

**AGENDA
PLANNING COMMISSION
CITY OF WYOMING, MINNESOTA
JUNE 22, 2021
7:00 PM**

CALL TO ORDER:

CALL OF ROLL:

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM:

“An opportunity for members of the public to address the Planning Commission on items not on the current Agenda. Items requiring Planning Commission action may be deferred to staff for research and future Planning Commission Agendas if appropriate. You will be limited to two (2) minutes and we ask that you conduct yourself in a professional, courteous manner, and refrain from the use of profanity. Failure to abide by this policy may result in the loss of your privilege to speak.”

APPROVAL OF MINUTES:

1. Consider approving the minutes of the “Regular Meeting” of the Wyoming, Minnesota Planning Commission for June 8, 2021.

SCHEDULED PUBLIC HEARINGS:

2. None.

NEW BUSINESS:

3. Site Plan Review: Sp-21-002 - Hallberg RV Storage Facility
Location: Forest Boulevard / County Road 30
Applicant: Advanced Engineering Concepts
Owner: Hallberg Inc. (Austin Hallberg)
Property ID Numbers: 21.10293.00, 21.11084.72

OLD BUSINESS:

4. None.

COMMUNICATIONS:

5. None.

UPDATES:

6. Site Plan Review of the Widseth addition and parking lot improvements was approved by the City Council on June 15th with the Planning Commission's recommended conditions.

ADJOURN**UPCOMING:**

7. Review of 2nd Draft of the Comprehensive Plan Update; Final Plat Summer Fields 2nd Addition.

**UNAPPROVED MINUTES
PLANNING COMMISSION
CITY OF WYOMING, MINNESOTA
JUNE 8, 2021
7:00PM**

CALL TO ORDER:

Planning Commission Chairman Lobermeier called the Regular Meeting of the Wyoming Planning Commission for June 8, 2021 to order at 7:00 PM

CALL OF ROLL:

On a Call of the Roll the following members of the Wyoming Planning Commission were present: Mark Lobermeier, Kevin Teel, Bryan Murdock, Katie West, and Roger Carr

ABSENT: None

Also Present: Fred Weck Zoning Administrator and Council Liaison Brett Ohnstad

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM: NONE

APPROVAL OF MINUTES:

1. Consider approving the minutes of the “Regular Meeting” of the Wyoming, Minnesota Planning Commission for May 25, 2021

A MOTION WAS MADE BY COMMISSIONER WEST, SECONDED BY COMMISSIONER CARR, TO APPROVE THE MINUTES OF THE “REGULAR MEETING” OF THE WYOMING, MINNESOTA PLANNING COMMISSION FOR MAY 25, 2021 AS SUBMITTED.

*Voting Aye: Murdock, West, Teel, Carr, and Lobermeier
Voting Nay: None
Abstain: None
Absent: None*

SCHEDULED PUBLIC HEARINGS: NONE

NEW BUSINESS

2. Site Plan Review Sp-21-001 Widseth Smith and Nolting
Location: 5368 266th Street
Applicant: PMI Construction Services

Zoning Administrator Weck noted that he had e-mailed out some additional information just prior to the meeting and placed copies at their places. He stated that in the staff report, staff had recommended tabling this request in order to give the applicant more time to revise and complete their plans. He stated that in the meantime, he had briefly gone through the additional information that Tim Houle of Widseth Smith and Nolting had provided and suggested that he go ahead and address some of the items that were noted in the staff report.

Tim Houle explained that he is a civil engineer with Widseth Smith and Nolting and noted that they frequently just go by Widseth. He stated that Mike Koch from PMI Construction was also present at the meeting and will be the contractor for the project. He stated that their building project will be split into two phases with the first just remodeling the existing building and the second phase will include adding a garage for their vehicles. He stated that they purposefully did not submit all the required documents with things like the lighting and signage plans because they wanted to see what the City thought about their big items before they invested too much time in the project. He stated that they understand why staff's initial recommendation was to table the application but noted that he is hopeful that they can have a discussion with the Commission to get feedback and garner conditional approval for moving forward with this application. He stated that there are a few things that are causing them some challenges that are really out of the ordinary such as supply chain problems and pricing challenges. He stated that they are concerned about the time frame of the project because of those issues and is another reason that they would like to keep the process moving forward. He noted to address the landscaping and screening concerns raised in the staff report, they have submitted some pictures and noted that the site is fairly well treed and explained that there are presently 9 trees on the site, 3 on the west side and 6 on the east side near the residential area. He stated that will need to figure out where to put 3 more trees in order to meet the request by the City. He stated that they understand that they will need to replace the 4 trees they plan to remove with this project in addition to adding the 3 more trees that are required.

Chair Lobermeier asked if the Commission had any questions for the applicant regarding trees and screening.

Commissioner West asked how close they are to having a preliminary landscape plan to show the locations of these trees. She stated that is something she would like to see but imagines that the City Council would also find it helpful.

Mr. Houle explained that they received the staff report on Friday and reiterated that they are pulling together some additional information, but wanted to see what the initial reaction is from the Commission and noted that he hopeful that by next Monday they will have a plan sheet to show.

Zoning Administrator Weck explained that the City Council packets go out on Friday, so they would need additional information from Mr. Houle by Thursday.

Mr. Houle stated that is helpful information and will have the information ready by then.

Commissioner Murdock noted that he thinks some understory trees between the residences and the business seem like the best way to go and doesn't know why the Commission should hold up the entire process surrounding this point.

Chair Lobermeier asked about tree removal along the east side and noted that some that were related to the U-drive for the garage and some were related to stormwater. He stated that to get the garage where it is needed with the U-drive makes sense and noted that he believes there is some landscaping that could be done there. He stated that he thinks there may be other options for stormwater that can be covered later.

Mr. Houle stated that related to landscaping and screening there is a requirement in the City ordinances related to screening between residential areas and a parking lot. He stated that the screening is supposed to be a wall, a fence, or densely planted compact hedge or tree cover not less than 4 feet in height. He stated that they wanted to get some kind of feedback from the Commission on which screening they would prefer. He stated that his first idea was to go with vegetation because he doesn't think a wall would be appropriate in that neighborhood.

Chair Lobermeier stated that the Commission is not in any position to tell the applicant's which way they should go, but noted that have probably seen vegetation more often in this type of situation.

Commissioner Murdock stated that any trees that meet the understory requirement as part of their screening, will count towards trees too.

Zoning Administrator Weck stated that it actually depends on what type of tree is chosen, for example, if they choose an evergreen that could work on the screening side also.

