Business / I – Industrial
West	Mixed Use / R3 – Single Family Residential (west of I-35)
South	Light Industrial and General Business / I – Industrial
East	Lower-Density Suburban Neighborhoods / R3 – Single Family Residential

Given the subject property is bound by I-35 to the west, Forest Blvd to the east, and 273rd street to the south, it's highly visible. Much of the area immediately around the subject property is vacant.

General Comprehensive Plan and Zoning Ordinance

The subject property is guided Light Industry and General Business in the Comprehensive Plan, which is described as follows:

“Plan and zone for the development of a range of businesses including light manufacturing, offices, sales, and research and development. Selectively allow retail or service business by conditional use permit, particularly in the Light Industry area south of Downtown. Locations for industries designated by this plan include portions of the Highway 61 corridor and the site of the former landfill operation along Railroad Avenue. Apply zoning regulations to control site planning, landscaping, lighting, parking, truck handling, outdoor storage, signs and access. All parcel access must be via City streets. Encourage private redevelopment of properties that have aging buildings and outdoor storage.

The Industrial and Business Area will allow a variety of light manufacturing, office-showroom, and office buildings. Outdoor storage of good and materials should only be

allowed under a “conditional use permit” that specifies visual screening with buildings, walls, fences, berms and/or landscaping.”

The subject property is zoned for the Industrial (I) District in the Wyoming Zoning Code. The purpose of the Industrial District is as follows:

“The Industrial district is established to provide standards of development for certain industrial or manufacturing uses that prefer to be located in choice or strategic sites and to prevent serious problems of compatibility with other non-industrial types of land uses.”

The applicant is proposing a multi-tenant building that will house office and warehouse uses, which are permitted uses in the Industrial District. Staff finds that the proposed use of the property meets the intent of the Zoning Code and the Comprehensive Plan.

Dimensional and Setback Requirements

The subject property meets the minimum dimensional and setback requirements for the Industrial District. The following table compares the standards in the Industrial District (Section 40-286) for a property with public sewer and water service with what is proposed:

	Lot Width	Lot Size	Front Yard Setback	Side Yard Setback	Rear Yard Setback
Industrial District Standards	200 feet (215 on corner lots)	20,000 square feet	25 feet from CL of local streets	15 feet for the principal building (30 feet for principal buildings adjacent to a residential district)	15 feet (principal building)
Proposal	>200 feet	>1 acre buildable	30 feet	30 feet	22 feet

District Standards

The proposed building would meet the maximum building height allowed in the I District. Plans show the height of the building from grade to the highest point of the roof is beneath the maximum building height permitted, which is 45 feet.

The total area of all buildings shall not exceed more than twenty percent (30%) of the total buildable lot area. The total area of all impervious surfaces on a lot shall not exceed fifty percent (75%) of the gross lot area for nonresidential uses. The total area of both buildings when the project is complete would not exceed ten percent (10%) of the lot area and the overall imperviousness of the site is 23.6%, which meets the requirements for permeable area in this district.

In addition to other restrictions, pole buildings, metal-sided buildings, agricultural buildings, or similar structures in the I District are not permitted as principal or accessory uses.

Access

The applicant proposes two separate driveways from the south of the property off 273rd Street that provides access onto the site. One drive aisle further to the east would also serve as access for the building to be developed in the second phase. The second driveway would be located to the south and west and provides access to semi-trucks for deliveries and pick-ups. Section 40-681 requires that driveway access be a minimum of “sixteen (16) feet in width and shall not exceed twenty-four (24) feet in width”. Plans show the driveway access with a width of 24 feet. It is staff’s assessment that this proposed driveway will meet the requirements of the code. The applicant will need to provide a cross-access agreement to allow future access to the phase two site.

Screening

Section 40 – 723 outlines the requirements for trash storage screening. Trash containers provided shall be screened by an enclosure constructed on three (3) sides with break-off block, face brick, or masonry. The applicant submitted plans depicting a trash enclosure made from brick and concrete with a pair of metal doors. A separate fence permit for any screening around the enclosure will be required in addition to the site plan approval at the time of construction.

Lighting

The applicant submitted plans depicting the illumination generated by proposed lighting fixtures on site. No light source which casts light on a public street shall exceed one foot candle as measured from the right-of-way line of said street nor shall any light source which casts light on adjacent residential property exceed four-tenths (0.4) foot candles as measured at the property line.

The proposed building design has lighting fixtures attached to the front of each building. Per Section 40-565, any lighting used to illuminate a structure, an off-street parking area, or other area in the Industrial District shall be arranged to deflect light away from any adjoining residential property or from any public right-of-way.

Signs

According to the applicant’s narrative, business signs will be located above the entrance to each unit on the first building and a pylon sign will be added near 273rd Street. Section 40-750 outlines the maximum height and area for wall signs and monument signs in the Industrial District. The total area of a wall-mounted sign shall not exceed twenty five percent (25%) of the total area of the wall to which it is attached or two hundred (200) square feet, whichever is less. The applicant is proposing two wall signs with a combined 160 square feet of sign area. Section 40-750 notes that freestanding signs are not permitted within the right-of-way. The total area of a freestanding sign shall not exceed 160 square feet, and the maximum height of any freestanding sign shall be 20 feet. The applicant’s sign plan indicates that the proposed freestanding sign will meet the requirements of Section 40-750.

Utilities

The City requires an extension of municipal utilities for any building used for human habitation. According to the applicant’s narrative, a public water main and public sanitary sewer line are proposed to be extended into the site from 273rd Street. The applicant will need to extend sewer and watermain from

the existing stubs provided to the site. Closure of the road will not be allowed as there is only one way in and one way out for businesses located on 273rd Street.

A sanitary sewer and watermain extension will be required to the north property line when phase 2 moves forward. A hydrant at the north end of phase two will be required for flushing and fire protection.

Drainage

The site is outside of the Comfort Lake – Forest Lake Watershed District (CLFLWD) and permitting will not be required through the CLFLWD. Based on the proposed disturbed area, a NPDES permit is required and compliance with all NPDES permit standards is required. The applicant is proposing to use a combination of filter strips, swales, and dry basins to meet stormwater management requirements. The site is outside of the floodplain, so no floodplain requirements are triggered. There are multiple wetlands onsite and to which the site will drain may require wetland permitting be completed. Staff notes that two rows of silt fence should be placed upstream of the wetlands due the proximity of the disturbance to the wetland. Perimeter control and other erosion control measures should be placed around the dry basins, filter strips, and swales during construction as these are being used to provide water quality.

Architecture and Design

The first building will be a steel structure with Texture-Clad panels on all four sides with 4 foot of stone masonry along the bottom of the North, East and South sides of the building. Each 10,000-sf bay will have two sets of large windows as well as glass doors for the entrance. All the glass on the front of the building will have awnings hanging above them, which the applicant states will improve their appeal.

Commercial structures must provide a cohesive architectural appearance reflecting its functional purpose and must be composed of at least sixty-five percent (65%) Class I materials; not more than thirty-five percent (35%) percent Class II or Class III materials as per Section 40 - 450. Texture-Clad panels are stainless steel wall panels designed with a stucco finish. Masonry stucco is considered a Class II material, which is limited to 35% of the exterior under the Code.

Texture-Clad panels are not listed in the Zoning Code under any of the three classes of architectural materials. The metal cladding material underneath is a structural material, and is not visible from exterior, which is stucco. Given the exterior of the panels is stucco, it would most resemble the Class II materials, which includes masonry stucco as one of the acceptable materials. Staff's assessment of this material is that while the Texture-Clad panels do not conflict with the prohibition of metal-sided buildings in the Industrial District per Section 40-287, the applicant would be subject to the 35% maximum coverage allowed for Class II materials. Staff is recommending that the applicant shall revise the building design that incorporates more exterior material(s) from Class I that are compatible with the rules in Section 40 - 450.

Landscape and Tree Preservation

The landscaping for the project includes the removal of over story and under story trees, but the applicant notes that they were careful to remove as few significant trees as possible. Specifically, the trees on the East edge of the property along Forest Boulevard are marked for preservation. There will also be shrubs along the North and South sides of the building, as well as shrubs screening the parking area on the West side of the building along 273rd Street.

The applicant provided a landscape plan showing tree preservation on the site. It shows that 28 trees are planned for removal on the property. The plan preserves 4 hardwood overstory trees. To comply with tree replacement standards described in Section 40-555 (2) (a) 2.i, the applicant is proposing five (5) replacement overstory trees and 18 replacement understory trees, primarily located along the perimeter of the wetlands area.

Parking

Manufacturing uses require 1 space for each employee on the major shift or one space for each 400 sq. ft. whichever is greater. Warehousing uses require one space for each employee on the major shift plus 1 space for each company vehicle. One space for each structure over 10,000 sq. ft. of gross floor area is required for loading and unloading.

In the applicant's narrative, the prospective user will employ about 10 workers at this location. They plan on using the location as a warehouse space and distribution center. The applicant predicts the company will utilize 15-20 vehicles, some of which will be left at the facility overnight and only used for making deliveries during the day.

The plans submitted show that 36 parking spaces have been provided on-site. The plans provided show that the loading bay on the west side of the property could accommodate two semi-trucks at once. The applicant anticipates that the company would typically receive one semi-truck per day. Given the number of spaces provided, staff's assessment is that adequate parking will be provided with this plan.

Site Plan Review and Staff Comments

Standards to be considered for evaluating a site plan are listed in Section 40-86. Those standards are shown below with staff comments in *italics*.

- (1) Consistency with the various elements and objectives of the City's long-range plans, including, but not limited to, the Comprehensive Plan.

The proposed use of the site and building design are consistent with the Light Industry and General Business land use category described in the City's most recently approved Comprehensive Plan. This standard has been met.

- (2) Consistency with the purposes of this Code

The proposed use of the site is consistent with the uses permitted within the Industrial District. The subject property is located meets the minimum lot width and size requirements for this district. The proposed building design meets the setbacks and height requirements for this district. The applicant shall meet the architectural standards and driveway requirements prior to the issuance of permits. This standard has been met.

- (3) Preservation of the site in its natural state, insofar as practicable, by minimizing tree and soil removal, and designing any grade changes so as to be in keeping with the general appearance of neighboring developed or developing areas

The applicant meets the setback requirements for the wetlands located on the south and west sides of the property. A landscaping plan has been provided depicting where the new plantings will be

located as replacement for the trees removed as a part of this proposal. Tree replacement requirements have been met. This standard has been met.

- (4) Creation of a harmonious relationship of buildings and open spaces with the terrain and with existing and future buildings having a visual relationship to the proposed development

The proposed construction of the first building and driveway will not disrupt the existing harmony of other buildings within the area. The remainder of the lot is developable for the second phase of the project. This standard has been met.

- (5) Creation of a functional and harmonious design for structures and site features including:

- a. Creation of an internal sense of order for the various functions and buildings on the site and provision of a desirable environment for occupants, visitors and the general community
- b. Appropriateness of the amount and arrangement of open space and landscaping to the design and function of the development
- c. Appropriateness of the materials, textures, colors and details of construction as an expression the design concept of the project and the compatibility of the same with the adjacent and neighboring structures and functions
- d. Adequacy of vehicular, cycling and pedestrian circulation, including walkways, interior drives and parking, in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian, cycling and vehicular traffic and arrangement and amount of parking so as to be safe, convenient and, insofar as practicable, compatible with the design of proposed buildings, structures and neighboring properties

The property fronts 273rd Avenue with two accesses to control circulation into and out of the site. The applicant shall meet the architectural standards and driveway requirements prior to the issuance of permits. These standards have been met.

- (6) Creation of an energy-conserving design through design, location, orientation and elevation of structures, the use and location of glass in structures, and the use of landscape materials and site grading

This standard has been met.

- (7) Protection of adjacent and neighboring properties through reasonable provisions for such matters as surface water drainage, sound and sight buffers, preservation of views, light and air, and those aspects of design, not adequately covered by other regulations, which may have substantial effects on neighboring land uses

The subject property and its proposed site design should not have a substantial effect on neighboring land uses. It is south of a similar industrial use. It is separated from the low-density residential land use to the east by a county road. To the south of the subject property is a vacant field. This standard has been met.



City Of Wyoming
26885 Forest Blvd., PO Box 188
Wyoming, MN 55092
Phone (651) 462-4947 Fax (651) 462-3938

SITE PLAN REVIEW
LAND USE APPLICATION

A site plan review application requests a use permitted in a particular zoning district, but regulated and controlled through conditions placed upon it by the City Council after review by the Planning Commission.

Property Address: NW of intersection of 273rd St. & Forest Blvd. (Hwy 61) W. of Sunrise Prairie Trail

Applicant(s) Information:

Name(s) Advanced Engineering Concepts Attn: Matt Appel Home _____
Address 1360 International Dr Work 715-552-0330
City Eau Claire State WI Zip 54701 Email mappel@aec-engineering

Owner(s) Information: (if other than Applicant(s))

Name(s) Hallberg Inc. Attn: Austin Hallberg Home _____
Address 26470 Fallbrook Ave / P.O. Box 277 Work 651-462-4516
City Wyoming State MN Zip 55092 Email austin.hallberg@hallbergmarine.com

Owner(s) Signature(s)

X Austin Hallberg

Date X 9/27/2021

Legal description of property: NE 1/4 of SE 1/4, Sec 18, T33, R21 west of RR R/W + E. of Hwy R/W

Property Identification Number: R21.00006-00

Present zoning: Industrial

Present use of property: Vacant

Proposed use of property: Commercial / light industrial

This application and the following attachments must be submitted to be considered a complete application:

1. A detailed site plan showing the information listed in Section 40 - 82, 1-6 as well as the following:

- The grading and drainage plan must be designed in accordance with Article VII, Division 21 of the Zoning Ordinance and the City of Wyoming Surface Water Resource Guidance Document.
- Elevation drawings of all sides of the proposed building to show compliance with the architectural standards of the zoning district the use will be located in.
- Landscaping and Screening in accordance with Article VII, Divisions 14 & 26.
- Lighting Plan in accordance with Article VII, Division 15.

2. A letter explaining the proposed use and how it will be operated.

N/A 3. Applications for uses described in Article VI, Divisions 7, 18, & 19 and Article VII, Divisions 2, 8, 10, 17-20, and 25 of the Zoning Ordinance must include the information necessary to show compliance with the applicable section of the ordinance.

N/A 4. Applications for uses that are within the Highway 8 Overlay District or that utilize Highway 8 for access must include the information necessary to show compliance with Article VI, Division 14 of the Zoning Ordinance.

5. The application fee and escrow must be paid at the time of application. The fee is not refundable. The unused portion of the escrow will be returned to the applicant. \$220 + \$1000

6. Any other information deemed necessary by the Zoning Administrator or Planning Commission.

Signature of applicant(s) [Signature] Date 9/27/2021

As the applicant for this request, I agree to reimburse the City for all expenses incurred by the City in employing planning, engineering, legal, and other professional consultants in reviewing this application. This may include the replenishment of any escrow funds as required as part of this application. Such costs shall be paid by me, the applicant, regardless of the outcome of the review and prior to commencing any work on the project. All of Article V, Division 4, Site Plan Review is attached to this application and by signing this application, the applicant acknowledges that it has been read and understood.

A public meeting can be scheduled only after a **complete** application has been received.

Application # SP-21-004 OFFICE USE ONLY Date Application Received 10/4/21
Date Complete Application Received 10/4/21 60 Days 12/3/21 By: [Signature]
Fee \$220.00 + Escrow \$1,000.00 Date Paid 10/4/21 Check # card

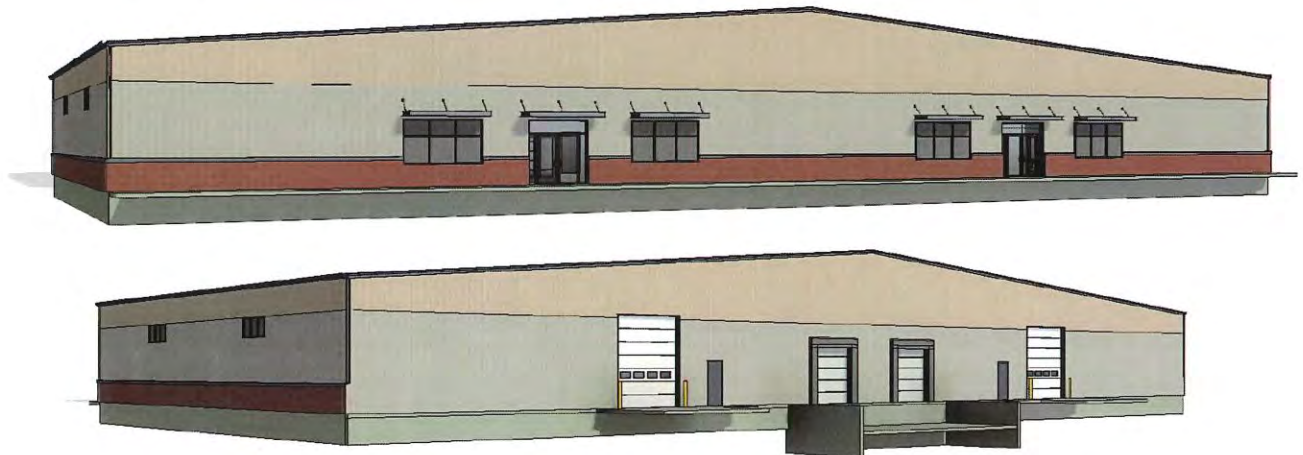
Site Plan Narrative

For

Hallberg Multi-Tenant Site Plan

for

Hallberg Inc.



October 4th, 2021

Hallberg Multi-Tenant Site Plan

Site Plan Narrative

INTRODUCTION:

Hallberg Inc. is proposing to build two new industrial buildings on the property known as the “Bingham Property” which is located on the corner of Forest Boulevard and 273rd Street. The first building will be a 20,000sf multi-tenant building that is divided into two 100’ by 100’ bays. Each bay will consist of roughly 1,000-sf of finished offices with 9,000-sf of warehouse space. The overall property is 14.84-acres and will be divided into two lots. The northern/second lot will be accessed via a driveway from the southern lot through an ingress/egress easement. The north lot will be approximately 8.62-acres and the south lot will be approximately 6.22-acres. The site is zoned 305 Industrial.