Mr. Houle noted that they had spoken preliminarily, when they purchased the building, about the idea of whether they wanted to spend the funds to put in a garage and thought about just using the existing parking lot and remodeling the building. If so, they would not have to do any screening and noted that may be something the City wanted to keep in mind in the future when they look at their ordinances because there is a bit of a dichotomy in the ordinance. He stated that if they want to put in a garage, they have to do screening, but if they did not do a garage, they would not have to provide screening. He moved on to discuss stormwater and drainage and explained that they do have rate control requirements and are proposing two stormwater basins that would have approximately a two-foot dish. He stated that it will be a grassed depression and will be mow-able. He stated that they sized the two basins for the 100-year, 24-hour storm and have driveway curb and gutters and driveway valley gutters to direct the new impervious from the building and from the U-drive into the basins. He stated that they believe they will able to show that they will be addressing stormwater on site and were not counting on infiltration but their understanding is that the soils are sandier in nature, so infiltration may occur. He stated that they did not show overflow elevations, but the general nature of the slope is towards Felton Avenue right now and that will not change. He noted that they will indicate on their drawings that both basins will overflow towards the street after detaining the 100-year, 24-hour storm. He stated that the finished floor measurement is at 902.6 and the top of the basin is right around 901, so they are asking for 1.6 feet rather than 2 feet. He stated that he understands the freeboard requirement, but would hope that the 1.6 feet would be found to be reasonable. He stated that it has been suggested to use a wet type seed mix and his thought was that they have to mow and maintain it, so he would hope that they could have some latitude to choose an appropriate seed mix based on the condition of the basin.

Chair Lobermeier asked how the water will get from the two new basins to the southwest corner of the site.

Mr. Houle stated that the basins on the east side are not set up to drain to the west side. He explained that the two basins on the east side will contain the 100-year, 24-hour storm.

Chair Lobermeier stated that the basins are not designed as wet detention but were designed to retain a 6-inch rainfall which is a lot. He noted that he is a retired civil engineer and questioned why the water was not taken to the west side where there is already a natural depression with an outlet. He asked if the applicant had taken a look at that to see if there is a way for them to bring storm water where it appears to want to go. He stated that most of the site drains there and has always drained there. They are not planning to add too much impervious surface which may also mean that no grading would be needed on the east side which would save some of the trees.

Mr. Houle explained that when they looked at the existing site, they noted that the drainage appears to be fine and did not want to interrupt or mess with the parking lot of the building. He agreed that the west appears to have capacity, but they believe that there is a highway easement over there, and were planning to stay away from interacting with MnDOT, if at all possible. When they decided to put in the improvements on the east side with the garage, they asked if there was a reasonable way to take it past or around the building and could not come up with a reasonable

way to do that which is why they proposed sizing the basins and were able to save 3 of the trees.

Chair Lobermeier referenced a project from a few years ago for a new dental office which ended up with a stormwater pond in the front and part of what he is talking about is in areas where that doesn't make sense to have to do that. He stated that it is their site plan, but if they are looking for options, that may be one to consider.

Mr. Houle stated that elevation-wise, if they were adding the garage at the first-floor elevation, they may have had a different take on whether they could go to the west, but since they are putting the garage basically between the first floor and the basement, it was lower than it would have been ideal to get across to the west side.

Chair Lobermeier stated that he is assuming staff will want to see where the water will go in the instance where the ponds fill up.

Mr. Houle stated that they can show where the overflow from the basins will go. He noted that the highest edge of the pavement is 900.6 feet.

Zoning Administrator Weck noted that when the streets were redone in the area, they had a tough time trying to figure out how to get the water to move because it is so flat in the area.

Commissioner Murdock asked if there was a reason that the drainage cannot go west along the north side of the building.

Mr. Houle stated that it would probably have to be piped because the entire new roof will go to the south. He noted that right now the north basin is there because trying to get everything to tilt to the south was going to be difficult. He stated that the staff report was correct that they did not indicate where the garbage enclosure would be kept and explained that they planned to put the garbage in the garage and will note that on their updated plan sheet. He stated that there were a few access questions from the staff report relating to sidewalks and the promotion of walkability. He stated that currently, the old clinic building has a sidewalk from the front door down to Felton and the City put in a sidewalk on the east side of Felton. He stated that they did not show a new sidewalk connecting their front door to Felton. He stated that the streets have been basically set up for vehicles and noted that some cities have wider streets so they can be used for parking or for people to walk along them. He stated that they would understand if they were a retail business or if they were still a clinic that the walkability may be more of a need, but with their type of business, there is not a lot of walk-up traffic. He stated that their request is that they do not have to continue the sidewalk between the new garage, the u-drive and up the sloped path to the front door. He stated that they are also requesting to use a 5-foot-wide sidewalk and noted that the existing sidewalk is 4 feet wide and complies with the ADA requirements.

Commissioner Teel stated that he would prefer a sidewalk even though the use will not be retail. He stated that he works in downtown St. Paul and he frequently walks during his lunchbreak and would like to give that opportunity not only to the citizens of the City, but also to the associates of Widseth so they are able to walk and head to the grocery store, for example, without having to just walk-through parking lots to get around the area. He noted that he understands that there isn't a crosswalk in the area, so he is not sure what the 'right' answer is, but is concerned that there is no way for their associates to get safely from their building to a sidewalk to take a walk during their lunch break to get to a restaurant or the grocery store.

Mr. Houle noted that he made a good point about the crossing and explained that they can go through the garage and out the u-drive because it has a pedestrian door. He reiterated that their request would be to allow their staff to come out the garage and the u-drive and cut across the street just like the present situation.

Zoning Administrator Weck stated that he agreed with Commissioner Teel's suggestion.

Commissioner Murdock questioned how they would walk around the front of their building and get from the front entry of the building to the u-drive.

Mr. Houle stated that currently only staff would go to the u-drive and would go through the garage.

Commissioner Murdock asked what would happen if this property is sold in the future to something that has a more retail use, and there is no sidewalk, would the City then require the new user to put in a sidewalk.

Zoning Administrator Weck stated that would only be if they had to do another site plan review.

Council Liaison Ohnstad stated that he would like to make sure that fire safety is taken into consideration and those types of vehicles would have easy access.

Mr. Houle addressed the comments in the staff report regarding lighting and signage. He noted that they now have a lighting plan from their electrical engineer so that will be submitted to the City. For signage, they do have a photo of the existing sign near Highway 8 and would propose to have something very similar to that at 266th and Highway 61. He noted that they have not yet made any decision regarding on-building sign and noted that it is not like their business will be an 'impulse' business for someone to see the sign and stop in.

Chair Lobermeier thanked Mr. Houle for having this dialogue with the Commission and noted that he thought it was a very helpful conversation.

Mr. Houle reiterated that they are hoping to keep the process moving forward.

- 3. MOTION BY COMMISSIONER LOBERMEIER, SECONDED BY COMMISSIONER WEST, TO RECOMMEND CONDITIONAL APPROVAL OF THE SITE PLAN REVIEW FOR PROPERTY LOCATED AT 5368 266TH STREET, FOR WIDSETH SMITH AND NOLTING, SUBJECT TO THE CONDITIONS NOTED IN THE STAFF REPORT, THAT INCLUDES THE TREE REPLACEMENT AND RE-SCREENING OF THE RESIDENTIAL AREA TO THE EAST AS DISCUSSED, NOTING THAT SCREENING, IF DONE WITH TREES MAY REDUCE THE ADDITIONAL TREES THAT NEED TO COME INTO THE SITE, THAT INFORMATION BE PROVIDED TO STAFF SHOWING WHERE WATER WILL FLOW ON THE SITE AS WELL AS THE FREEBOARD REQUESTED, THE ADDITION OF THE 5 FOOT SIDEWALK ,AS WELL AS A REQUIREMENT FOR A SIDEWALK FROM THE FRONT OF THE BUILDING, ALL THE WAY UP THE U-DRIVE OUT TO FELTON.**

Voting Aye: Murdock, West, Teel, Carr, and Lobermeier

Voting Nay: None

Abstain: None

Absent: None

Chair Lobermeier stated that he thinks this is a good project and is happy to see something go into this space. He asked how many employees will initially be using the building.

Mr. Houle stated that they currently have 10-11 employees and have room for close to 20 employees without including the basement space.

OLD BUSINESS: NONE

COMMUNICATIONS: NONE

UPDATES:

Sunrise Riverbank: Rezoning, Preliminary Plat, and Conditional Use Permit were approved by the City Council on June 1, 2021.

Zoning Administrator Weck noted that at the next meeting there will be a site plan review for Hallberg Self-Storage.

A MOTION WAS MADE BY COMMISSIONER MURDOCK, SECONDED BY COMMISSIONER TEEL, TO ADJOURN THE JUNE 8, 2021 “REGULAR MEETING” OF THE WYOMING, MINNESOTA PLANNING COMMISSION AT 7:53 PM.

Voting Aye: Murdock, West, Teel, Carr, and Lobermeier

Voting Nay: None

Abstain: None

Absent: None

CITY OF WYOMING
Planning Commission

TO: Planning Commission
FROM: Tom Ramler-Olson, City Planner
Fred Weck
MEETING DATE: June 22, 2021
RE: Site Plan review of Project at 27625 Forest Boulevard
APPLICANT: Advanced Engineering Concepts (Matt Appel)
OWNER: Hallberg Inc. (Austin Hallberg)
PROPERTY: PIDs 21.10293.00, 21.11084.72
FILE NO.: SP-21-002

Requested Action

Advanced Engineering Concepts (“applicant”), on behalf of Hallberg Inc. (“property owner”), is requesting a site plan review of a proposal to construct an indoor and outdoor recreational vehicle storage facility at the property 27625 Forest Boulevard (“subject property”). Plans provided by the applicant show improvements over two lots at the subject property: a north lot which will feature the buildings and associated site features (PID 21.10293.00; “north lot”), and an outlot south of it that will largely be used for an infiltration basin (PID 21.11084.72; “outlot”).

Staff Recommendation

Based on staff’s review and the standards for approval, staff recommends tabling consideration of the site plan proposed at 27625 Forest Boulevard based on the following findings:

1. Plans need to be revised so that the proposed buildings comply with the rear yard setback distance required for structures on lots zoned Industrial.
2. More detail must be provided about the proposed screening fence and indicated on the site plan describing the height, material, opacity, and other pertinent attributes.
3. Signs are not shown on any of the plans. Should they actually be part of the proposal, drawings need to be updated to indicate their location, size, and appearance.
4. The building design must be revised to propose an exterior material(s) that comply with Sections 40-287 (1) and 40-451.
5. The applicant must provide a Woodland Preservation Plan showing information consistent with Section 40-556, including but not limited to the species of trees on the subject property, trees proposed for preservation, trees proposed for removal, and replacement required by ordinance.

General Staff Review

The subject property is currently undeveloped consisting mostly of open area. The site is bound by Forest Boulevard (County Rd 22) to the east and I-35 and the Sunrise Prairie Trail to the west. Property to the south is commercial/light industrial (Truck, Trailer and RV Alignment shop). The adjoining parcel to the north is undeveloped and used for agricultural purposes. Surrounding properties to the east are primarily low-density residences.

Direction	Planned Land Use / Current Zoning
North	Light Industrial and General Business / A – Agriculture
West	Light Industrial and General Business / A – Agriculture (west of I-35)
South	Light Industrial and General Business / C – Commercial
East	Semi-Rural Housing / R2 - Rural Residential II

The proposed use at the subject property is indoor and outdoor storage of recreational vehicles. To accomplish the indoor storage, the plans show four buildings: the two most northern buildings (buildings 3 and 4) measuring 50 feet by 226 feet; the most southern (buildings 1 and 2) at 40 feet by 280 feet. Just south of the buildings is the outdoor storage area, composed of a row of 17 parking stalls, each sized to accommodate a recreational vehicle measuring 40 feet by 9 feet. The plans propose 103,021 square feet of gravel surfacing covering the subject property. Through conversation, the applicant has proposed that the subject property, minus the outlot with the infiltration basin, will be enclosed in a screening fence with an opaqueness of 90 percent. Between the driving area and the edge of the subject property is a 22-foot grass filter strip. In addition to the infiltration basin on the outlot, two more are shown between the grass strip and the front property line on both sides of the access drive.

General Comprehensive Plan and Zoning Ordinance

The subject property is guided Light Industry and General Business in the currently adopted Comprehensive Plan, which is described in that document as follows:

“Plan and zone for the development of a range of businesses including light manufacturing, offices, sales, and research and development. Selectively allow retail or service business by conditional use permit, particularly in the Light Industry area south of Downtown. Locations for industries designated by this plan include portions of the Highway 61 corridor and the site of the former landfill operation along Railroad Avenue. Apply zoning regulations to control site planning, landscaping, lighting, parking, truck handling, outdoor storage, signs, and access. All parcel access must be via City streets. Encourage private redevelopment of properties that have aging buildings and outdoor storage.

The Industrial and Business Area will allow a variety of light manufacturing, office-showroom and office buildings. Outdoor storage of good and materials should only be allowed under a “conditional use permit” that specifies visual screening with buildings, walls, fences, berms and/or landscaping.”

Section 40-521 specifies the circumstances that would require a conditional use permit for exterior storage, such as where “there exists potential that such storage may be a hazard to the public health, safety, convenience, morals, or has a depreciating effect upon nearby property values, or impairs scenic views, or constitutes a threat to living amenities.” The risks or threats posed by the exterior storage to any nearby residential are mitigated by the subject property being separated from those residential areas by a county road and the proposed screening fence that will obscure the storage. Therefore, there is no need for a conditional use permit.

The subject property was rezoned from Commercial to Industrial in August 2020. The purpose of the Industrial District is as follows:

“The Industrial district is established to provide standards of development for certain industrial or manufacturing uses that prefer to be located in choice or strategic sites and to prevent serious problems of compatibility with other non-industrial types of land uses.”

Self-storage is a permitted use in the Industrial District. The following table compares other standards in the Industrial District (Section 40-286) with what is proposed:

	Lot Width	Lot Size	Front Yard Setback	Side Yard Setback	Rear Yard Setback
Industrial District Standards	200 feet (215 on corner lots)	Min. 2.5-acres with Min. 1 acre buildable	135 feet from CL of highways & arterials	10 feet (principal building)	35 feet (principal building)
Proposal	>200 feet	>1 acre buildable	~170 feet	30 feet	22 feet

As noted in bold above, the proposed buildings encroach upon the rear yard setback by 13 feet. Staff requires that the applicant address this conflict and revise plans accordingly.