PROPOSED TIMELINE:

Construction of the first building is expected to be completed by early Summer 2022. The second proposed building will be a 45,000-sf warehouse that will likely be leased to a single tenant. Construction of the second building is estimated to be completed in 2-3 years.

PROJECT SUMMARY:

We currently have a tenant in hand who will rent one of the 10,000-sf bays as soon as it is completed. It is a Minnesota based company that distributes industrial supplies. They will employ about 10 people at this location. They plan on filling a majority of the warehouse space with racking and using the location as a distribution center. They need space to park about 15-20 vehicles, some of which will be left at the facility overnight and only used for making deliveries during the day. They plan on leaving their company vehicles in the rear of the building when they are not in use. They typically receive one semi-truck per day. Generally speaking, most of their traffic in and out of the facility will be between 8:00am and 4:00pm.

We do not have a tenant for the second 10,000-sf bay, but it will likely be leased by another business that needs space to put up racking with a small portion of office space. As for the 45,000sf space, we do not have any clues as to who or what will be going in, but there is a good chance it will be manufacturing of some sort.

EXTERIOR & LANDSCAPING:

The first building will be a steel structure with an exterior of Texture-Clad panels on all four sides with 4’ of stone masonry along the bottom of the North, East and South sides of the building. Each 10,000-sf bay will have two sets of large windows as well as glass doors for the entrance. All of the glass on the front of the building will have awnings hanging above them for appeal. The landscaping for the project includes many over story and under story trees, but we were careful to remove as few significant trees as possible. Specifically, the bunch of trees on the East edge of the property along Forest Boulevard will remain. There will also be shrubs along the North and South sides of the building, as well as a few shrubs screening some of the parking area on the West side of the building along 273rd Street. Business signs will be located above the entrance to each unit on the first building and a pylon sign may be added in the future near 273rd Street for each building. The second building

will likely have a sign located on the front of that building and possibly a pylon sign between the building and Forest Boulevard.

SITE UTILITIES:

A public water main and public sanitary sewer line are proposed to be extended into the site from 273rd Street. The mains will serve each building and will be located in an easement across the south lot. Two fire hydrants will be provided for fire protection and flushing. Another existing hydrant exists adjacent to the south building on 273rd Street. The site is tributary to the Chisago Lakes Joint Sewer Treatment Commission wastewater treatment plant.

Stormwater runoff from the site will be collected and conveyed via storm sewer or overland flow, to three different dry detention ponds. This project will treat the runoff from the improved areas by grassed swales and grassed filter strips to the City and State requirements before leaving the site. The dry detention ponds will detain runoff for the 100-yr 24-hour storm event, the 100-yr back-to-back storm events, and the 100-yr 10-day storm event. The ponds will discharge to two wetlands on the west side of the site.

The southern stormwater facility (1P), storm sewer, sanitary sewer, and water main connections will be completed initially through the south lot and then utilities specific to the north lot will be installed when the north building is built.

Erosion control best management practices will be implemented according to the MPCA technical standards and city-approved site plans. Erosion control during and following project completion will be under the coordination of Durand Builders and/or their contractor.

SITE CONSTRAINTS:

Two wetlands exist on the west side of the property. The closest improvements will be to the wetlands is approximately 40-feet on the north and 48-feet on the south. The stormwater facilities are designed to intercept and treat runoff from pavement and rooftop areas prior to discharge to the wetlands. No floodplains or other drainage ways exist on the site.

The site is bordered on the west by Interstate 35, on the north by a private property, on the east by the Sunrise Prairie Trail and on the south by 273rd Street. Access is only available to 273rd St on the south.

The overall imperviousness of the site is 23.6%. The front setback is 25-feet, and the side and rear setback is 15-feet.

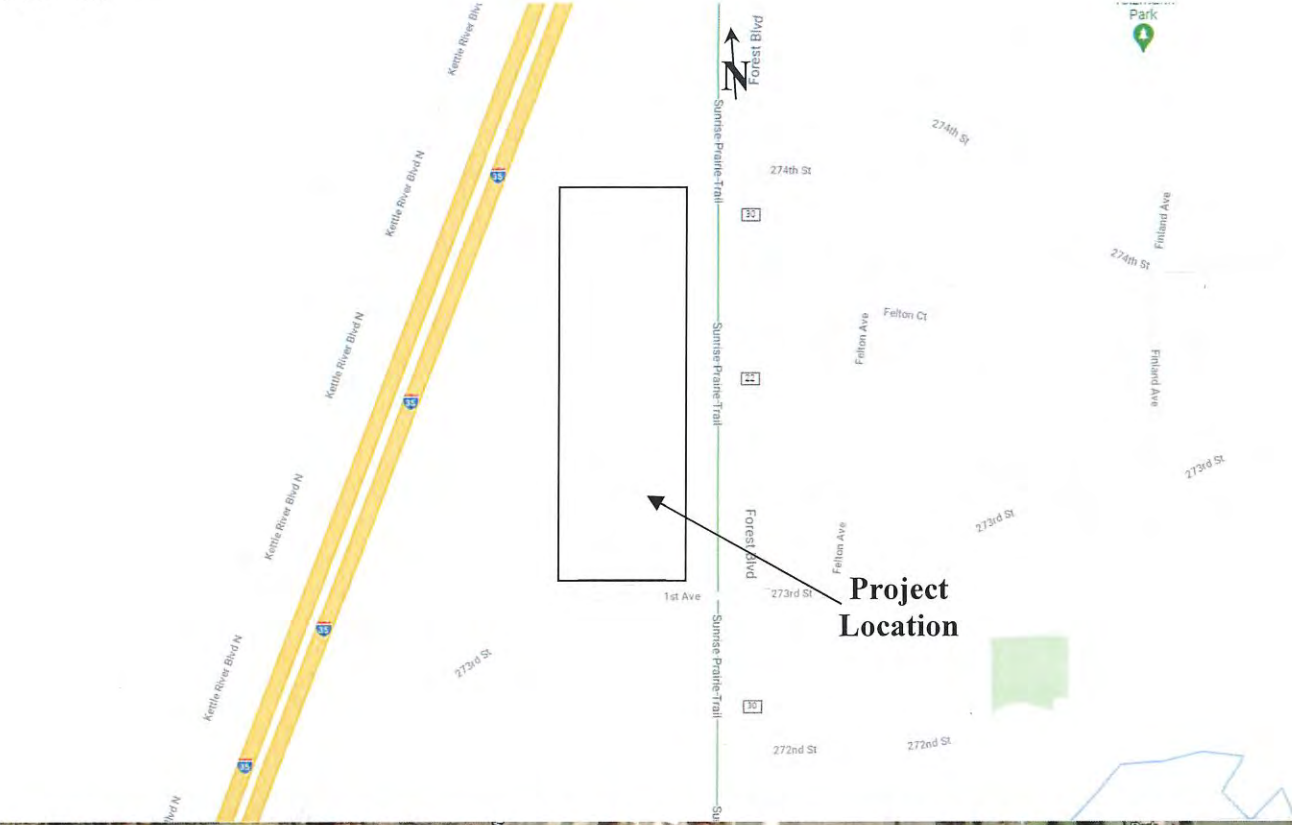
OWNERS OF RECORD:

Seller: Chisago County HRA/EDA, PO Box 815, North Branch, MN 55056-0815

Buyer: Hallberg Inc or assignees, PO Box 277, Wyoming, MN 55092

The property and all units will be owned and controlled by Hallberg Inc and/or assignees.

Vicinity Map
273rd St



Hallberg Marine Inc.

New Wyoming, MN Multi-Tenant

BUILDING CODE: IBC/IEBC 2015

BUILDING TYPE: VB UN-SPRINKLERED

OCCUPANCY AREA TENANT 1:
B OFFICE: 1,007 SQFT
S/F-1 MANUFACTURING: 8,993 SQFT
TOTAL TENANT 1: 10,000 SQFT

OCCUPANCY AREA TENANT 2:
B OFFICE: 1,008 SQFT
S/F-1 MANUFACTURING: 8,992 SQFT
TOTAL TENANT 2: 10,000 SQFT
SEPARATED BY (3) HOUR RATED FIREWALL
TOTAL BUILDING SQFT: 20,000 SQFT

ALLOWABLE AREA
8,500 SQFT UN-SPRINKLERED F-1
FRONTAGE INCREASE POSSIBLE:
6,375 SQFT + 8,500 SQFT = 14,875 SQFT W/ FRONTAGE INCREASE
10,000 SQFT < 14,875 SQFT = OK
12,000 SQFT MAX. FIRE AREA
UNLESS SPRINKLERED
10,000 SQFT < 12,000 SQFT = OK

TENANT 1:
OCCUPANCY LOAD
B OFFICE: 1,007/100 = 11 PERSONS
F/S-1: 8,993/500 = 18 PERSONS
TOTAL: 29 PERSONS POSSIBLE

MAXIMUM EXIT DISTANCE F/S-1 UN-SPRINKLERED: 250'-0"

PLUMBING FIXTURES:
S/F-1 TOTAL: 18/2=9/100 = .09
B-TOTAL: 11/2=6/25 = .24
.33 = 1 FIXTURE REQ. EA. SEX
2 FIXTURES SHOWN EA. SEX = OK

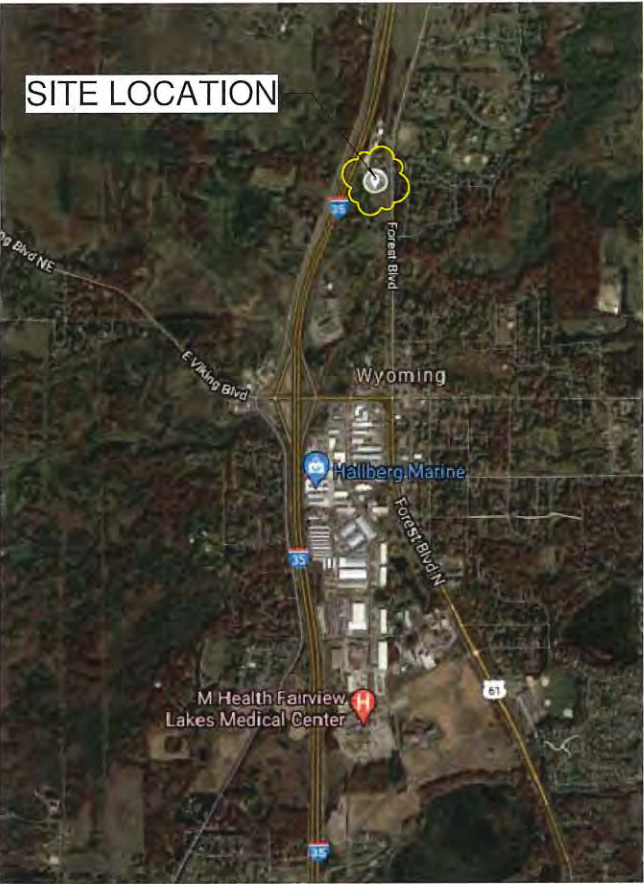
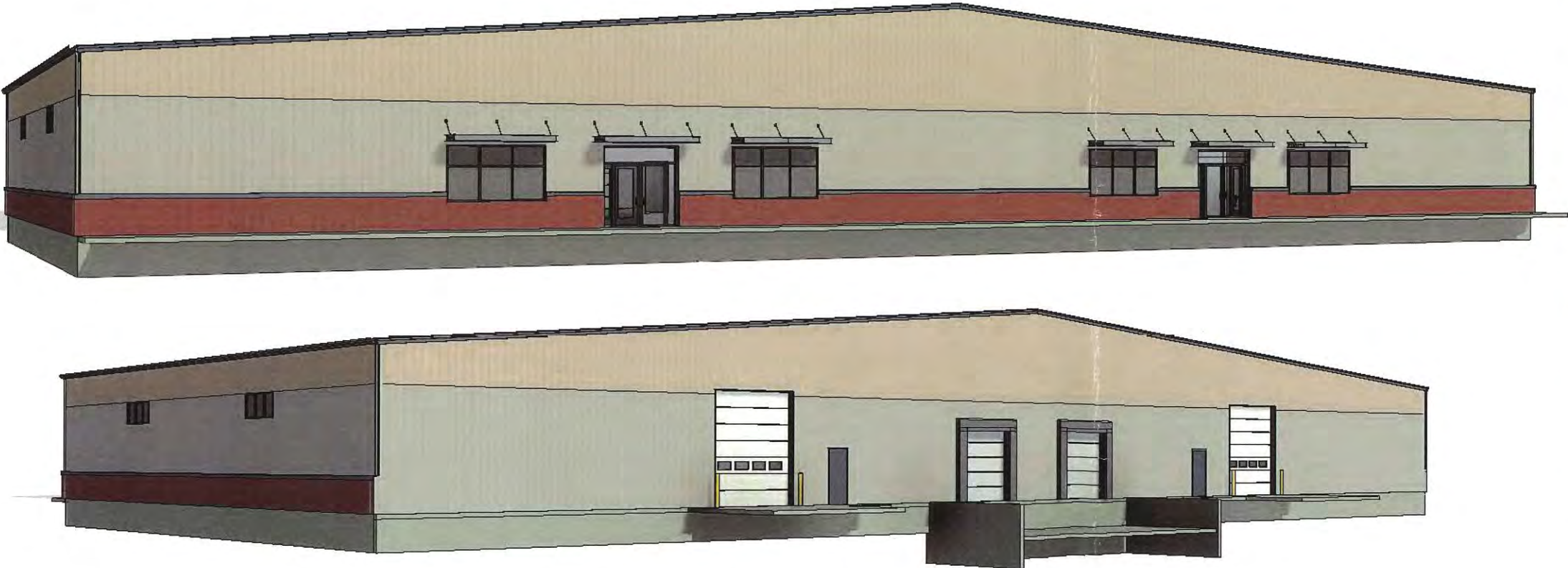
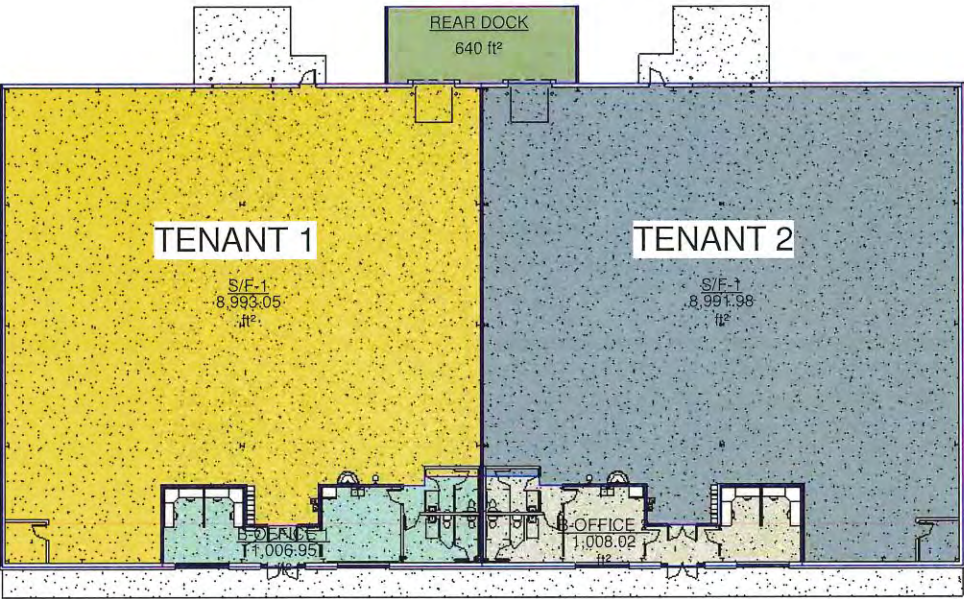
TENANT 2:
OCCUPANCY LOAD
B OFFICE: 1,008/100 = 11 PERSONS
F/S-1: 8,992/500 = 18 PERSONS
TOTAL: 29 PERSONS POSSIBLE

MAXIMUM EXIT DISTANCE F/S-1 UN-SPRINKLERED: 250'-0"

PLUMBING FIXTURES:
S/F-1 TOTAL: 18/2=9/100 = .09
B-TOTAL: 11/2=6/25 = .24
.33 = 1 FIXTURE REQ. EA. SEX
2 FIXTURES SHOWN EA. SEX = OK

Area Legend

- 640 ft²
- 1,006.95 ft²
- 1,008.02 ft²
- 8,991.98 ft²
- 8,993.05 ft²



SITE LOCATION PER GOOGLE MAPS

DESIGN CONTACT

CONTACT: KELSEY SMITH
PHONE: 715-672-5941

GENERAL CONTRACTOR

DURAND BUILDERS
P.O. BOX 10
DURAND, WI 54736
PHONE: 715-672-5941
FAX: 715-672-8886
CONTACT:
EMAIL:

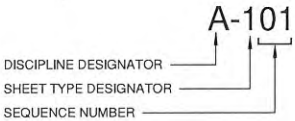
GENERAL NOTES:

ALL WORK TO BE DONE IN COMPLIANCE WITH ALL LOCAL AND STATE BUILDING CODES.
DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS

ALL GRADES, ALL FOUNDATION ELEVATIONS, STEP CONDITIONS AND FOOTING ELEVATIONS.
TO BE VERIFIED BY CONTRACTOR, FOUNDATION DROPS AND FOOTING ELEVATIONS
ON THIS PLAN MAY NOT BE ACCURATE FOR BUILDING SITE.