Access

The applicant proposes one access driveway from Forest Blvd onto the site. Section 40-681 requires that driveway access be a minimum of “sixteen (16) feet in width and shall not exceed twenty-two (22) feet in width.” Plans show the driveway access with a width of 30 feet. The County Engineer reviewed these plans and required that the width be 30 feet. Staff is waiting to hear whether Chisago County has any improvements required at County Road 30 such as turn lanes. Staff will require the access be located directly across from 279th Street rather than having an offset intersection.

To the west of the subject property is the Sunrise Prairie Trail. Existing conditions show two walking strips that connect that trail with the Sunrise Meadows subdivision on the other side of County Rd 22. Site improvements do not include any pedestrian access through the property to the Sunrise Prairie Trail.

Screening

The applicant is proposing a screening fence along the boundary of the subject property minus the south infiltration basin. Based on email communications, the applicant has suggested that the fence has a height of 8 feet and an opacity of 90 percent. Staff requires that the applicant update plans with annotation that formally documents the proposed design of the screening fence.

Per Section 40-722, screening is required when exterior storage of goods or materials which unreasonably annoys or endangers the property values of surrounding property users. While these impacts are not anticipated, the applicant is proposing screening nonetheless.

Lighting

The proposed building design has lighting fixtures attached to the front of each building. Per Section 40-565, any lighting used to illuminate a structure, an off-street parking area, or other area in the Industrial District shall be arranged so as to deflect light away from any adjoining residential property or from any public right-of-way. It is not expected that the proposed lighting will violate that standard.

Signs

Plans provided by the applicant do not show any signs. If a sign or signs are to be part of the proposed building and/or site design, the applicant must provide that information in accordance with Section 40-750 and revise plans accordingly.

Utilities

The proposal does not include offices nor permanent employees at the subject property. In which case, restroom facilities and associated utilities are not provided with the proposed development. If the City discovers that users requiring these facilities, the City will then require construction of restroom facilities and extension of municipal utilities.

Drainage

The site is outside of the Comfort Lake – Forest Lake Watershed District (CLFLWD) and permitting will not be required through the CLFLWD. Based on the proposed disturbed area, a NPDES permit will be required and compliance with all NPDES permit standards will need to be demonstrated. The site is outside of the floodplain, so no floodplain requirements are triggered.

Applicant is proposing to meet stormwater management requirements utilizing a number of infiltration basins and swales onsite. Proposed peak discharge rates are shown to meet or be reduced from existing peak discharge rates from the site for the 2-, 10- and 100-year events. Volume control and water quality requirements appear to be met; however, additional documentation is required to confirm.

Additional comments on the drainage design have been provided to the applicant as comments on their plans.

Architecture and Design

The architecture of the proposed buildings is utilitarian, featuring a shed-roof style covered in metal roof panels and exterior walls clad in textured wall panels. The textured wall panels are metal painted with a textured coating that obscures the metal. Staff's assessment of this proposed exterior material is that it conflicts with the prohibition of metal-sided buildings in the Industrial District per Section 40-287 (1). The applicant must revise the building design for a new exterior material(s) that are compatible with that Section.

Landscape and Tree Preservation

To make room for the improvements, the plans show removal of trees. The number of removed trees is not clear because the applicant did not provide that information nor a landscape plan. It is expected that trees removed qualify as significant trees. Therefore, a Woodland Preservation Plan is required from the applicant and must be included in a revised site plan review application.

Should the applicant be unable to replace the removed trees due to insufficient property area, an option for the applicant is to pay a fee in lieu of planting replacement trees consistent with Section 40-556 (4) (a) 2. The total fee must be confirmed on a Woodland Preservation Plan.



City Of Wyoming
26885 Forest Blvd., PO Box 188
Wyoming, MN 55092
Phone (651) 462-4947 Fax (651) 462-3938

SITE PLAN REVIEW
LAND USE APPLICATION

A site plan review application requests a use permitted in a particular zoning district, but regulated and controlled through conditions placed upon it by the City Council after review by the Planning Commission.

Property Address: none

Applicant(s) Information:

Name(s) Advanced Engineering Concepts Attn: Matt Appel Home _____
Address 1360 International Dr Work 715-552-0330
City Eau Claire State WI Zip 54701 Email mappel@aec-engineering

Owner(s) Information: (if other than Applicant(s))

Name(s) Hallberg Inc. Attn: Austin Hallberg Home _____
Address 26470 Fallbrook Ave PO Box 277 Work 651-462-4516
City Wyoming State MN Zip 55092 Email austin.hallberg@hallbergmarine.com

Owner(s) Signature(s) Austin Hallberg Date 5/28/2021

Legal description of property: see attached legal description

Property Identification Number: R.21. 10293.00 Present zoning: COMMERCIAL - I

Present use of property: vacant

Proposed use of property: self storage buildings

This application and the following attachments must be submitted to be considered a complete application:

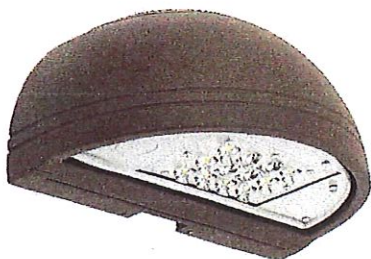
1. A detailed site plan showing the information listed in Section 40 - 82, 1-6 as well as the following: 40-640
 - a. The grading and drainage plan must be designed in accordance with Article VII, Division 21 of the Zoning Ordinance and the City of Wyoming Surface Water Resource Guidance Document.
 - b. Elevation drawings of all sides of the proposed building to show compliance with the architectural standards of the zoning district the use will be located in. 40-550
 - c. Landscaping and Screening in accordance with Article VII, Divisions 14 & 26. SEC
 - d. Lighting Plan in accordance with Article VII, Division 15.
2. A letter explaining the proposed use and how it will be operated. MN PUB RES DIVISION
☒ Applications for uses described in Article VI, Divisions 7, 18, & 19 and Article VII, Divisions 2, 8, 10, 17-20, and 25 of the Zoning Ordinance must include the information necessary to show compliance with the applicable section of the ordinance.
☒ Applications for uses that are within the Highway 8 Overlay District or that utilize Highway 8 for access must include the information necessary to show compliance with Article VI, Division 14 of the Zoning Ordinance.
5. The application fee and escrow must be paid at the time of application. The fee is not refundable. The unused portion of the escrow will be returned to the applicant.
6. Any other information deemed necessary by the Zoning Administrator or Planning Commission.

Signature of applicant(s) [Signature] Date 5-28-2021

As the applicant for this request, I agree to reimburse the City for all expenses incurred by the City in employing planning, engineering, legal, and other professional consultants in reviewing this application. This may include the replenishment of any escrow funds as required as part of this application. Such costs shall be paid by me, the applicant, regardless of the outcome of the review and prior to commencing any work on the project. All of Article V, Division 4, Site Plan Review is attached to this application and by signing this application, the applicant acknowledges that it has been read and understood.

A public meeting can be scheduled only after a complete application has been received.

Application # Sp-21-002 OFFICE USE ONLY Date Application Received 6/2/21
Date Complete Application Received 6/3/21 60 Days 8/2/21 By: [Signature]
Fee \$220.00 + Escrow \$1,000.00 Date Paid 6/3/21 Check # _____ Page 14 of 29



QSP1 GeoPak

By Hubbell Outdoor Lighting

Small sized architectural wall packs in three stylish shapes with molded contours to accentuate building architecture. Provides excellent illumination with energy-saving LED systems.

- Capable of replacing up to 175W HID luminaires
- Type II, III and IV distributions for a wide variety of applications
- Easy to install and retrofit existing HID luminaires with similar footprint
- Control capabilities offer additional energy savings options
- Integral battery backup options
- Five powder coat standard finishes, plus custom color options
- Wet Location Listed to UL924 and UL1598 Standard
- Zero uplight distributions
- DLC® (DesignLights Consortium) Qualified - see www.designlights.org

Product Details

General

Ambient Temp. Range	-40 to 40 °C
Construction Material - Main	Aluminum
Dimming Protocol	0-10V
Light Distribution	• IES Type II • IES Type III • IES Type IV
Lumen Range	1-2,500 lm
Type	Wall Mount

Electrical Ratings

Frequency Rating	50/60 Hz
Primary Voltage	• 120 VAC • 208 VAC • 220 VAC • 240 VAC • 277 VAC
Wattage Range	≤30

Certifications and Compliance

HALLBERG MARINE

STORAGE UNITS

IBC 2015

S-1 STORAGE UNITS

5B CONSTRUCTION

1 STORY

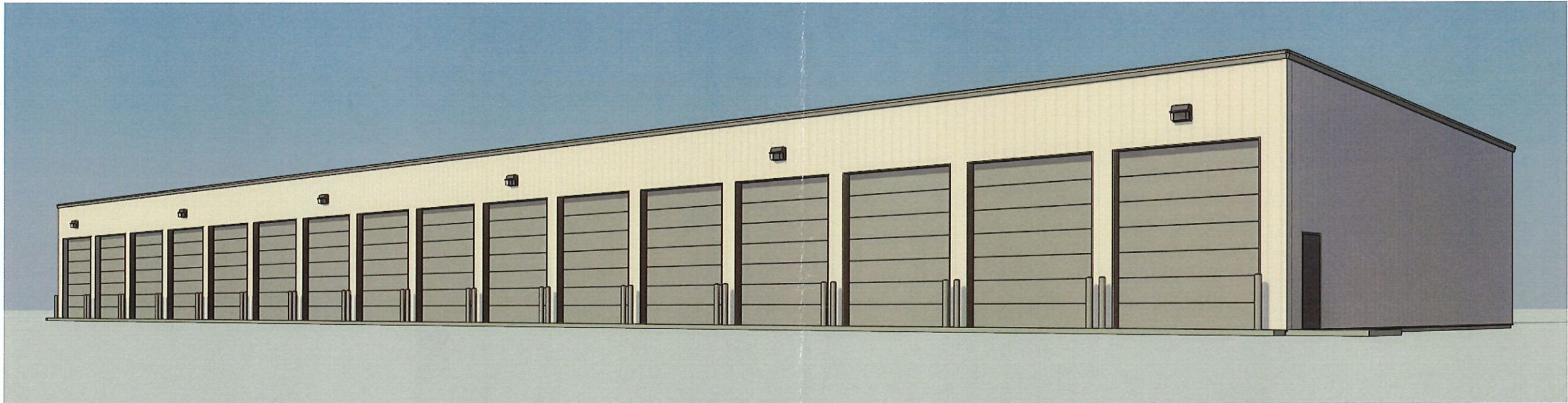
9,000 ALLOWABLE + FRONTAGE 452/552=.81*30/30=.81-.25=.56*9,000=4,860 SQFT =13,860 SQFT MAX FOR SMALLEST ALLOWABLE

NOTE: OVER 12,000 SQFT REQUIRES SPRINKLER

5B FIRE SEPERATION DISTANCE 10'<30'= 0 HR RATING FOR EXTERIOR WALLS

705.8.1.2 BUILDINGS WHOSE EXTERIOR BEARING WALL ARE NOT REQUIRED TO BE FIRE RATED SHALL BE PERMITTED TO HAVE UNLIMITED UNPROTECTED OPENINGS

1108.3 REQUIRES SELF-STORAGE FACILITIES WITH LESS THAN 200 UNITS TO HAVE 5% OF UNITS ACCESSIBLE BUT NOT LESS THAN ONE (72 X 5%=3.6=4 ACCESSIBLE UNITS REQUIRED) SUGGEST ONE IN EACH BUILDING=4



DESIGN CONTACT

CONTACT: KELSEY SMITH
PHONE: 715-672-5941

GENERAL CONTRACTOR

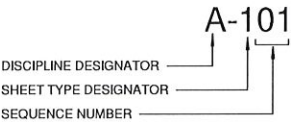
DURAND BUILDERS
P.O.BOX 10
DURAND, WI 54736
PHONE: 715-672-5941
FAX: 715-672-8886
CONTACT:
EMAIL:

GENERAL NOTES:
ALL WORK TO BE DONE IN COMPLIANCE WITH ALL LOCAL AND STATE BUILDING CODES.
DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS AND CONDITIONS

ALL GRADES, ALL FOUNDATION ELEVATIONS, STEP CONDITIONS AND FOOTING ELEVATIONS.
TO BE VERIFIED BY CONTRACTOR, FOUNDATION DROPS AND FOOTING ELEVATIONS
ON THIS PLAN MAY NOT BE ACCURATE FOR BUILDING SITE.

Sheet List -G-	
Sheet Name	Sheet Number
Cover Sheet	G-101
General Site Layout	G-102

Sheet List -A-	
Sheet Name	Sheet Number
Main Level	A-101
Elevations	A-201
Sections	A-301



DISCIPLINE DESIGNATOR	
G	GENERAL
C	CIVIL
L	LANDSCAPE
S	STRUCTURAL
A	ARCHITECTURAL
F	FIRE PROTECTION
P	PLUMBING
M	MECHANICAL
E	ELECTRICAL
R	RESOURCE INFO

SHEET TYPE DESIGNATOR	
G	GENERAL
1	PLANS
2	ELEVATION
3	SECTIONS
4	LARGE SCALE VIEWS
5	DETAILS
6	SCHEDULES AND DIAGRAMS
7	-----
8	-----
9	3D VIEWS, ISOMETRICS PERSPECTIVES & PHOTOS