Sheet List -G-	
Sheet Name	Sheet Number
Cover Sheet	G-101
General Info	G-103

Sheet List -A-	
Sheet Name	Sheet Number
Basement Level	A-100
Main Level	A-101
Office Area Callout	A-102
Elevations	A-201
Sections	A-301



DISCIPLINE DESIGNATOR	
G	GENERAL
C	CIVIL
L	LANDSCAPE
S	STRUCTURAL
A	ARCHITECTURAL
F	FIRE PROTECTION
P	PLUMBING
M	MECHANICAL
E	ELECTRICAL
R	RESOURCE INFO

SHEET TYPE DESIGNATOR	
G	GENERAL
1	PLANS
2	ELEVATION
3	SECTIONS
4	LARGE SCALE VIEWS
5	DETAILS
6	SCHEDULES AND DIRAGRAMS
7	
8	
9	3D VIEWS, ISOMETRICS PERSPECTIVES & PHOTOS

HALF SCALE IF PRINTED ON 11X17



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PO BOX 10
DURAND, WISCONSIN 54736
DURAND OFFICE
MAIN NUMBER: (715) 672-5941
FAX NUMBER: (715) 672-8886
WWW.DURANDBUILDERS.COM
WWW.HomeTownBC.com

Hallberg Marine Inc.
New Wyoming, MN Multi-Tenant
Forest Blvd. & I-35 Wyoming, MN 55092
Project Number: Project Number
For Approval

Date
Date 1

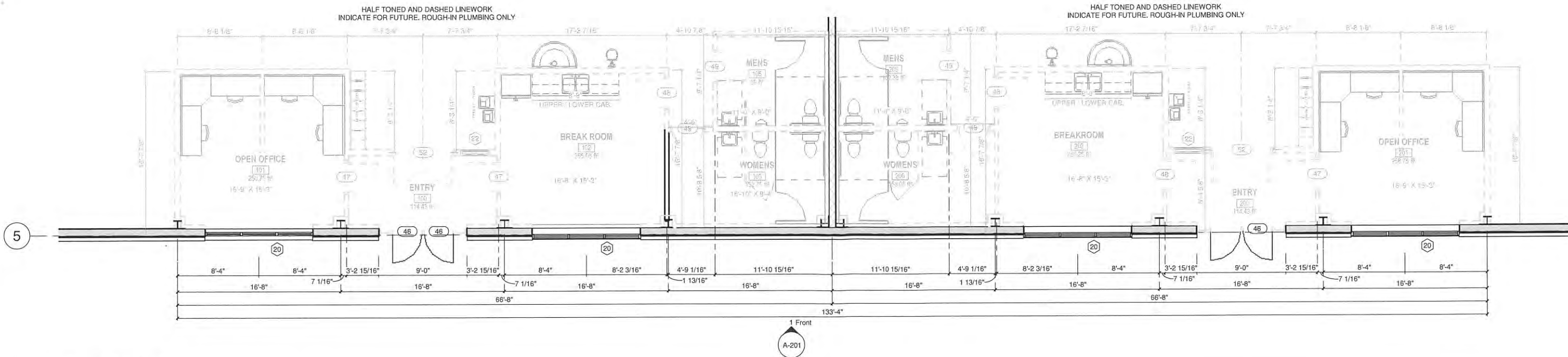
Description

No.
Revision 1

DESIGNED BY: KMS
DRAWN BY: KMS
CHECKED BY: KMS

Cover Sheet

G-101
As indicated
Page 27 of 45



ROUGH OPENING HEIGHTS ON DOORS DO NOT TAKE FLOORING INTO CONSIDERATION

Master Exterior Residential Door Schedule																	
Function	Type Mark	Count	Family and Type	Panel Type	R.O.		Jamb Size	Swing	Exterior Panel Color	Interior Panel Color	Cladding Finish	Handle Set				Hinge Finish	Comments
					Rough Width	Rough Height						Brand	Model	Type	Deadbolt	Hardware Finish	
Exterior	40	2	Commercial O.H. DOOR: 12' X 14' O.H. DOOR		12'-3"	14'-1"											
Exterior	41	2	Sectional_Overhead_Dock_Door & Seal: 9'-0"W x 10'-0"H Oversized														
Exterior	44	2	Hollow Metal Door Insulated: 3/0 X 7/0		3'-4"	7'-2"											
Exterior	46	4	Door-Curtain-Wall-Single-Glass 2016: Door-Curtain-Wall-Single-Glass 2016														

Master Interior Residential Door Schedule															
Function	Count	Type Mark	Family and Type	Panel Type	R.O.		Jamb Size	Swing	Finish	Handle Set				Hinge Finish	Comments
					Rough Width	Rough Height				Brand	Model	Type	Hardware Finish		
Interior	3	47	Hollow Metal Door_With_Glass: 3/0 X 7/0 Full Lite		3'-4"	7'-2"									
Interior	3	48	Hollow Metal Door_With_Glass: 3/0 X 7/0 Half Lite		3'-4"	7'-2"									
Interior	6	49	Hollow Metal Door: 3/0 X 7/0		3'-4"	7'-2"									
Interior	2	52	Hollow Metal Door_Double_With_Glass: 3/0 X 7/0 Dbl. Dr.		6'-4"	6'-0"									

Single Window Schedule									
Window Type	Count	Window Description	Type	R.O.		U-VALUE	Exterior Color	Interior Color	Comments
				Rough Width	Rough Height				
20	4	Aluminum_Exterior_Window_-_3_wide_x_2_high	132"W. x 68"H.	132"	72"				
22	2	Aluminum_inter_Window_-_Single -	36"X72"						
28	4	Aluminum_Exterior_Window_-_3_Wide	72"Wx36"H	96"	36"				



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WWW.HomeTownBC.com

Hallberg Marine Inc.
New Wyoming, MN Multi-Tenant
Forest Blvd. & I-35 Wyoming, MN 55092
Project Number: Project Number
For Approval

Date

Description

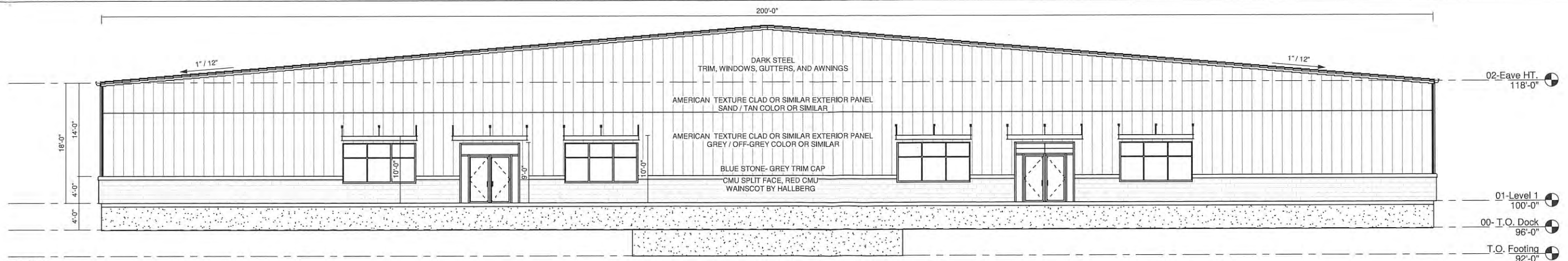
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Issue Date

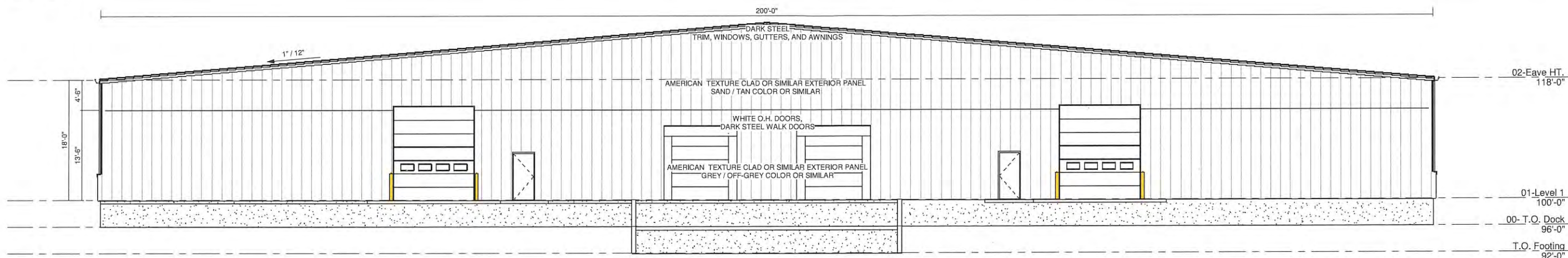
DESIGNED BY: KMS
DRAWN BY: KMS
CHECKED BY: KMS

Office Area Callout

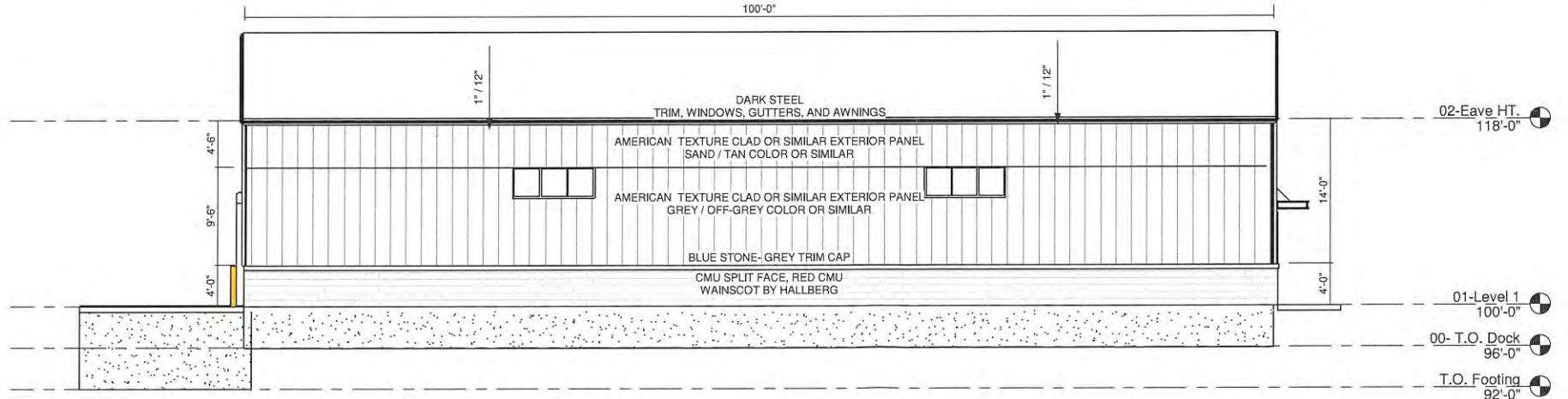
A-102
3/16" = 1'-0"



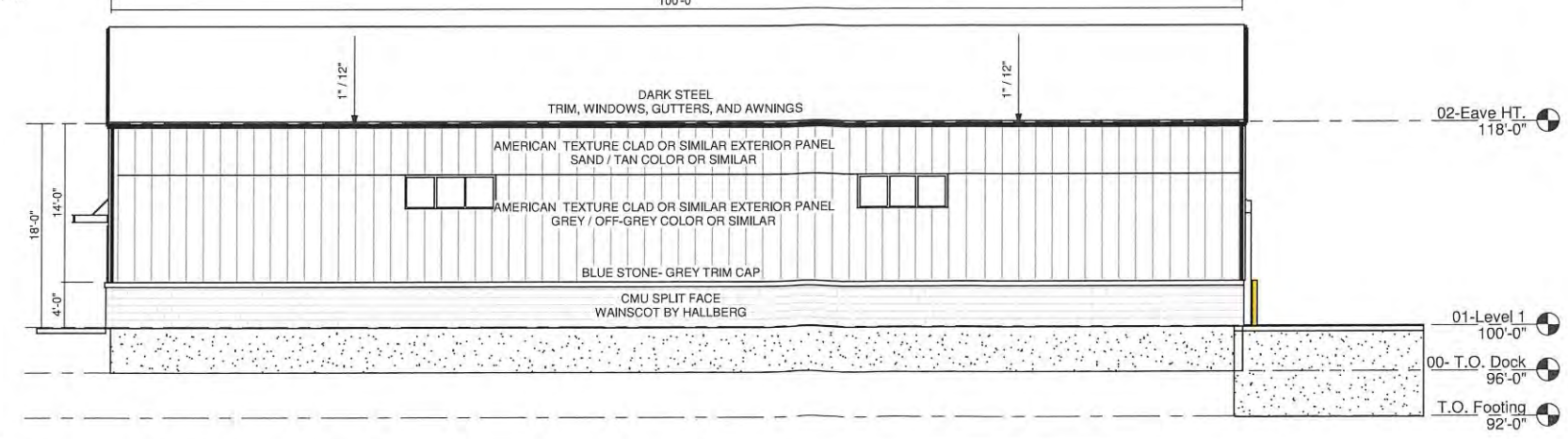
① Front
1/8" = 1'-0"



② Rear
1/8" = 1'-0"



③ Left
1/8" = 1'-0"



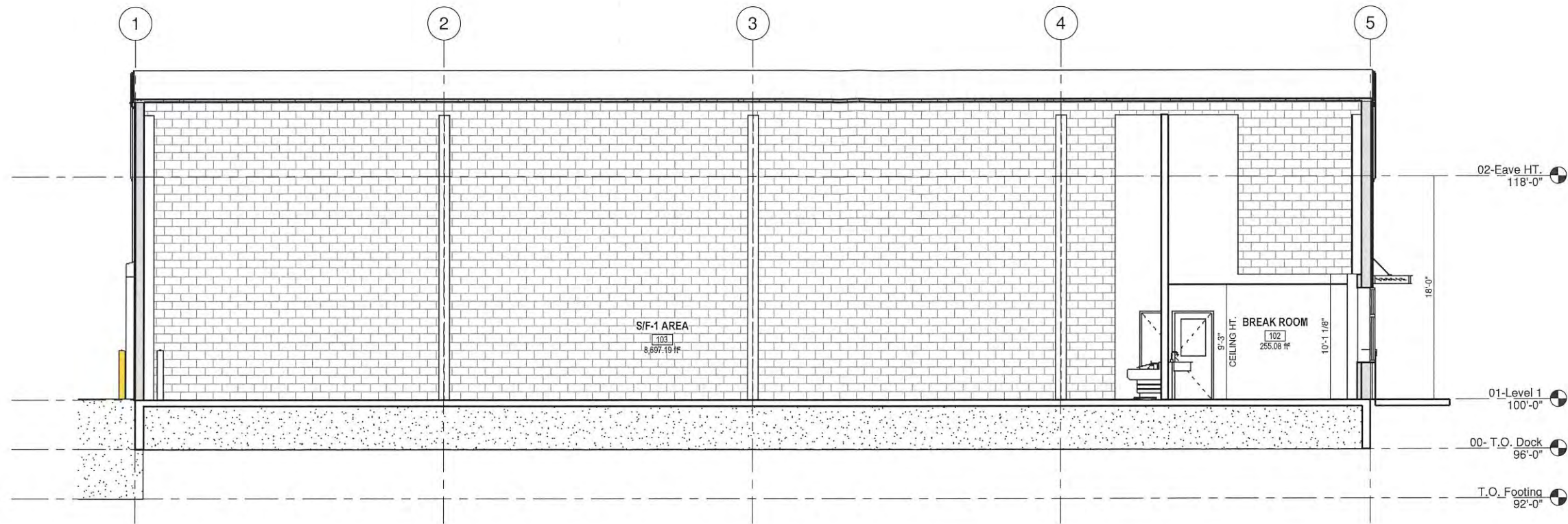
④ Right
1/8" = 1'-0"



PO BOX 10
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Hallberg Marine Inc.
New Wyoming, MN Multi-Tenant
Forest Blvd. & I-35 Wyoming, MN 55092
Project Number: Project Number
For Approval

No.	Description	Date
Issue Date	DESIGNED BY: KMS DRAWN BY: KMS CHECKED BY: KMS	
Elevations		
A-201 1/8" = 1'-0"		



① Section 1
3/16" = 1'-0"



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DURAND OFFICE
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FAX NUMBER: (715) 672-8886

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WWW.HomeTownBC.com

Hallberg Marine Inc.
New Wyoming, MN Multi-Tenant
Forest Blvd. & I-35 Wyoming, MN 55092
Project Number: Project Number

For Approval

Date

Description

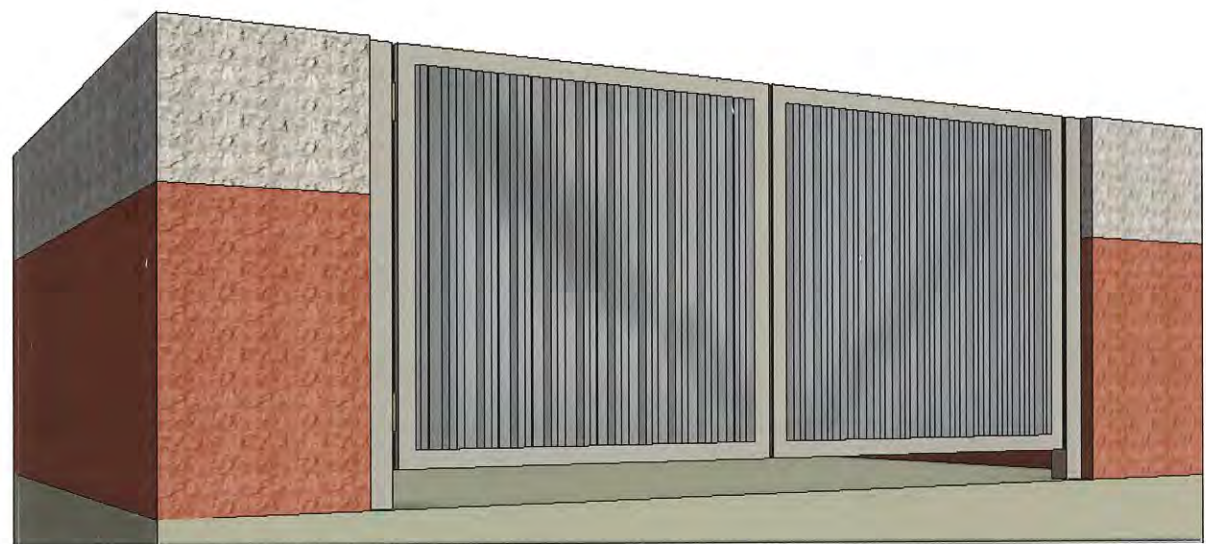
No.