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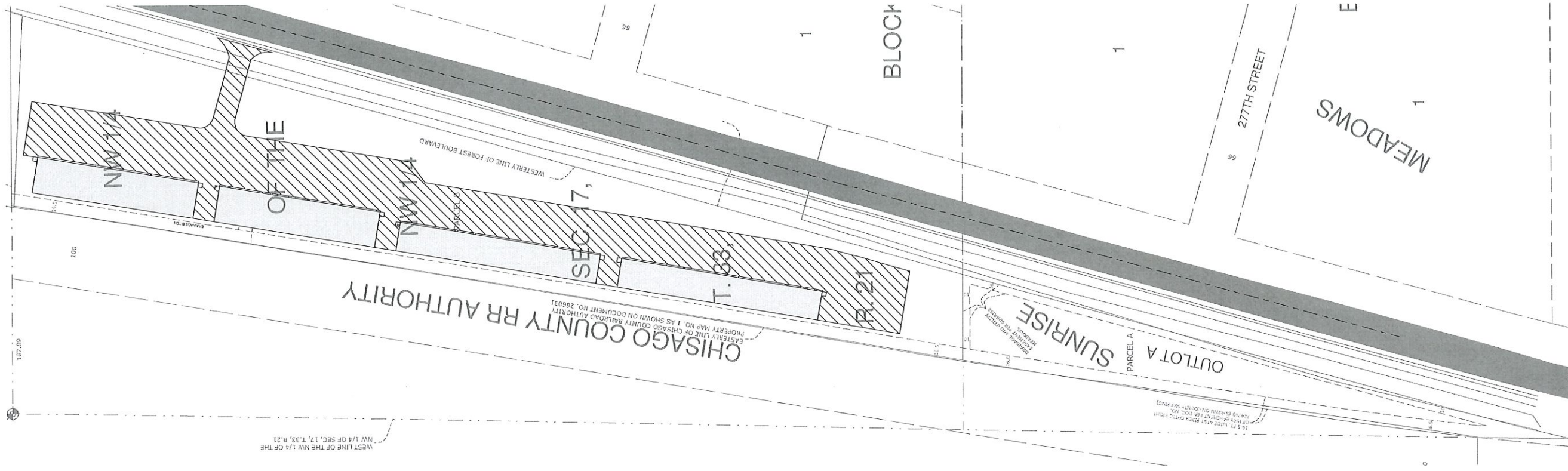
PO BOX 10
DURAND, WISCONSIN 54736
DURAND OFFICE
MAIN NUMBER: (715) 672-5941
FAX NUMBER: (715) 672-8886

WWW.DURANDBUILDERS.COM
WWW.HomeTownBC.com

HALLBERG MARINE
STORAGE UNITS
27625 FOREST BLVD WYOMING, MN 55092
Project Number: 20

05/26/2021

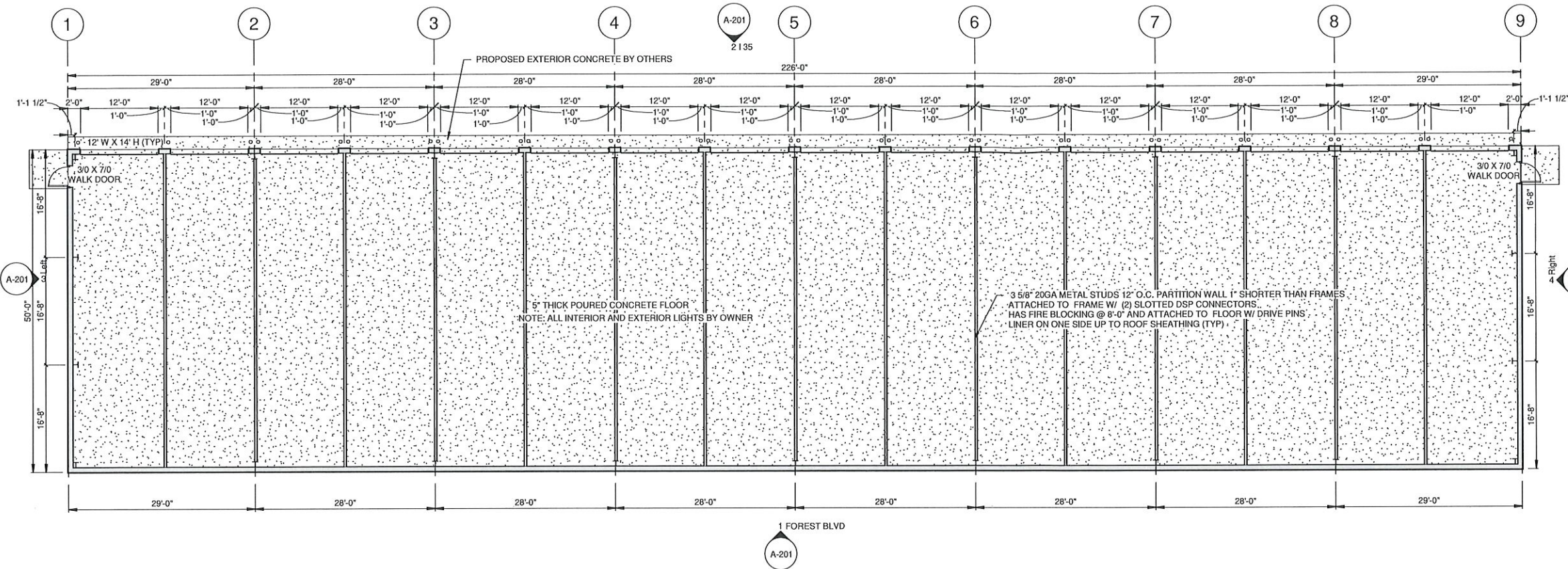
Date	
Description	
No.	
DESIGNED BY:	KMS
DRAWN BY:	KMS
CHECKED BY:	KMS
Cover Sheet	
G-101	
3/4" = 1'-0"	



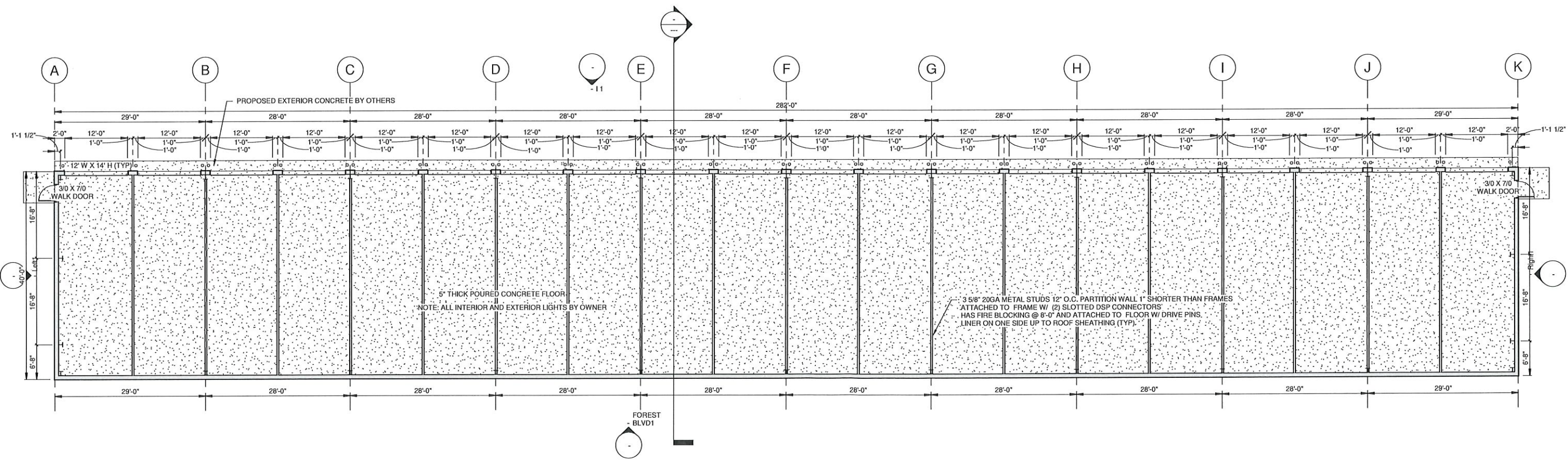
② Site plan callout
1" = 80'-0"