Issue Date

DESIGNED BY: KMS
DRAWN BY: KMS
CHECKED BY: KMS

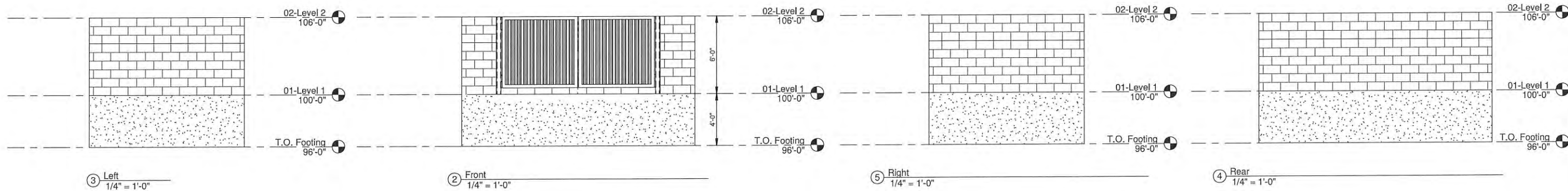
Sections

A-301
3/16" = 1'-0"



⑥ 3D View 1

① Level 1 Main Level
1/2" = 1'-0"



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DUBUQUE, WISCONSIN 54736

DURAND OFFICE

MAIN NUMBER: (715) 672-5941
FAX NUMBER: (715) 672-8886

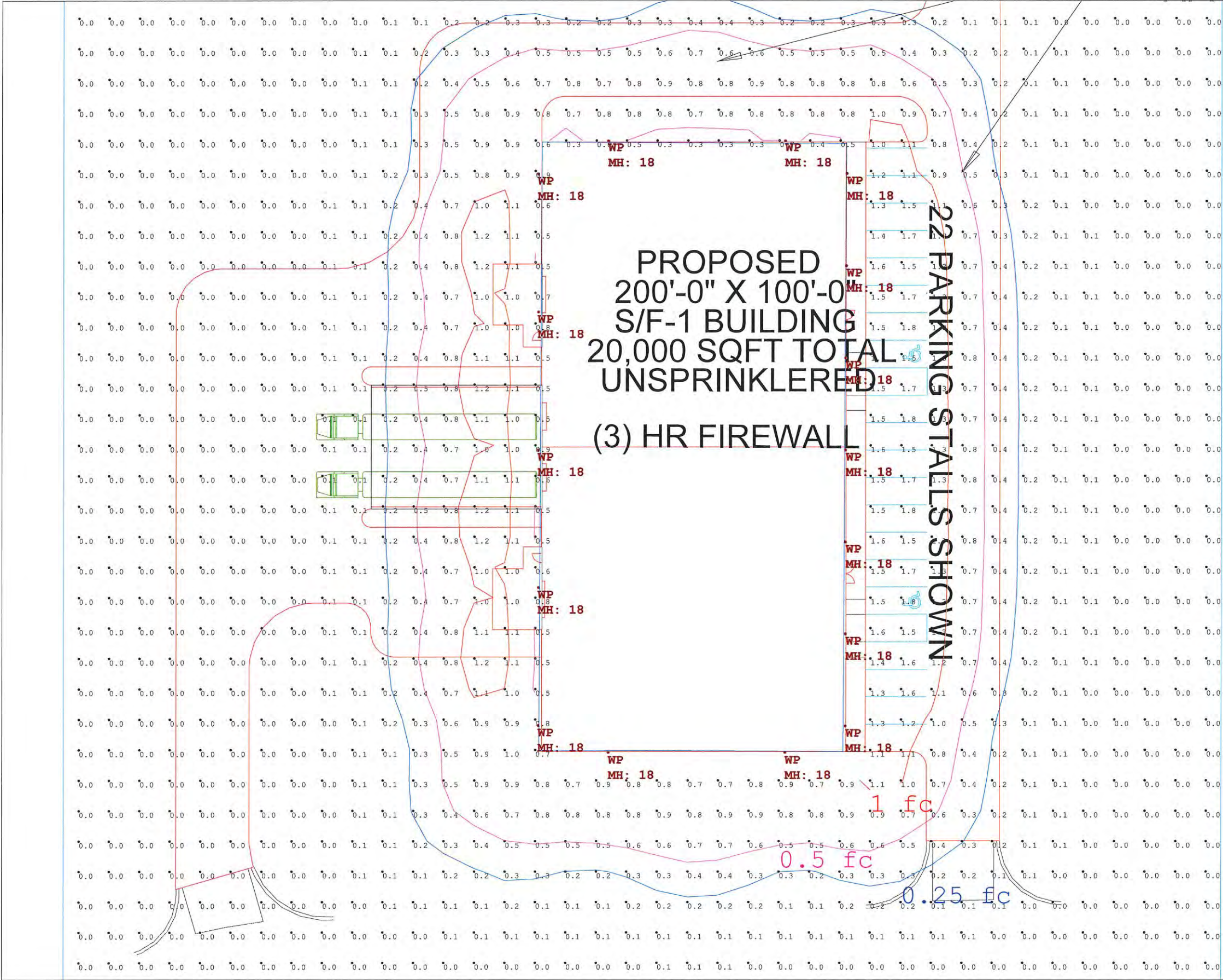
WWW.DURANDBUILDERS.COM
WWW.HomeTownBC.com

Hallberg Multi-tenant
Dumpster Enclosure

Enter address here
Project Number: 21KHMT

10/11/21

No.	Description	Date
Issue Date		
DESIGNED BY:	KMS	
DRAWN BY:	KMS	
CHECKED BY:	KMS	
Main Level		
A-101		
As indicated		



Calculation Summary									
Label		CalcType		Units	Avg	Max	Min	Avg/Min	Max/Min
Ground Planar		Illuminanc		Fc	0.22	1.8	0.0	N.A.	N.A.
Luminaire Schedule									
Symbol	Qty	Label	Arrangement	LLF	Description		Lum. Lumens		
	16	WP	SINGLE	0.910	TRP1-12L30-3K7-4		2674		

Drawn By: Daniel Budke

Checked By:

Date: 10/11/2021

#

Date

Comments

Revisions

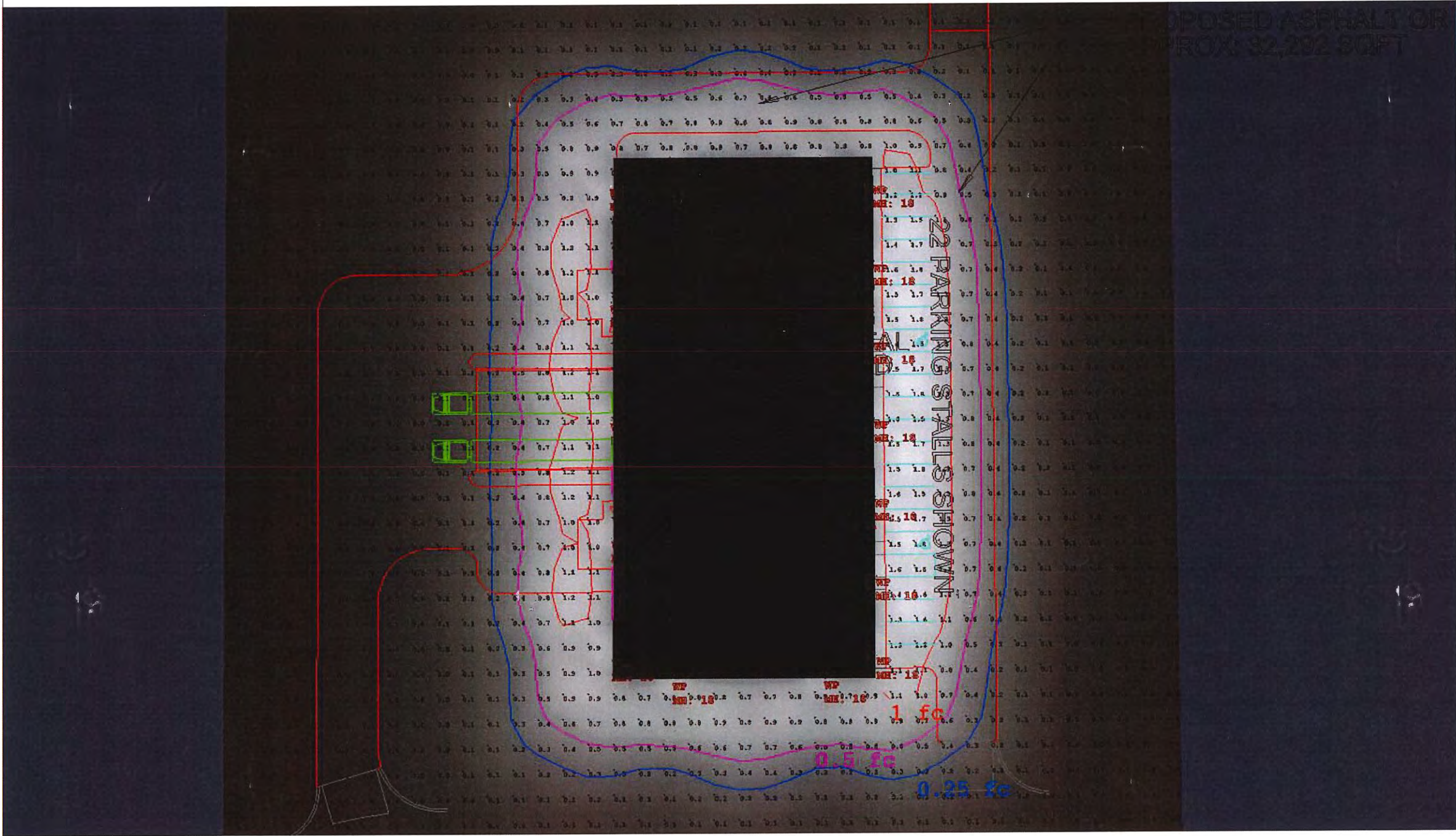
Hallberg

Building A Exterior

Page M of 1



A Sonepar Company



Calculation Summary						
Label		CalcType	Units	Avg	Max	Min
Ground Planar		Illuminanc	Fc	0.22	1.8	0.0
Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Lumens
	16	WP	SINGLE	0.910	TRP1-12L30-3K7-4	2674

Hallberg

Building A Exterior

Drawn By: Daniel Budke

Checked By:

Date: 10/11/2021

Scale:

#

Date

Comments

Revisions

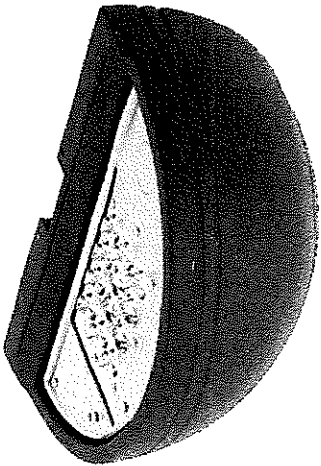


QSP1 Geopak

By Hubbell Outdoor Lighting

Small sized architectural wallpacks in three stylish shapes with molded contours to accentuate building architecture. Provides excellent illuminati energy-saving LED systems.

- Capable of replacing up to 175W HID luminaires
- Type II, III and IV distributions for a wide variety of applications
- Easy to install and retrofit existing HID luminaires with similar footprint
- Control capabilities offer additional energy savings options
- Integral battery backup options
- Five powder coat standard finishes, plus custom color options
- Wet Location Listed to UL924 and UL1598 Standard
- Zero uplight distributions
- DLC® (DesignLights Consortium) Qualified - see www.designlights.org



Product Details

General

Ambient Temp. Range	-40 to 40 °C
Construction Material - Main	Aluminum
Dimming Protocol	0-10V
Light Distribution	• IES Type II • IES Type III • IES Type IV
Lumen Range	1-2,500 lm
Type	Wall Mount
Electrical Ratings	
Frequency Rating	50/60 Hz
Primary Voltage	• 120 VAC • 208 VAC • 220 VAC • 240 VAC • 277 VAC
Wattage Range	≤30

Certifications and Compliance



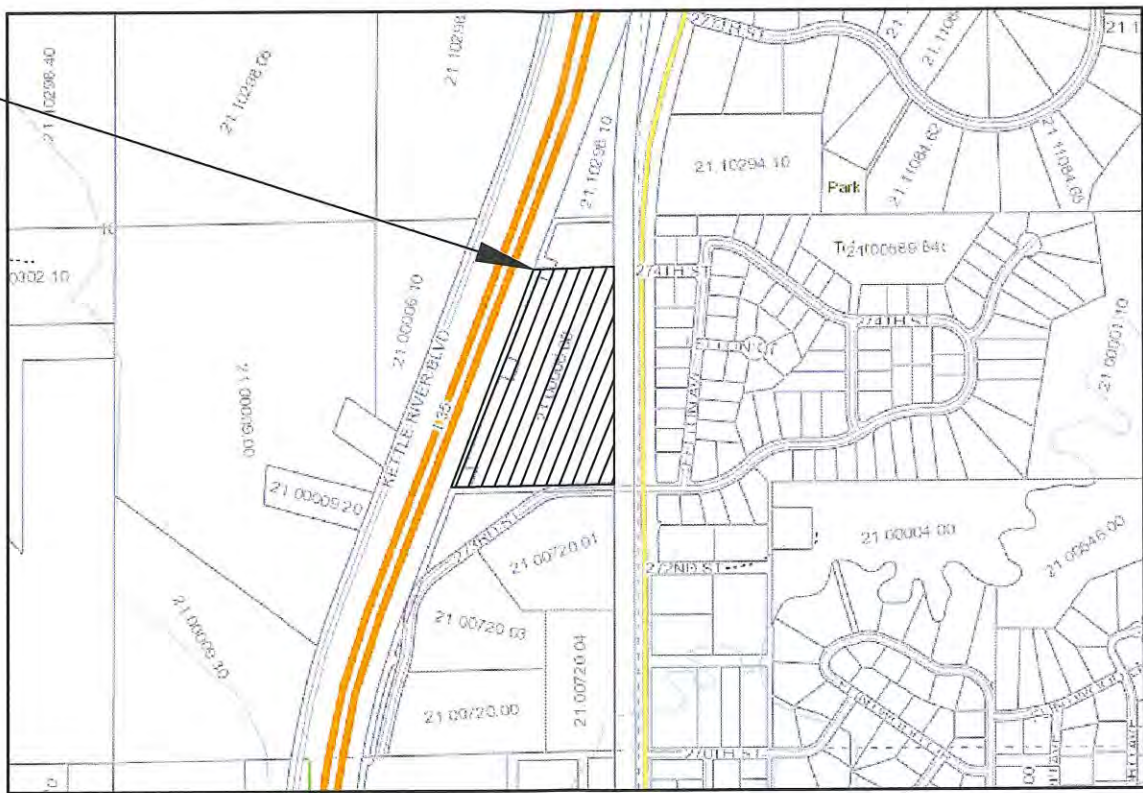
HALLBERG MULTI-TENANT SITE PLAN
HALLBERG MARINE INC.
DURAND BUILDERS, INC.
FOREST BLVD, (COUNTY HWY 22/30)
WYOMING, MN 55092



VICINITY MAP

PROJECT LOCATION

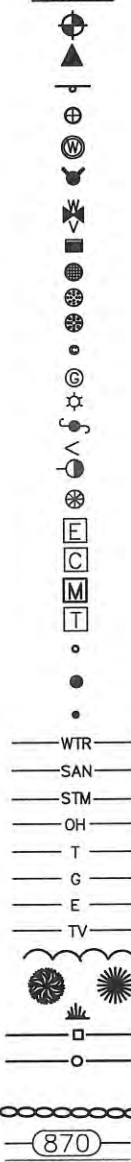
CONTACTS	
CITY ADMINISTRATOR	CITY OF WYOMING — ATTN: ROBB LINWOOD PHONE: (651) 462-0575
SUPERINTENDENT PUBLIC WORKS	CITY OF WYOMING — ATTN: CHUCK ALMHJELD PHONE: (651) 462-0580
ZONING ADMINISTRATOR	CITY OF WYOMING — ATTN: FRED WECK PHONE: (651) 462-0575
WATER	CITY OF WYOMING — PHONE: (651) 462-0580
SANITARY	CITY OF WYOMING — PHONE: (651) 462-0580
TELEPHONE	FRONTIER PHONE: (866) 226-5170
CABLE	MIDCONTINENT PHONE: (800) 888-1300
GAS	XCEL ENERGY PHONE: (800) 895-4999
FIRE DEPT.	CITY OF WYOMING — ATTN: JESSE MILLIGAN PHONE: (651) 462-0575



LOCATION MAP

ABBREVIATIONS:
BC=BACK OF CURB
BLK=BLOCK NUMBER
BOT=BOTTOM (ELEV)
CL=CENTERLINE
CS=CURB STOP
ELEV=ELEVATION
EOP=EDGE OF PAVEMENT
EX=EXISTING
FES=FLARED END SECTION
FF=FINISHED FLOOR (ELEV)
FL=FLOWLINE
GF=GARAGE FLOOR (ELEV)
GLG=GROUND LINE GROOVE
HWL=HIGH WATER LEVEL
INV=INVERT
LF=LINEAR FEET
LO=LOOKOUT STYLE HOME
LT=LEFT
MIN=MINIMUM
NWL=NORMAL WATER LEVEL
PC=POINT OF CURVE
PRC=CURVE REVERSAL POINT
PT=POINT OF TANGENCY
RAD=RADIUS
RT=RIGHT
R/W=RIGHT OF WAY
SAN=SANITARY SEWER
SP=SPOT ELEVATION
STA=STATION
STM=STORM SEWER
TC=TOP OF CURB
TYP=TYPICAL
W=WATER FITTINGS
WAT=WATER
WM=WATERMAIN
WO=WALKOUT STYLE HOME

EXISTING



PROPOSED



SHEET SCHEDULE	
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS & DEMOLITION PLAN
3	OVERALL SITE PLAN
4-5	SITE PLAN
6-7	UTILITY PLAN
8-9	GRADING PLAN
10-11	ALIGNMENT 1: PLAN & PROFILE
12	STORMWATER POLLUTION PREVENTION PLAN
13	STORMWATER POLLUTION PREVENTION PLAN NOTES
14-16	DETAILS

OWNER DEVELOPER
HALLBERG MARINE INC.
ATTN: AUSTIN HALLBERG
26470 FALLBROOK AVE
WYOMING, MN 55092
PHONE: 651.462.4516
EMAIL: austinhallberg@hallbergmarine.com

BUILDER:
DURAND BUILDERS SERVICE INC.
ATTN: PETE PERSHERN
P.O. BOX 10 N6344 STATE ROAD 25
DURAND, WI 54736
PHONE: 715.672.5941
EMAIL: ppershern@durandbuilders.com

PROJECT ENGINEER:
ADVANCED ENGINEERING CONCEPTS
ATTN: MATT APPEL, P.E.
1360 INTERNATIONAL DRIVE, SUITE #1
EAU CLAIRE, WI 54701
PHONE: 715.552.0330
EMAIL: mappel@aec.engineering

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: SEAN P. BOHAN
Signature:
Date 10/4/2021 License # 46834

SCHEDULE OF REQUIRED PERMITS		
APPROVALS NEEDED	DATE SUBMITTED	APPROVAL
MPCA: CONSTRUCTION STORMWATER GENERAL PERMIT		
CITY OF WYOMING: LAND USE APPLICATION	10/2021	

AEC PROJECT #: 21081

PLANS DATED: OCT 2021



ADVANCED ENGINEERING CONCEPTS
1360 INTERNATIONAL DR. SUITE #1
EAU CLAIRE, WI 54701
PH 715-552-0330
INFO@AEC.ENGINEERING
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FOREST BLVD (COUNTY HWY 22/30)



Know what's below.
Call before you dig.

0 25 50 100



LEGEND

- (1100)--- EXISTING CONTOURS-MNR
- (1105)--- EXISTING CONTOURS-MJR
- CLEAR AND GRUB TREES (CLEARING LIMITS)
- REMOVE PAVEMENT
- FULL-DEPTH SAWCUT
- CURB & GUTTER REMOVAL
- TREE REMOVAL (28)

GENERAL NOTES:

- UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION OF LOCATIONS. THE CLIENT, CITY, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
- CLEARING AND GRUBBING SHALL ONLY BE IN THOSE LOCATIONS DIRECTED BY THE ENGINEER AND/OR OWNER. CONTRACTOR SHALL PROTECT ALL TREES, SHRUBS, AND CORRESPONDING ROOT SYSTEMS FROM DAMAGE. ALL WORK WITH POTENTIAL IMPACT ON UN-CLEARED TREES AND/OR SHRUBS SHALL BE COORDINATED WITH THE ENGINEER AND/OR OWNER.
- CONTRACTOR SHALL NOT DISTURB ANY R/W IRONS. ANY REMOVAL SHALL BE APPROVED BY THE ENGINEER, OTHERWISE THE CONTRACTOR SHALL BE BILLED FOR REPLACEMENT.
- CONTRACTOR SHALL VERIFY THE AMOUNT OF PAVEMENT REMOVAL WITH THE PROJECT MANAGER.
- CONTRACTOR TO COORDINATE LOCATIONS AND LIMITS OF SAWCUTS WITH THE PROJECT MANAGER.
- NO TREES OR STUMPS ARE TO BE BURIED ON SITE. CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS FOR BURNING OR MATERIAL DISPOSAL.
- CONTRACTOR TO REPAIR AND RESTORE ANY DAMAGED OR DISTURBED AREAS OF PAVEMENT, CONCRETE, LANDSCAPING, ELECTRICAL, AND AUTOMATIC IRRIGATION, ETC. TO ITS ORIGINAL CONDITION ON ADJACENT PROPERTIES.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.

SURVEY NOTES:

- TOPO SURVEY PERFORMED BY E.G. RUD & SONS INC. JULY 1 & AUGUST 16, 2021 (PROJECT 2108178T).
- UTILITY SIZES AND LOCATIONS ARE COMPILED FROM SURVEYS AND AS-BUILTS INFORMATION PROVIDED BY OTHERS. ADVANCED ENGINEERING CONCEPTS MAKES NO GUARANTEE AND IS NOT RESPONSIBLE FOR THE ACCURACY OF THE EXISTING LINENWORK.
- CONTRACTOR TO VERIFY EXISTING PRIVATE UTILITIES PRIOR TO ANY CONSTRUCTION TAKING PLACE.

FIELD TREE INVENTORY LOG

PROJECT NAME: Tree Survey at Forest Boulevard (County Hwy 22/30), Wyoming, MN					
DATE: 8/16/2021		Lot Condition: Undeveloped		Color Key:	
TIME: 2:00 PM		Survey: 82 Degrees F		Gray Highlight = Not Significant	
				Blue Highlight = Phase 2 Tree	
TAG NO.	TREE DIA. (IN)	SPECIES	CONDITION	SIGNIFICANT Y/N?	NOTES
162	19	WHITE OAK	GOOD	Y	
163	12	PIN OAK	FAIR	Y	
164	40	PIN OAK	POOR	Y	
165	27	PIN OAK	FAIR	Y	3-TRUNK 27" 25" 24"
166	31	WHITE OAK	GOOD	Y	
167	12 HGT	CEDAR	GOOD	Y	4 CEDAR TREE CLUSTER - SAME ROOT SYSTEM
168	12 HGT	CEDAR	FAIR	Y	5 CEDAR TREE CLUSTER - SAME ROOT SYSTEM
169	37	WHITE OAK	GOOD	Y	
170	12 HGT	CEDAR	GOOD	Y	
171	12 HGT	CEDAR	GOOD	Y	
172	12 HGT	CEDAR	GOOD	Y	
173	38	WHITE OAK	GOOD	Y	
174	25	WHITE OAK	GOOD	Y	
175	26	WHITE OAK	FAIR	Y	
176	30 HGT	SPRUCE	FAIR	Y	EVIDENCE OF HOLLOW TRUNK
177	37	WHITE OAK	GOOD	Y	
178	12 HGT	CEDAR	GOOD	Y	
179	10	BLACK CHERRY	POOR	Y	2-TRUNK 10' 10"
180	9	BOXELDER	POOR	Y	2-TRUNK 9' 9"
181	13	WILLOW	POOR	N	NOT SIGNIFICANT - TOO SMALL
182	10	BOXELDER	POOR	N	NOT SIGNIFICANT - TOO SMALL
183	16	WILLOW	POOR	N	NOT SIGNIFICANT - TOO SMALL
184	18	BOXELDER	POOR	Y	
185	12 HGT	CEDAR	GOOD	Y	
186	12 HGT	CEDAR	GOOD	Y	
187	20 HGT	CEDAR	GOOD	Y	3 CEDAR TREE CLUSTER - SAME ROOT SYSTEM. TAG ON ZIP TIE
188	12 HGT	CEDAR	GOOD	Y	
189	30 HGT	CEDAR	GOOD	Y	TAG ON ZIP TIE
190	12 HGT	CEDAR	GOOD	Y	
191	12 HGT	CEDAR	GOOD	Y	
192	15 HGT	CEDAR	GOOD	Y	
193	12 HGT	CEDAR	GOOD	Y	
194	12 HGT	CEDAR	GOOD	Y	
195	15 HGT	CEDAR	GOOD	Y	
34	NO. OF TREES TAGGED				
32	NO. OF SIGNIFICANT TREES TAGGED				

CALYX DESIGN GROUP

Landscape Architecture + Planning
calyxdesigngroup.com | 651.788.9018

City of Wyoming Tree Inventory Criteria:
All Overstory Hardwood Trees 6" dia.+
All Overstory Softwood Trees 12" dia.+
All Canopy Losses 12" dia.+
Softwoods: Catalpa, Populus, Willow, Sitka Spruce, Elm
Condition Rating:
Good = Full Canopy, No Signs of Stress or Injury
Fair = Most of the Canopy, Some Stress or Minor Injury
Poor = Significant Canopy Loss, Extensive Damage or Disease, Short Life Expectancy

NOTE:
CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: SEAN P. BOHAN LICENSE # 46834
SIGNATURE: DATE:

PROJ. NO.
21081



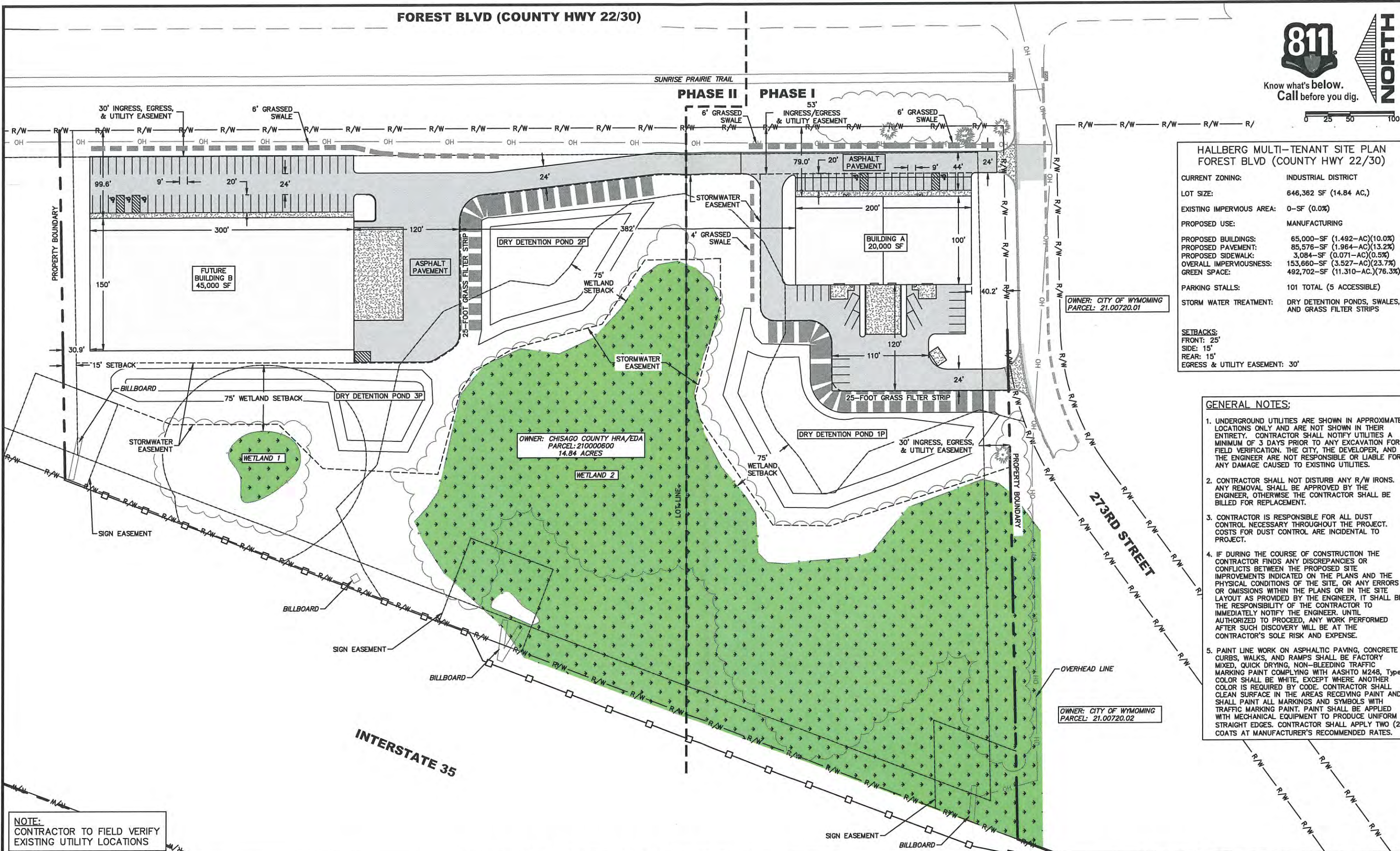
ADVANCED ENGINEERING CONCEPTS
1360 INTERNATIONAL DR, SUITE #1
EAU CLAIRE, WI 54701
PH: 715-552-0330
info@aec.engineering
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EXISTING CONDITIONS &
DEMOLITION PLAN

HALLBERG MULTI-TENANT SITE PLAN
HALLBERG MARINE INC
DURAND BUILDERS, INC
FOREST BLVD, (COUNTY HWY 22/30)
WYOMING, MN

DWG NAME
21081 PG2
EXISTING
DATE
10/2021

2
16



HALLBERG MULTI-TENANT SITE PLAN FOREST BLVD (COUNTY HWY 22/30)	
CURRENT ZONING:	INDUSTRIAL DISTRICT
LOT SIZE:	646,362 SF (14.84 AC.)
EXISTING IMPERVIOUS AREA:	0-SF (0.0%)
PROPOSED USE:	MANUFACTURING
PROPOSED BUILDINGS:	65,000-SF (1.492-AC)(10.0%)
PROPOSED PAVEMENT:	85,576-SF (1.964-AC)(13.2%)
PROPOSED SIDEWALK:	3,084-SF (0.071-AC)(0.5%)
OVERALL IMPERVIOUSNESS:	153,660-SF (3.527-AC)(23.7%)
GREEN SPACE:	492,702-SF (11.310-AC)(76.3%)
PARKING STALLS:	101 TOTAL (5 ACCESSIBLE)
STORM WATER TREATMENT:	DRY DETENTION PONDS, SWALES, AND GRASS FILTER STRIPS
SETBACKS:	
FRONT:	25'
SIDE:	15'
REAR:	15'
EGRESS & UTILITY EASEMENT:	30'

- GENERAL NOTES:**
- UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION. THE CITY, THE DEVELOPER, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
 - CONTRACTOR SHALL NOT DISTURB ANY R/W IRONS. ANY REMOVAL SHALL BE APPROVED BY THE ENGINEER, OTHERWISE THE CONTRACTOR SHALL BE BILLED FOR REPLACEMENT.
 - CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL NECESSARY THROUGHOUT THE PROJECT. COSTS FOR DUST CONTROL ARE INCIDENTAL TO PROJECT.
 - IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
 - PAINT LINE WORK ON ASPHALTIC PAVING, CONCRETE CURBS, WALKS, AND RAMPS SHALL BE FACTORY MIXED, QUICK DRYING, NON-BLEEDING TRAFFIC MARKING PAINT COMPLYING WITH AASHTO M248, Type C. COLOR SHALL BE WHITE, EXCEPT WHERE ANOTHER COLOR IS REQUIRED BY CODE. CONTRACTOR SHALL CLEAN SURFACE IN THE AREAS RECEIVING PAINT AND SHALL PAINT ALL MARKINGS AND SYMBOLS WITH TRAFFIC MARKING PAINT. PAINT SHALL BE APPLIED WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. CONTRACTOR SHALL APPLY TWO (2) COATS AT MANUFACTURER'S RECOMMENDED RATES.

NOTE:
CONTRACTOR TO FIELD VERIFY
EXISTING UTILITY LOCATIONS

						I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.			PROJ. NO.			ADVANCED ENGINEERING CONCEPTS 1360 INTERNATIONAL DR, SUITE #1 EAU CLAIRE, WI 54701 PH: 715-552-0330 info@aec.engineering COPYRIGHT 2021 AEC LLC.	OVERALL SITE PLAN	HALLBERG MULTI-TENANT SITE PLAN HALLBERG MARINE INC DURAND BUILDERS, INC FOREST BLVD, (COUNTY HWY 22/30) WYOMING, MN	DWG NAME 21081 PG3 SITE	3 1
						PRINT NAME: SEAN P. BOHAN LICENSE # 46834			21081						DATE 10/2021	
						SIGNATURE: _____ DATE: _____										
NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED											

TYPICAL PAVEMENT SECTION

BITUMINOUS PAVEMENT

8" BASE COURSE

NOTE: PAVEMENT SECTIONS ARE SHOWN FOR HOLD-DOWN CALCULATIONS ONLY. PAVEMENT SECTIONS TO BE RECOMMENDED BY GENERAL CONTRACTOR.

HEAVY-DUTY PAVEMENT SECTION

BITUMINOUS PAVEMENT

12" BASE COURSE

NOTE: PAVEMENT SECTIONS ARE SHOWN FOR HOLD-DOWN CALCULATIONS ONLY. PAVEMENT SECTIONS TO BE RECOMMENDED BY GENERAL CONTRACTOR.