TOTAL SQFT OF BUILDINGS=45,160 SQFT
TOTAL OF UNITS (32) 50' DEEP UNITS (40) 40' DEEP UNITS

		PO BOX 10 DURAND, WISCONSIN 54736 DURAND OFFICE MAIN NUMBER: (715) 672-5941 FAX NUMBER: (715) 672-8886 WWW.DURANDBUILDERS.COM WWW.HomeTownBC.com	
HALLBERG MARINE STORAGE UNITS 27625 FOREST BLVD WYOMING, MN 55092 Project Number: 20		05/26/2021	
No.	Description	Date	
Issue Date			
DESIGNED BY: KMS DRAWN BY: KMS CHECKED BY: KMS			
General Site Layout			
G-102 1" = 80'-0"			



① Level 1 Main Level 50'
1" = 10'-0"



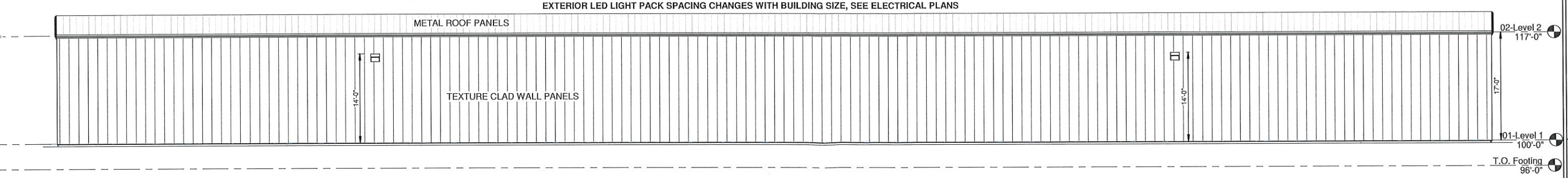
② Level 1 Main Level 40'
1" = 10'-0"

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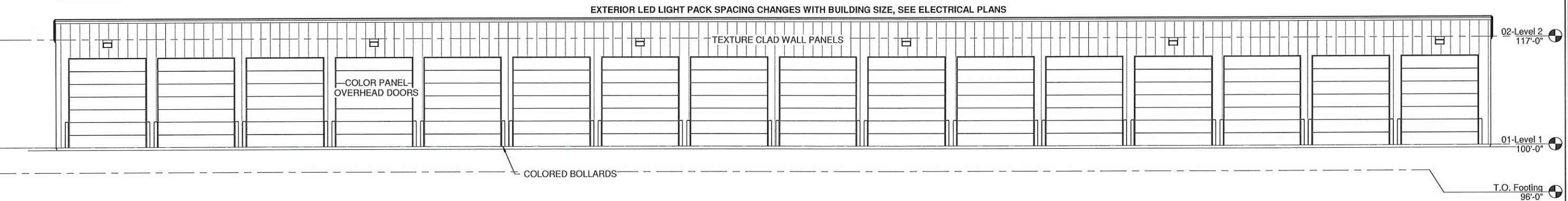
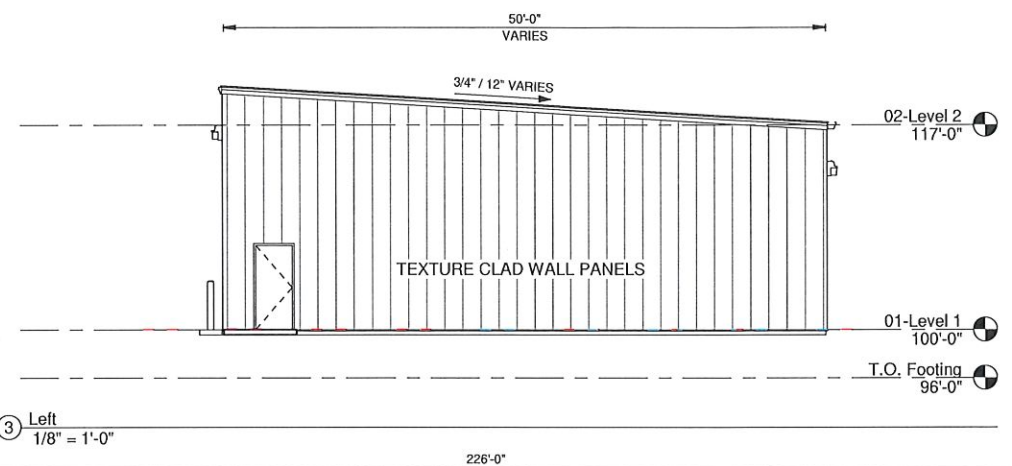
PO BOX 10
DURAND, WISCONSIN 54736
DURAND OFFICE
MAIN NUMBER: (715) 672-5941
FAX NUMBER: (715) 672-6886
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HALLBERG MARINE
STORAGE UNITS
27625 FOREST BLVD WYOMING, MN 55092
Project Number: 20
05/26/2021

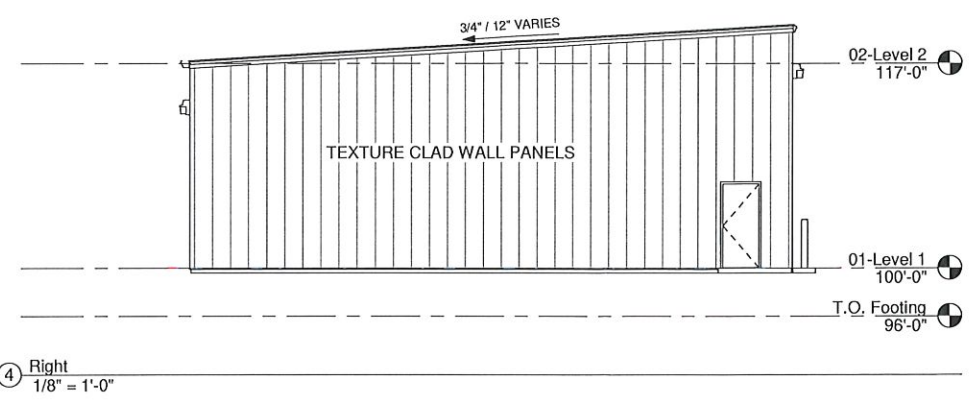
No.	Description	Date
Issue Date		
DESIGNED BY:	KMS	
DRAWN BY:	KMS	
CHECKED BY:	KMS	
Main Level		
A-101		
1" = 10'-0"		