FOREST BLVD (HWY 22/30)

MULTI-TENANT SITE PLAN PHASE 2

PROPOSED BUILDINGS: 45,000-SF
PROPOSED PAVEMENT: 51,759-SF
PROPOSED CONCRETE S/W: 1,800-SF
PARKING STALLS: ~64 TOTAL (3 ACCESSIBLE)

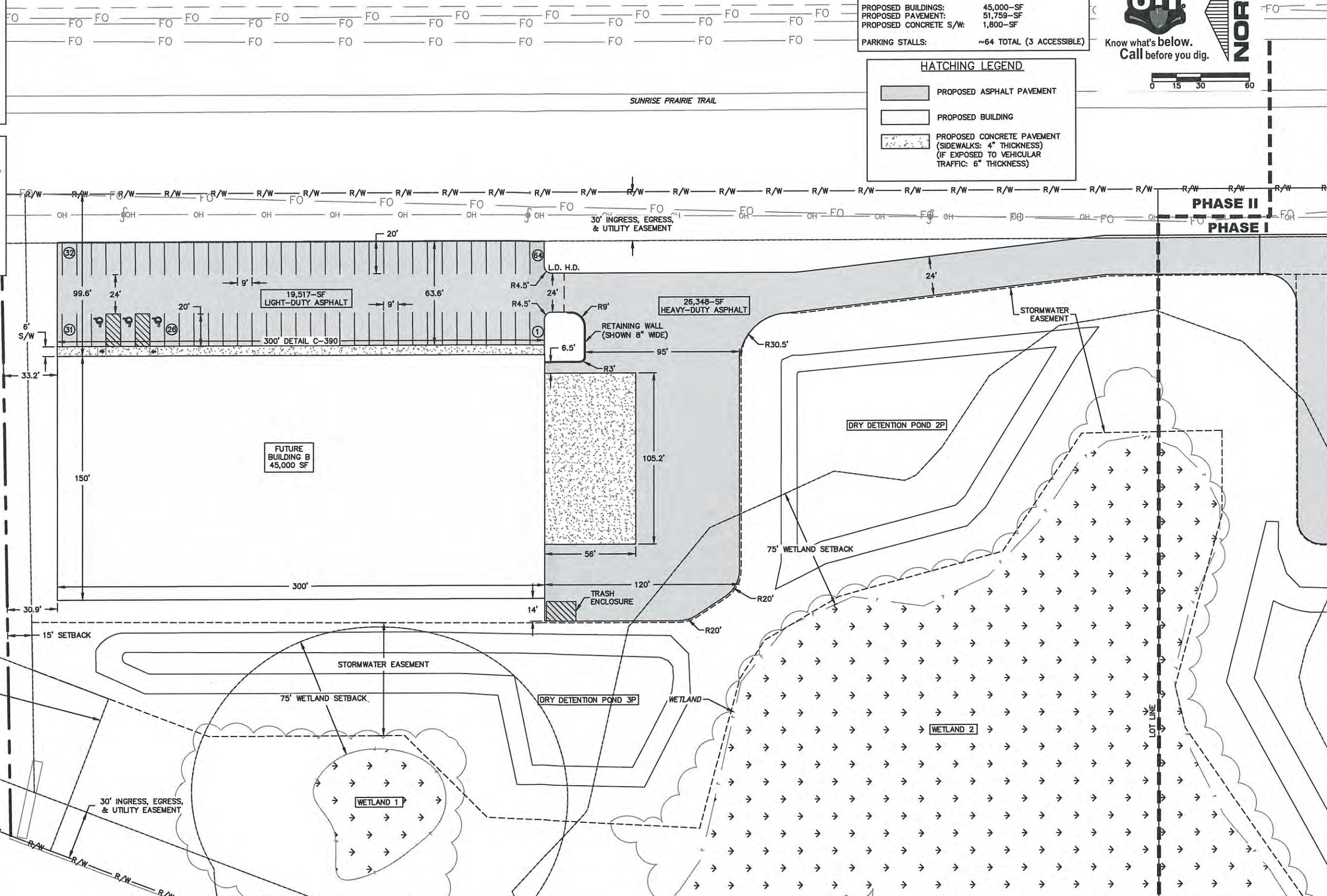
HATCHING LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED BUILDING
- PROPOSED CONCRETE PAVEMENT (SIDEWALKS: 4" THICKNESS) (IF EXPOSED TO VEHICULAR TRAFFIC: 6" THICKNESS)



Know what's below.
Call before you dig.

0 15 30 60



NOTE: CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS

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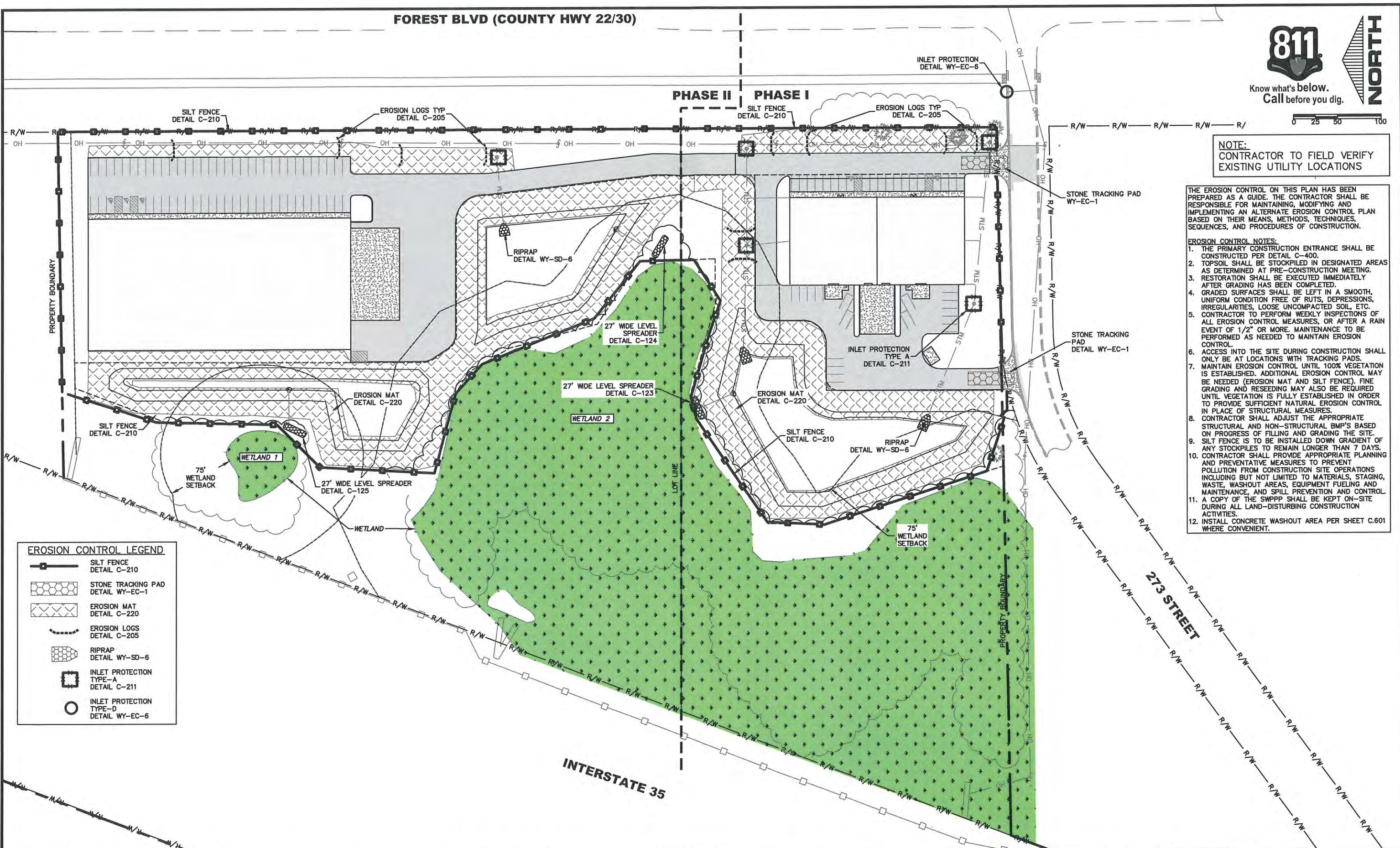
NOTE:
CONTRACTOR TO FIELD VERIFY
EXISTING UTILITY LOCATIONS

THE EROSION CONTROL ON THIS PLAN HAS BEEN PREPARED AS A GUIDE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, MODIFYING AND IMPLEMENTING AN ALTERNATE EROSION CONTROL PLAN BASED ON THEIR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.

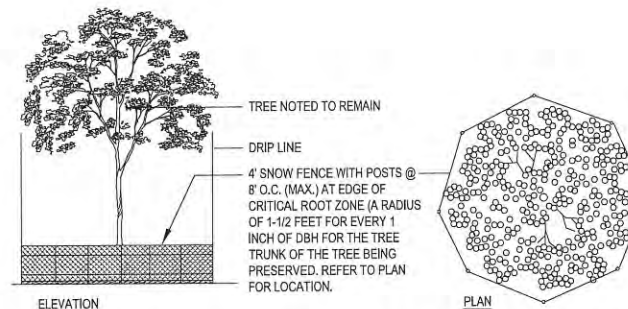
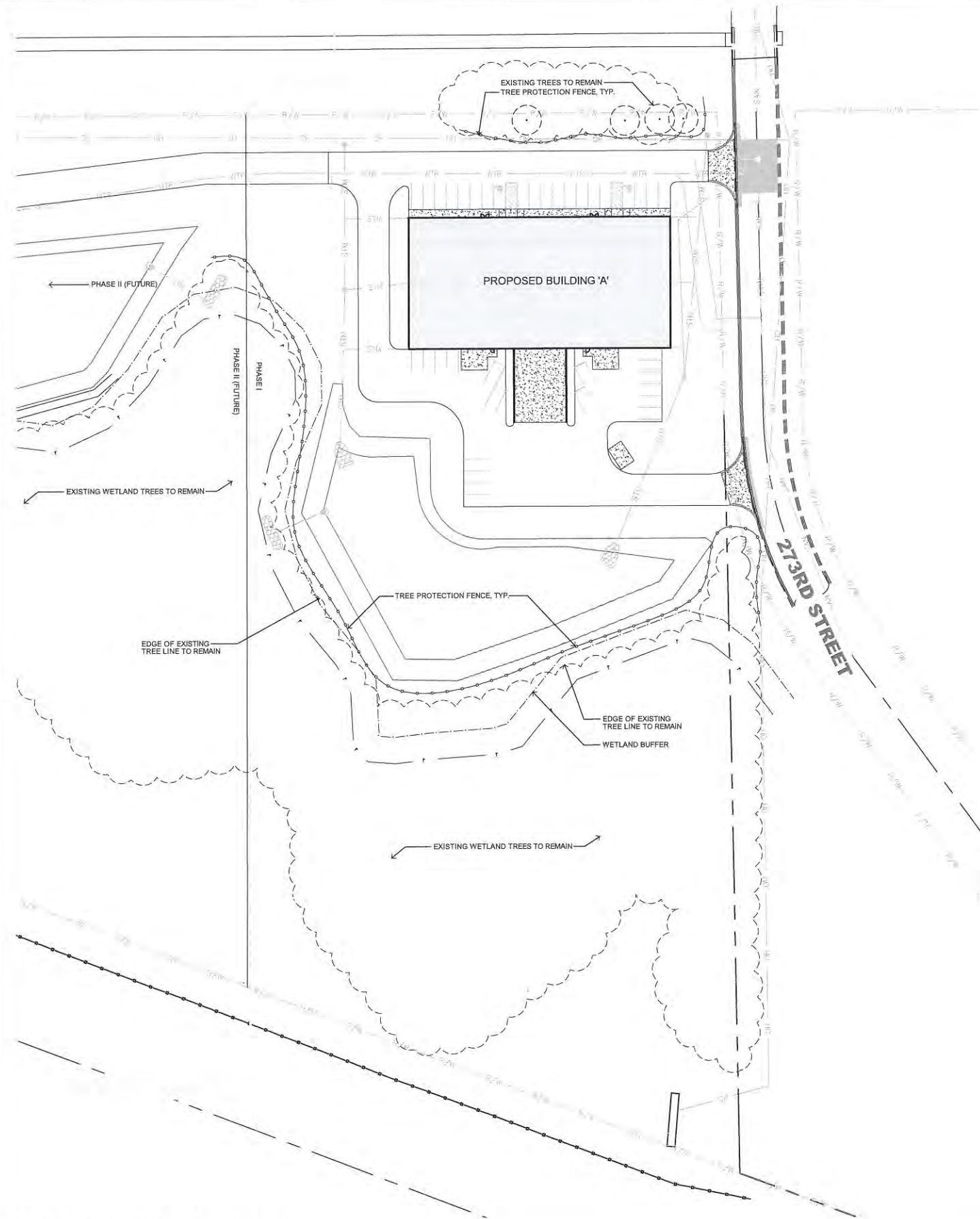
- EROSION CONTROL NOTES:**
1. THE PRIMARY CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED PER DETAIL C-400.
 2. TOPSOIL SHALL BE STOCKPILED IN DESIGNATED AREAS AS DETERMINED AT PRE-CONSTRUCTION MEETING.
 3. RESTORATION SHALL BE EXECUTED IMMEDIATELY AFTER GRADING HAS BEEN COMPLETED.
 4. GRADED SURFACES SHALL BE LEFT IN A SMOOTH, UNIFORM CONDITION FREE OF RUTS, DEPRESSIONS, IRREGULARITIES, LOOSE UNCOMPACTED SOIL, ETC.
 5. CONTRACTOR TO PERFORM WEEKLY INSPECTIONS OF ALL EROSION CONTROL MEASURES, OR AFTER A RAIN EVENT OF 1/2" OR MORE, MAINTENANCE TO BE PERFORMED AS NEEDED TO MAINTAIN EROSION CONTROL.
 6. ACCESS INTO THE SITE DURING CONSTRUCTION SHALL ONLY BE AT LOCATIONS WITH TRACKING PADS.
 7. MAINTAIN EROSION CONTROL UNTIL 100% VEGETATION IS ESTABLISHED. ADDITIONAL EROSION CONTROL MAY BE NEEDED (EROSION MAT AND SILT FENCE). FINE GRADING AND RESEEDING MAY ALSO BE REQUIRED UNTIL VEGETATION IS FULLY ESTABLISHED IN ORDER TO PROVIDE SUFFICIENT NATURAL EROSION CONTROL IN PLACE OF STRUCTURAL MEASURES.
 8. CONTRACTOR SHALL ADJUST THE APPROPRIATE STRUCTURAL AND NON-STRUCTURAL BMP'S BASED ON PROGRESS OF FILLING AND GRADING THE SITE.
 9. SILT FENCE IS TO BE INSTALLED DOWN GRADIENT OF ANY STOCKPILES TO REMAIN LONGER THAN 7 DAYS.
 10. CONTRACTOR SHALL PROVIDE APPROPRIATE PLANNING AND PREVENTATIVE MEASURES TO PREVENT POLLUTION FROM CONSTRUCTION SITE OPERATIONS INCLUDING BUT NOT LIMITED TO MATERIALS, STAGING, WASTE, WASHOUT AREAS, EQUIPMENT FUELING AND MAINTENANCE, AND SPILL PREVENTION AND CONTROL.
 11. A COPY OF THE SWPPP SHALL BE KEPT ON-SITE DURING ALL LAND-DISTURBING CONSTRUCTION ACTIVITIES.
 12. INSTALL CONCRETE WASHOUT AREA PER SHEET C.601 WHERE CONVENIENT.

EROSION CONTROL LEGEND

- SILT FENCE
DETAIL C-210
- STONE TRACKING PAD
DETAIL WY-EC-1
- EROSION MAT
DETAIL C-220
- EROSION LOGS TYP
DETAIL C-205
- RIPRAP
DETAIL WY-SD-6
- INLET PROTECTION
TYPE-A
DETAIL C-211
- INLET PROTECTION
TYPE-D
DETAIL WY-EC-6



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.				PROJ. NO. 21081		ADVANCED ENGINEERING CONCEPTS 1360 INTERNATIONAL DR, SUITE #1 EAU CLAIRE, WI 54701 PH: 715-552-0330 Info@aec.engineering COPYRIGHT 2021 AEC LLC.		STORMWATER POLLUTION PREVENTION PLAN		HALLBERG MULTI-TENANT SITE PLAN HALLBERG MARINE INC DURAND BUILDERS, INC FOREST BLVD, (COUNTY HWY 22/30) WYOMING, MN		DWG NAME 21081 PG12 SWPPP	12
NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED	PRINT NAME: SEAN P. BOHAN	LICENSE # 46834	SIGNATURE:	DATE:			DATE 10/2021	16



NOTE: TREE PROTECTION SHALL BE PROVIDED BY CONTRACTOR AS REQUIRED TO AIDE IN SURVIVABILITY OF EXISTING TREES TO REMAIN. DO NOT STORE MATERIALS OR DRIVE EQUIPMENT WITHIN THE TREE DRIP LINE AS DESIGNATED ABOVE. MAINTAIN THE FENCE INTEGRITY AT ALL TIMES THROUGHOUT CONSTRUCTION.

TREE PROTECTION FENCE SHALL BE IN PLACE PRIOR TO THE START OF DEMOLITION.

1 EXISTING TREE PROTECTION DETAIL

Municipal Tree Replacement Requirements:

Per City of Wyoming Requirements: (1) Overstory Tree and (2) Understory Trees are required per 1/10th acre of plantable area

Plantable Acres On Site (Phase I Only): 0.88 Acres
Overstory Trees Required On Site: 9
Understory Trees Required On Site: 18

Overstory Trees to Remain as Credit: 4
Understory Trees to Remain as Credit: 0

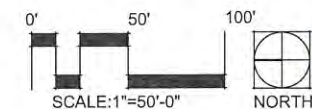
Total Overstory Trees Required to be Planted: 5
Total Understory Trees Required to be Planted: 18

Tree Removals Per Civil Plans: Sheet 2/11

Refer to Sheet L3 for Phase I Credit Calculations

General Notes:

1. Refer to Sheet L1 for Tree Preservation Plan.
2. Refer to Sheet L2 for Landscape Plans.
3. Refer to Sheet L3 and L4 for Details, Notes, and Schedules.
4. Contractor to coordinate work in the city easement or right-of-way with City of Wyoming.
5. Protect existing trees to remain from damage during construction.
6. Place a minimum of 4" topsoil or slope dressing on all areas disturbed by construction, including right-of-way boulevards, unless specified otherwise. Re-use stripped topsoil.
7. Protect existing paving during landscape installation.



TREE PRESERVATION PLAN:

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PRELIMINARY

PROJ. NO.
21081

CALYX
DESIGN GROUP

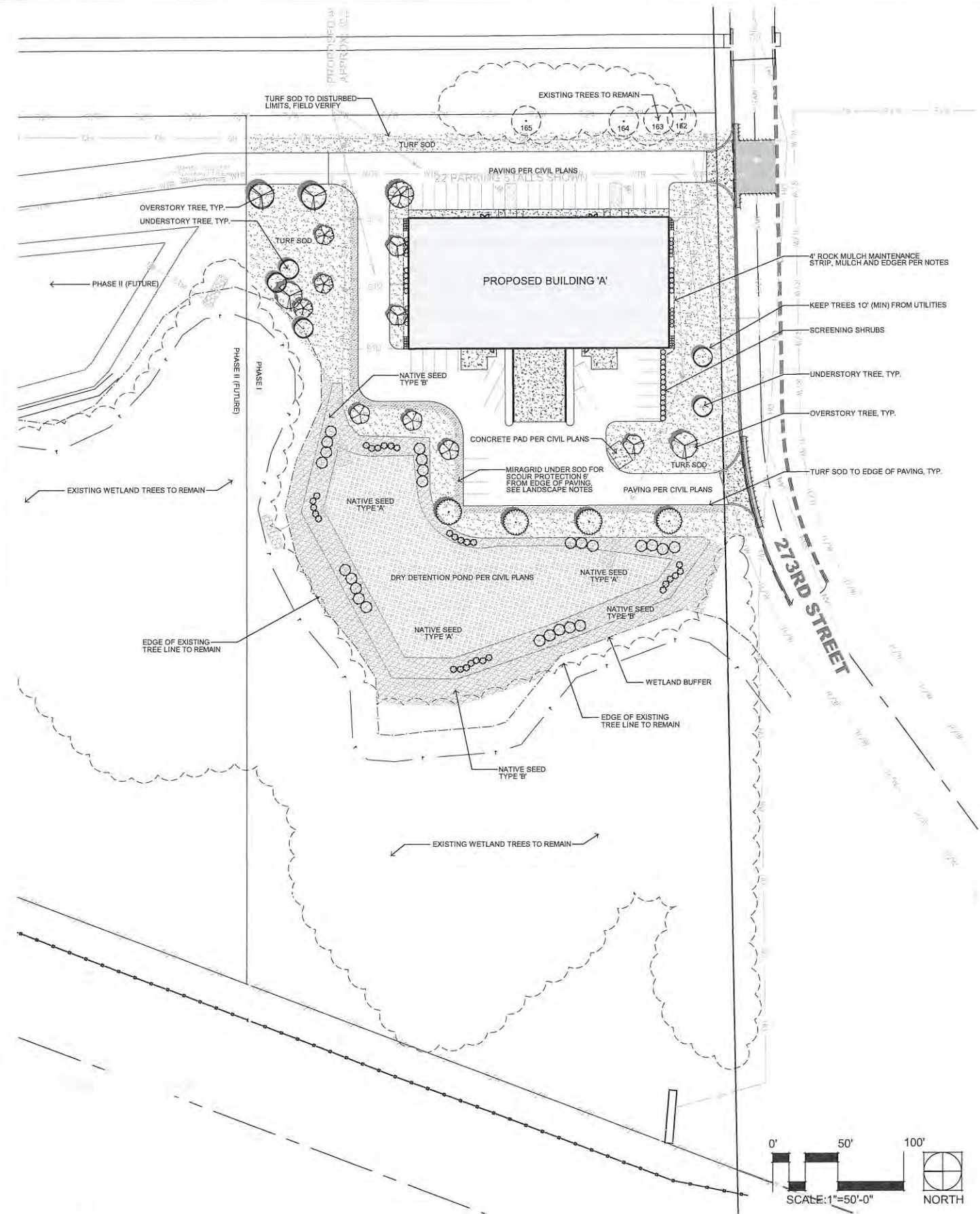
CALYX DESIGN GROUP
475 CLEVELAND AVE. NORTH
SUITE 101A
SAINT PAUL, MN 55104
PH: 651-788-9018

TREE PRESERVATION
PLAN

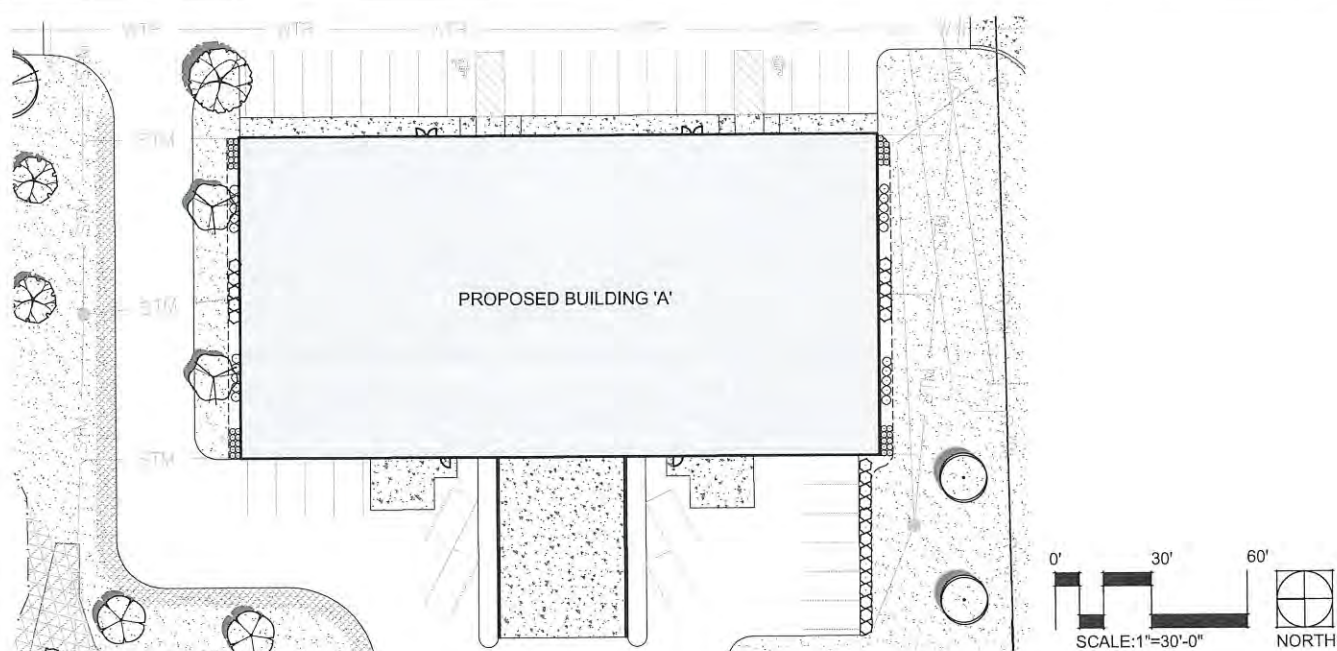
NEW WYOMING, MN MULTI-TENANT SITE PLAN
HALLBERG MARINE INC
DURAND BUILDERS, INC
FOREST BLVD, (COUNTY HWY 22/30)
WYOMING, MN

DWG NAME
DATE
10/2021

L1



LANDSCAPE PLAN - NORTH:



FOUNDATION PLANTING ENLARGEMENT

PLANT SCHEDULE

OVERSTORY TREE	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	As	Acer x freemanii 'Sienna'	Sienna Glen Maple	2.5" Cal.	B&B	2	
	Gl	Gleditsia triacanthos inermis 'Skycole' TM	Skyline Thornless Honey Locust	2.5" Cal.	B&B	1	
	Qr	Quercus rubra	Northern Red Oak	2.5" Cal.	B&B	2	Spring Dug
UNDERSTORY TREE	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Ao	Aesculus glabra	Ohio Buckeye	1.5" Cal.	B&B	3	
	Mp	Malus x 'Prairifire'	Prairifire Crab Apple	1.5" Cal.	B&B	3	
	Ov2	Ostrya virginiana	Ironwood	1.5" Cal.	B&B	4	
	Pn	Prunus nigra 'Princess Kay'	Princess Kay Plum	1.5" Cal.	B&B	5	
	Sl	Syringa reticulata 'Ivory Silk'	Ivory Silk Japanese Tree Lilac	1.5" Cal.	B&B	3	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Cg	Cornus racemosa	Gray Dogwood	5 gal.	Pot	29	
	DI	Diervilla lonicera	Dwarf Bush Honeysuckle	3 gal.	Pot	20	
	Ra	Ribes alpinum	Alpine Currant	5 gal.	Pot	24	
	VI	Viburnum lentago	Nannyberry	5 gal.	Pot	25	
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	REMARKS
	Ck	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal.	Pot	39	

General Notes:

1. Refer to Sheet L1 for Tree Preservation Plan.
2. Refer to Sheet L2 for Landscape Plans.
3. Refer to Sheet L3 and L4 for Details, Notes, and Schedules.
4. Contractor to coordinate work in the city easement or right-of-way with City of Wyoming.
5. Protect existing trees to remain from damage during construction.
6. Place a minimum of 4" topsoil or slope dressing on all areas disturbed by construction, including right-of-way boulevards, unless specified otherwise. Re-use stripped topsoil.
7. Protect existing paving during landscape installation.



NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PRELIMINARY

PROJ. NO.
21081

CALYX
DESIGN GROUP

CALYX DESIGN GROUP
475 CLEVELAND AVE. NORTH
SUITE 101A
SAINT PAUL, MN 55104
PH: 651-788-9018

LANDSCAPE PLAN
PHASE I

NEW WYOMING, MN MULTI-TENANT SITE PLAN
HALLBERG MARINE INC
DURAND BUILDERS, INC
FOREST BLVD, (COUNTY HWY 22/30)
WYOMING, MN

DWG NAME
DATE
10/2021

L2

NOTES:

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

FIELD STAKE TREE LOCATIONS FOR THE APPROVAL OF THE LANDSCAPE ARCHITECT

INSTALL 6" WHITE PERFORATED FIELD TILE TRUNK GUARDS BY OCTOBER 15.

MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 1-2 IN. HIGHER IN SLOWLY DRAINING SOILS.

WOOD MULCH: DO NO PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE FOR AFTER PLANTING.

NOTE: FOR DIMENSIONS OF PLANTING AREAS SEE PLAN. SOIL BACKFILL SHALL BE GARDEN BLEND SOIL (EQUAL MIX OF COMPOST, SAND & SOIL) PER NOTES.

INSTALL TOMAHAWK SUB-SURFACE TREE ROOT BALL STABILIZER HOOKS, MINIMUM OF (2) PER TREE. ABOVE-GRADE STAKES AND GUY WIRES ARE STRICTLY PROHIBITED.



EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

MULCH RING: 6 FT. DIA. MINIMUM 8FT. DIA. PREFERRED

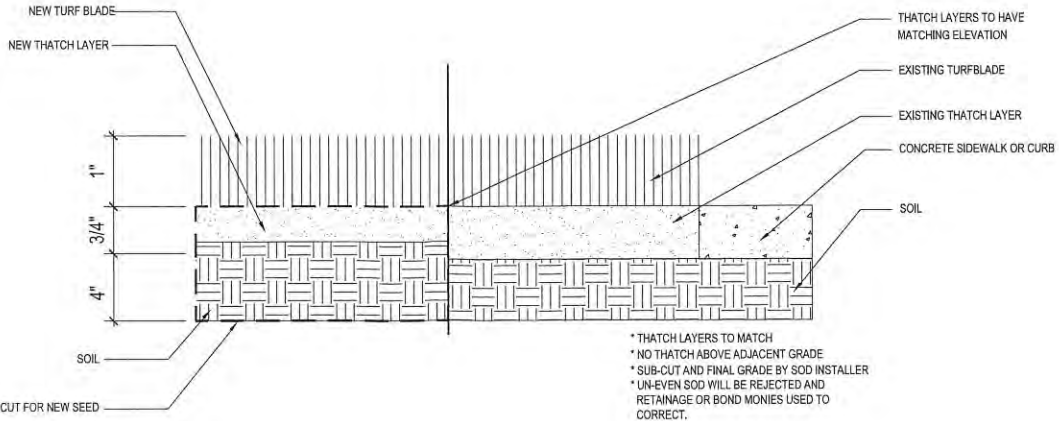
4 IN. HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL (FOR ISOLATED TREES ONLY).

REMOVE ALL TWINE, ROPE AND WIRE, AND BURLAP FROM TOP THIRD OF ROOT BALL

IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 6 IN. INTO PLANTING HOLE.

PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. ENSURE PLANT PIT'S PASS REQUIRED INFILTRATION TEST AS OUTLINED IN NOTE #27.

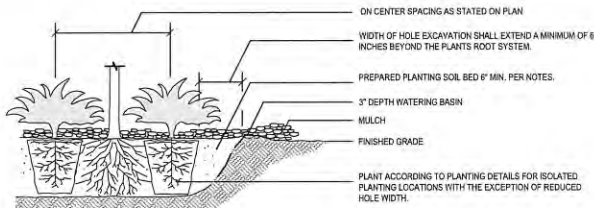
TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.



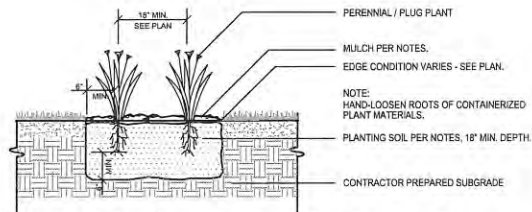
*THATCH LAYERS TO MATCH
*NO THATCH ABOVE ADJACENT GRADE
*SUB-CUT AND FINAL GRADE BY SOD INSTALLER
*UN-EVEN SOD WILL BE REJECTED AND RETAINAGE OR BOND MONIES USED TO CORRECT.

5 SECTION - NEW TURF AGAINST EXISTING
L3 NOT TO SCALE

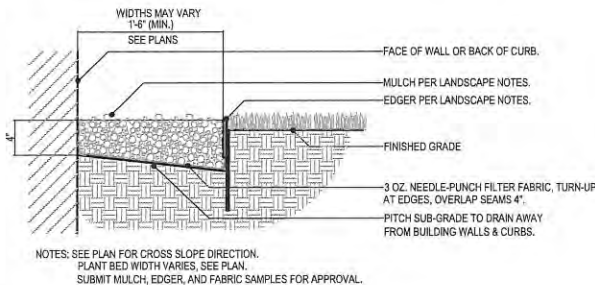
1 DECIDUOUS TREE PLANTING - SECTION
L3 NOT TO SCALE



2 TYP. SHRUB PLANTING - SECTION
L3 NOT TO SCALE



3 TYP. PERENNIAL PLANTING DETAIL
L3 NOT TO SCALE



4 MULCH DETAIL
L3 NOT TO SCALE

FIELD TREE INVENTORY LOG

PROJECT NAME: Tree Survey at Forest Boulevard (County Hwy 22/33), Wyoming, MN					Austin Hallberg, Owner	
DATE:	9/16/2021	Lot Condition:	Undeveloped			Color Key:
TIME:	2:00 PM	Sunny	82 Degrees F.			Gray Highlight = Not Significant
						Blue Highlight = Phase 2 Tree
						Yellow Highlight = Phase 1 Credit
TAG NO.	TREE DIA. (IN)	SPECIES	CONDITION	SIGNIFICANT Y/N?	REMOVE Y/N?	NOTES
162	19	WHITE OAK	GOOD	Y	N	
163	12	PIN OAK	FAIR	Y	N	
164	40	PIN OAK	POOR	Y	N	
165	27	PIN OAK	FAIR	Y	N	
166	31	WHITE OAK	GOOD	Y	Y	3-TRUNK 27", 25", 24"
167	12' HGT	CEDAR	GOOD	Y	Y	4 CEDAR TREE CLUSTER - SAME ROOT SYSTEM
168	12' HGT	CEDAR	FAIR	Y	Y	5 CEDAR TREE CLUSTER - SAME ROOT SYSTEM
169	37	WHITE OAK	GOOD	Y	Y	
170	12' HGT	CEDAR	GOOD	Y	Y	
171	12' HGT	CEDAR	GOOD	Y	Y	
172	12' HGT	CEDAR	GOOD	Y	Y	
173	39	WHITE OAK	GOOD	Y	Y	
174	25	WHITE OAK	GOOD	Y	Y	
175	26	WHITE OAK	GOOD	Y	Y	
176	30' HGT	SPRUCE	FAIR	Y	Y	EVIDENCE OF HOLLOW TRUNK
177	37	WHITE OAK	GOOD	Y	Y	
178	12' HGT	CEDAR	GOOD	Y	Y	
179	10	BLACK CHERRY	POOR	Y	Y	2-TRUNK 10", 10"
180	9	BOXELDER	POOR	Y	Y	2-TRUNK 9", 9"
181	13	WILLOW	POOR	N		NOT SIGNIFICANT - TOO SMALL
182	10	BOXELDER	POOR	Y	Y	
183	16	WILLOW	POOR	N		NOT SIGNIFICANT - TOO SMALL
184	18	BOXELDER	POOR	Y	Y	
185	12' HGT	CEDAR	GOOD	Y	Y	
186	12' HGT	CEDAR	GOOD	Y	Y	
187	20' HGT	CEDAR	GOOD	Y	Y	
188	12' HGT	CEDAR	GOOD	Y	Y	3 CEDAR TREE CLUSTER - SAME ROOT SYSTEM
189	30' HGT	CEDAR	GOOD	Y	Y	
190	12' HGT	CEDAR	GOOD	Y	Y	
191	12' HGT	CEDAR	GOOD	Y	Y	
192	15' HGT	CEDAR	GOOD	Y	Y	
193	12' HGT	CEDAR	GOOD	Y	Y	
194	12' HGT	CEDAR	GOOD	Y	Y	
195	15' HGT	CEDAR	GOOD	Y	Y	
	32	NO. OF SIGNIFICANT TREES TAGGED				
	23	NO. OF SIGNIFICANT TREES TAGGED WITHIN THE PHASE I BOUNDARY				
	4	NO. OF OVERSTORY TREES TO REMAIN AS CREDIT FOR PHASE I				
	0	NO. OF UNDERSTORY TREES TO REMAIN AS CREDIT FOR PHASE I				

CALYX DESIGN GROUP

Landscape Architecture + Planning
calyxdesigngroup.com | 651.788.9018

City of Wyoming Tree Inventory Criteria:
All Overstory Hardwood Trees 6" dia. +
All Overstory Softwood Trees 12" dia. +
All Coniferous Trees 12' Hgt. +
Softwoods: Catalpa, Populus, Willow, Sit, Maple, Elm
Condition Rating:
Good = Full Canopy, No Signs of Stress or Injury
Fair = Most of the Canopy, Some Stress or Minor Injury
Poor = Significant Canopy Loss, Extensive Damage or Disease, Short Life Expectancy

DETAILS, NOTES, & SCHEDULES:

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

PRELIMINARY

PROJ. NO.
21081

CALYX DESIGN GROUP

CALYX DESIGN GROUP
475 CLEVELAND AVE. NORTH
SUITE 101A
SAINT PAUL, MN 55104
PH: 651-788-9018

DETAILS

NEW WYOMING, MN MULTI-TENANT SITE PLAN
HALLBERG MARINE INC
DURAND BUILDERS, INC
FOREST BLVD, (COUNTY HWY 22/30)
WYOMING, MN

DWG NAME
DATE
10/2021

L3

Landscape Notes:

1. Tree saucer mulch to be four inches (4") depth natural single-shred hardwood mulch for trees outside of a plant bed. Install per tree planting detail.
2. Refer to civil plan sheets for grading, drainage, site dimensions, survey, tree removal, proposed utilities & erosion control.
3. All plant material shall comply with the latest edition of the American Standard for Nursery Stock, American Association of Nurserymen. Unless noted otherwise, deciduous shrubs shall have at least 5 canes at the specified shrub height. Plant material shall be delivered as specified. All deciduous trees are measured at 48" from finished grade to determine tree diameter (DBH). All coniferous trees are measured from finished grade to the top of the central leader. If no central leader is present on coniferous trees, that plant is rejected and must be replaced immediately.
4. Plan takes precedence over plant schedule if discrepancies in quantities exist.
5. The "Contractor" is the individual or company responsible for performing the work as noted in this plan set. This may be a landscaper, earthwork contractor, or other trade under contract with the Owner or General Contractor.
6. Adjustment in location of proposed plant material may be needed in field. Should an adjustment be required, the client will provide field approval. Significant changes may require city review and approval.
7. The project landscape contractor shall be held responsible for watering and properly handling all plant materials brought on the site both before and after installation. Schedule plant deliveries to coincide with expected installation time within 36 hours.
8. This plan assumes the company responsible for installing turf and trees is also responsible for providing the planting soil and "fine grading" in all landscape areas. This also includes clearing, grubbing, excavation, and the import & spreading of planting soil.
9. The landscape contractor shall provide the owner with a watering schedule appropriate to the project site conditions and to plant material growth requirements.
10. If the landscape contractor is concerned or perceives any deficiencies in the plant selections, soil conditions, drainage or any other site condition that might negatively affect plant establishment, survival or guarantee, they must bring these deficiencies to the attention of the landscape architect & client prior to bid submission.
11. Contractor shall establish to his/ her satisfaction that soil and compaction conditions are adequate to allow for proper drainage at and around the building site.
12. Contractor is responsible for ongoing maintenance of all newly installed material until time of owner acceptance or for 30 days after installation, whichever comes first. This includes watering, mowing, etc. Any acts of vandalism or damage which may occur prior to owner acceptance shall be the responsibility of the contractor. Contractor shall provide the owner with a maintenance program including, but not limited to, pruning, fertilization and disease/pest control.
13. Warranty: The contractor shall guarantee newly planted material through one calendar year from the date of written owner acceptance. Plants that exhibit more than 10% die-back damage shall be replaced at no additional cost to the owner. The contractor shall also provide adequate tree wrap and deer/rodent protection measures for the plantings during the warranty period.
14. This layout plan constitutes our understanding of the landscape requirements listed in the ordinance. Changes and modifications may be requested by the city based on applicant information, public input, council decisions, etc.
15. The landscape contractor shall be responsible for obtaining any permits and coordinating inspections as required throughout the work process.
16. Plant size & species substitutions must be approved in writing prior to acceptance in the field.
17. All edger shall be professional grade black steel edger, 1/8" thick, Ryerson or Equal. Anchor every 18" on-center (minimum). Submit sample. All wood mulch to be locally-available, single-shred hardwood free of twigs, leaves, and foreign matter over free-draining weed mat. Submit samples of mulch for Owner review and final selection.
18. Landscape Contractor is responsible for coordination with the General Contractor, to protect the new improvements on and off-site during landscape work activities. Report any damage to the General Contractor immediately.
19. All seed/sod areas shall be prepared prior to planting with a harley power box rake or equal to provide a firm planting bed free of stones, sticks, construction debris, etc. Any alternate seed mixtures, rates, & application method noted shall be submitted to the landscape architect for approval.
20. The Landscape Contractor shall furnish samples of all landscape materials for approval prior to installation.
21. The Landscape Contractor shall clear and grub the underbrush from within the work limits to remove dead branches, leaves, trash, weeds and foreign materials. Remove trees where noted on the plan, including the stump to 30" below grade.
22. The landscape contractor shall contact Gopher State One Call no less than 48 hours before digging for field utility locations.
23. The landscape contractor shall be responsible for the removal of erosion control measures once vegetation has been established to the satisfaction of the municipal staff. This includes silt curtain fencing and sediment logs placed in the landscape.
24. The landscape contractor shall be responsible for visiting the site to become familiar with the conditions prior to bidding and installation. Coordinate with the general contractors on matters such as fine grading, landscaped area conditions, staging areas, irrigation connection to building, etc.
25. Landscape contractor must prove the open sub-grade of all planting areas after their excavation is capable of infiltrating a minimum requirement of 1/4-inch of water per hour prior to installation of plant materials, topsoil, irrigation, weed mat, and mulch. Planting areas not capable of meeting this requirement shall have 4" diameter X 48" depth holes augured every 36" on-center and filled with MnDOT Free-Draining Coarse Filter Aggregate. Re-test sub-grade percolation for compliance to infiltration minimum requirement.
26. Irrigation: The landscape contractor shall furnish an Irrigation Layout Plan for head-to-head coverage of all tree and turf planting areas. Use commercial grade irrigation equipment and provide cut-sheets and provide (3) copies of the proposed layout plan to the Civil Engineer for review and approval prior to installation. Coordinate irrigation connection point, controller, back-flow and valve locations with the architect and general contractor. Irrigation contractor to verify if a deduct meter is required and include in bid. Include (1) fall shut-down and (1) spring start-up in bid.
27. Rock mulch: Where noted per plans, rock mulch shall be locally available 1-1/2" Buff Limestone rock mulch over fabric weed mat. Submit sample for Architect approval.
28. Subsurface reinforcement (where noted on Sheet L2) shall be contractor-installed Miragrid under sod for scour protection. Topsoil beneath the Miragrid shall be a sand-loam mix.

NATIVE SEEDING INSTALLATION METHOD:

Drop Seeding Onto Tilled Sites

This is the "standard" method for seeding on prepared sites such as those on construction projects.

- a) **Site Preparation:** The site should be prepared by loosening topsoil to a minimum depth of 3 inches.
- b) **Fertilizer:** Use a fertilizer analysis based on a soil test or a general recommendation is a 10-10-10 (NPK) commercial grade analysis at 200 lbs/acre.
- c) **Seed Installation:** Seed should be installed with a drop seeder that will accurately meter the types of seed to be planted, keep all seeds uniformly mixed during the seeding and contain drop seed tubes for seed placement (Brillion-type). The drop seeder should be equipped with a cultipacker assembly to ensure seed-to-soil contact.
- d) **Seeding Rates:** Rates are specified in the mixture tabulation for the specified mix.
- e) **Packing:** If the drop seeder is not equipped with a cultipacker, the site should be cultipacked following the seeding to ensure seed-to-soil contact.
- f) **Mulch:** Cover soil with a hydromulch consisting of natural wood fiber or paper fiber, water, and M-Binder at 100 lbs per acre.

Native Seeding Schedule:

Native Seed type 'A' in Storm Basin shall be:
MnDOT #35-241 Mesic Prairie General drilled into the topsoil layer at 60 lbs per acre. Submit seed mix for approval. Grading and Erosion Control per Civil Plans and Specifications. Add an additional 20lbs per acre of MnDOT 21-111 Oats Cover Crop to the mix below.

35-241 Mesic Prairie General					
Common Name	Scientific Name	Rate (lb/ac)	Rate (kg/ha)	% of Mix (by weight)	Seeds/ sq ft
big bluestem	Andropogon gerardii	2.00	2.24	5.48%	7.35
Indian grass	Sorghastrum nutans	2.00	2.24	5.48%	8.62
side-oats grama	Bouteloua curtipendula	1.60	1.78	4.35%	3.63
little bluestem	Schizachyrium scoparium	1.60	1.78	4.35%	8.62
nodding wild rye	Elymus canadensis	1.17	1.31	3.20%	2.23
slender wheatgrass	Elymus trachycaulus	1.00	1.12	2.73%	2.53
kalm's brome	Bromus kalmii	0.50	0.56	1.37%	1.47
prairie dropseed	Sporobolus heterolepis	0.07	0.08	0.18%	0.39
switchgrass	Panicum virgatum	0.05	0.07	0.17%	0.32
	Grasses Subtotal	10.00	11.21	27.39%	35.48
black-eyed susan	Rudbeckia hirta	0.31	0.35	0.86%	10.55
purple prairie clover	Dalea purpurea	0.19	0.21	0.51%	1.03
Early Sunflower	Helopsis helianthoides	0.13	0.15	0.34%	0.29
blue giant hyssop	Agastache foeniculum	0.06	0.07	0.15%	1.82
lead plant	Amorpha canescens	0.05	0.07	0.15%	0.25
Canada milk vetch	Astragalus canadensis	0.06	0.07	0.17%	0.39
white prairie clover	Dalea candida	0.06	0.07	0.17%	0.44
Canada tick trefoil	Desmodium canadense	0.06	0.07	0.18%	0.13
stiff sunflower	Helianthus pauciflorus	0.06	0.07	0.17%	0.09
wild bergamot	Monarda fistulosa	0.06	0.07	0.17%	1.61
stiff goldenrod	Oligoneuron rigidum	0.06	0.07	0.17%	0.94
smooth aster	Symphoricarum leave	0.06	0.07	0.17%	1.26
hoary vervain	Verbena stricta	0.06	0.07	0.17%	0.64
golden alexanders	Zizia aurea	0.06	0.07	0.18%	0.24
common milkweed	Asclepias syriaca	0.04	0.04	0.10%	0.06
butterfly milkweed	Asclepias tuberosa	0.04	0.04	0.10%	0.06
blue vervain	Verbena hastata	0.04	0.04	0.12%	1.50
rough blazing star	Liatris aspera	0.03	0.03	0.08%	0.18
great blazing star	Liatris pycnostachya	0.03	0.03	0.09%	0.13
	Symphoricarum ericoides	0.03	0.03	0.08%	2.30
	Forbs Subtotal	1.50	1.68	4.11%	23.89
Oats	Avena sativa	25.00	28.02	68.50%	11.14
	Cover Crop Subtotal	25.00	28.02	68.50%	11.14
	Total	36.60	40.91	100.00%	70.48
Purpose:	General mesic prairie mix for native roadsides, ecological restoration, or conservation program plantings.				
Planting Area:	Tallgrass Aspen Parklands, Prairie Parkland, and Eastern Broadleaf Forest Provinces. MnDOT Districts 2(west), 3B, 4, Metro, 6, 7 & 9				

Native Seed type 'B' in Upland areas shall be:
MnDOT #35-221 Dry Prairie General, seeded into the topsoil layer at 50.00 lbs per acre. Submit seed mix for approval. Grading and Erosion Control per Civil Plans and Specifications. Add an additional 20.00 lbs per acre of MnDOT #21-111 Oats Cover Crop to the mix below.

35-221 Dry Prairie General					
Common Name	Scientific Name	Rate (lb/ac)	Rate (kg/ha)	% of Mix (by weight)	Seeds/ sq ft
side-oats grama	Bouteloua curtipendula	3.00	3.36	8.22%	6.61
little bluestem	Schizachyrium scoparium	3.00	3.36	8.22%	16.53
nodding wild rye	Elymus canadensis	1.00	1.12	2.74%	1.91
kalm's brome	Bromus kalmii	0.73	0.82	2.00%	2.14
big bluestem	Andropogon gerardii	0.70	0.78	1.92%	2.57
Indian grass	Sorghastrum nutans	0.70	0.78	1.92%	3.09
blue grama	Bouteloua gracilis	0.50	0.56	1.37%	7.35
junegrass	Koeleria macrantha	0.25	0.28	0.69%	16.37
prairie dropseed	Sporobolus heterolepis	0.12	0.13	0.34%	0.73
	Grasses Subtotal	10.00	11.21	27.42%	59.30
black-eyed susan	Rudbeckia hirta	0.31	0.35	0.84%	10.32
purple prairie clover	Dalea purpurea	0.19	0.21	0.51%	1.02
hoary vervain	Verbena stricta	0.13	0.15	0.34%	1.29
lead plant	Amorpha canescens	0.09	0.10	0.26%	0.42
blue giant hyssop	Agastache foeniculum	0.06	0.07	0.17%	2.07
butterfly milkweed	Asclepias tuberosa	0.06	0.07	0.17%	0.10
Canada milk vetch	Astragalus canadensis	0.06	0.07	0.18%	0.40
bird's foot coreopsis	Coreopsis palmata	0.06	0.07	0.16%	0.21
white prairie clover	Dalea candida	0.06	0.07	0.15%	0.39
Canada tick trefoil	Desmodium canadense	0.06	0.07	0.18%	0.13
stiff sunflower	Helianthus pauciflorus	0.06	0.07	0.17%	0.09
wild bergamot	Monarda fistulosa	0.06	0.07	0.15%	1.42
stiff goldenrod	Oligoneuron rigidum	0.06	0.07	0.15%	0.93
large-flowered beard tongue	Penstemon grandiflorus	0.06	0.07	0.17%	0.32
smooth aster	Symphoricarum leave	0.06	0.07	0.17%	1.26
rough blazing star	Liatris aspera	0.04	0.04	0.12%	0.25
gray goldenrod	Solidago nemoralis	0.04	0.04	0.10%	3.86
	Symphoricarum ericoides	0.04	0.04	0.10%	2.58
	Forbs Subtotal	1.50	1.68	4.09%	26.96
Oats	Avena sativa	25.00	28.02	68.49%	11.13
	Cover Crop Subtotal	25.00	28.02	68.49%	11.13
	Total	36.50	40.91	100.00%	97.39
Purpose:	General dry prairie mix for native roadsides, ecological restoration, or conservation program plantings.				
Planting Area:	Tallgrass Aspen Parklands, Prairie Parkland, and Eastern Broadleaf Forest Provinces. MnDOT Districts 2(west), 3B, 4, Metro, 6, 7 & 8.				

NATIVE SEED REQUIRED MAINTENANCE - 3 YRS:

Native Grass and Forb Mixtures (mixtures beginning with the number 3)

Year 1

Establishment (spring seeding):

- 1) Prepare site - Late April - May
- 2) Seed - May 1 - June 1

Maintenance:

- 1) Mow (6-8 inches) - every 30 days after planting until September 30.
- 2) Weed Control - mowing should help control annual weeds. Spot spray thistles, etc.

Establishment (fall seeding):

- 1) Prepare site - Late August - early September
- 2) Seed - late September to freeze-up

Maintenance (following season):

- 1) Mow (6-8 inches) - once in May, June, and July
- 2) Weed Control - mowing should keep annual weeds down. Spot spray thistles, etc.

Evaluation:

- 1) Cover crop growing within 2 weeks of planting (except dormant plantings).
- 2) Seedlings spaced 1-6 inches apart in drill rows.
- 3) Native grass seedlings may only be 4-6 inches tall.
- 4) If there is a flush of growth from foxtail etc., mow as necessary.

Year 2

Maintenance:

- 1) Mow (6-8 inches) one time between June 1 - August 15 before weeds set seed.
- 2) Weed Control - mowing should keep annual weeds down. Spot spray thistles, etc.
- 3) Some sites may not require much maintenance the second year.

Evaluation:

- 1) Cover crop will be gone unless winter wheat was used in a fall planting.
- 2) Grasses forming clumps 1-6 inches apart in drill rows, but still short.
- 3) Some flowers should be blooming (black-eyed Susans, bergamot, etc.).
- 4) If there is a flush of growth from foxtail etc., mow site.

Year 3

Maintenance:

- 1) Mow only if necessary.
- 2) Weed Control - Spot spray thistles, etc.
- 3) Sites usually do not require much maintenance the third year.

Evaluation:

- 1) Planting should begin looking like a prairie - tall grasses, flowers, etc.

Long-term

Maintenance:

- 1) Weed Control - Spot spray thistles, etc.
- 2) Burning (3-5 year rotation) alternate spring and fall if possible.
- 3) Haying (3-5 year rotation) late summer or early fall. Alternate with burning (may substitute for burning).
- 4) Burning two years in a row will really "clean up" rough-looking sites.



DETAILS, NOTES, & SCHEDULES:

						PRELIMINARY	PROJ. NO. 21081	CALYX DESIGN GROUP CALYX DESIGN GROUP 475 CLEVELAND AVE. NORTH SUITE 101A SAINT PAUL, MN 55104 PH: 651-788-9018	DETAILS	NEW WYOMING, MN MULTI-TENANT SITE PLAN HALLBERG MARINE INC DURAND BUILDERS, INC FOREST BLVD, (COUNTY HWY 22/30) WYOMING, MN	DWG NAME	L4
											DATE	
											10/2021	
NO.	DATE	REVISIONS			DRAFTED BY	DESIGN BY	CHECKED					