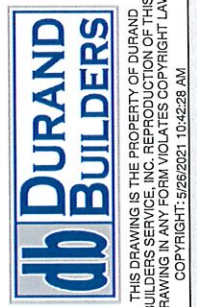
① FOREST BLVD
1/8" = 1'-0"



② 135
1/8" = 1'-0"



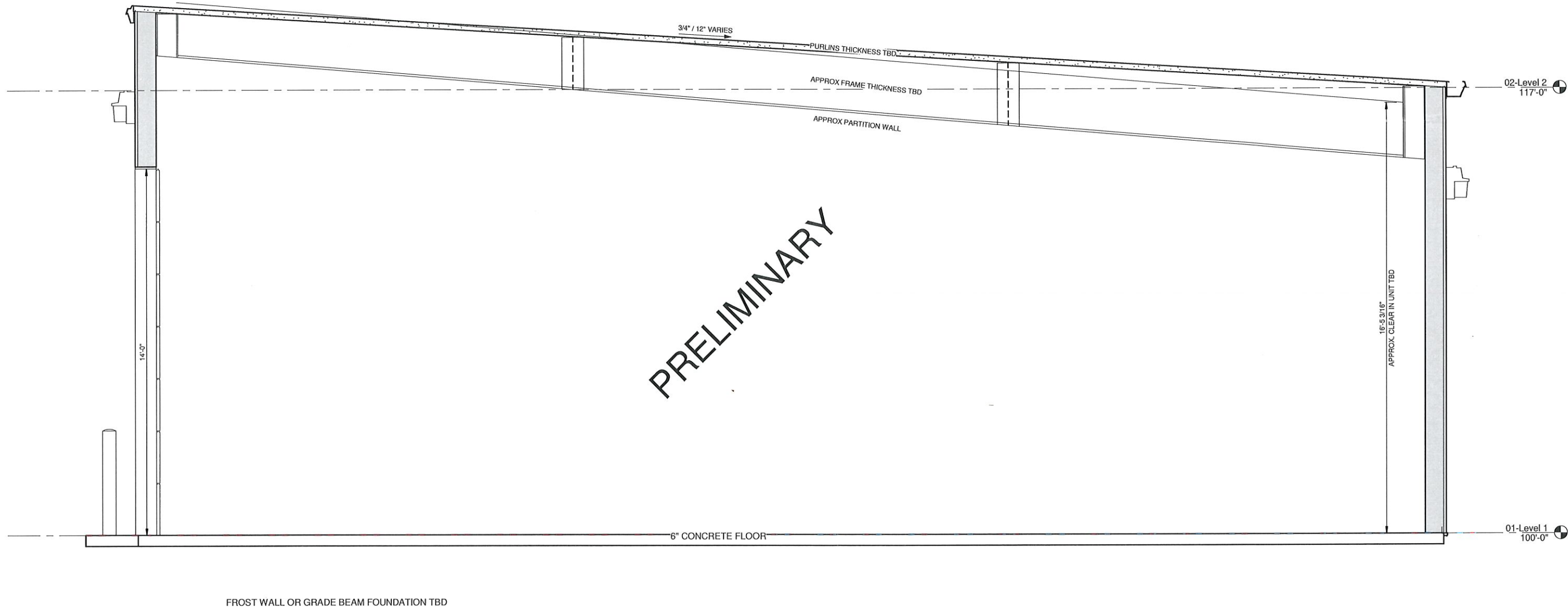
NOTE: BOTH BUILDINGS WILL HAVE SLOPES THAT VARY
(0.97/12" & 0.72/12")



PO BOX 10
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FAX NUMBER: (715) 672-8866
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WWW.HomeTownBC.com

HALLBERG MARINE
STORAGE UNITS
27625 FOREST BLVD WYOMING, MN 55092
Project Number: 20
05/26/2021

Date	
Description	
No.	
Issue Date	
DESIGNED BY: KMS	
DRAWN BY: KMS	
CHECKED BY: KMS	
Elevations	
A-201	
1/8" = 1'-0"	



① Section 1
1/2" = 1'-0"



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HALLBERG MARINE
STORAGE UNITS
27625 FOREST BLVD WYOMING, MN 55092
Project Number: 20

05/26/2021

Date

Description

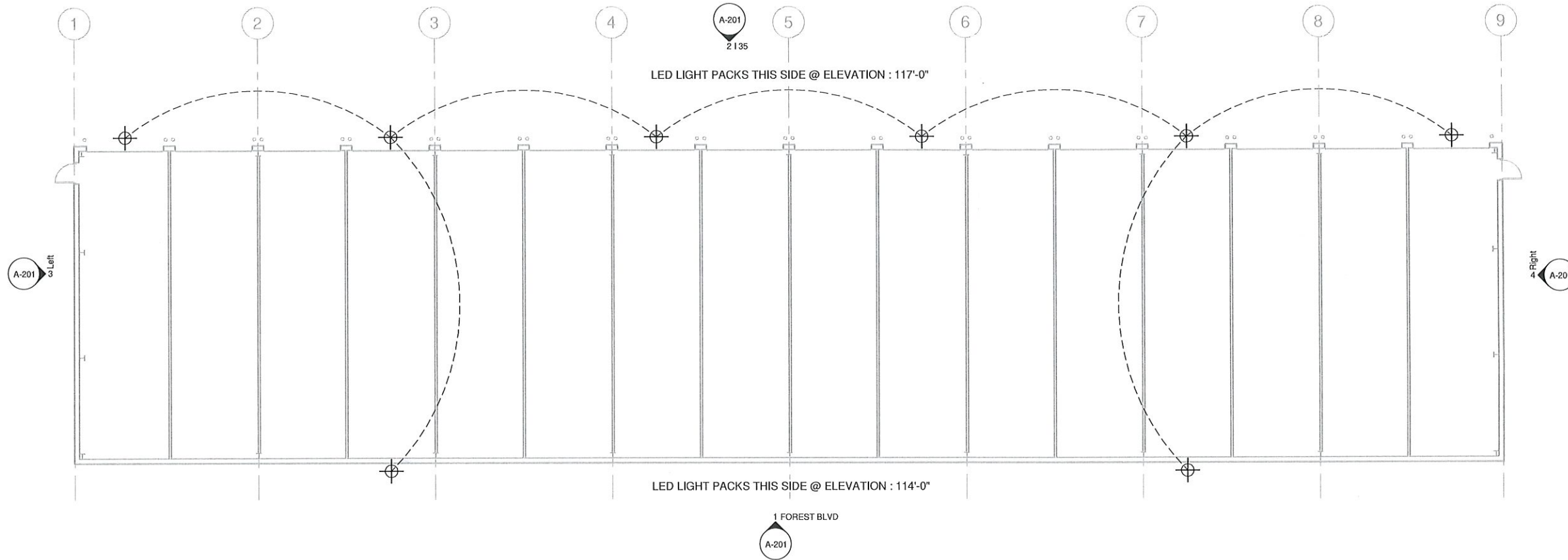
No.

Issue Date

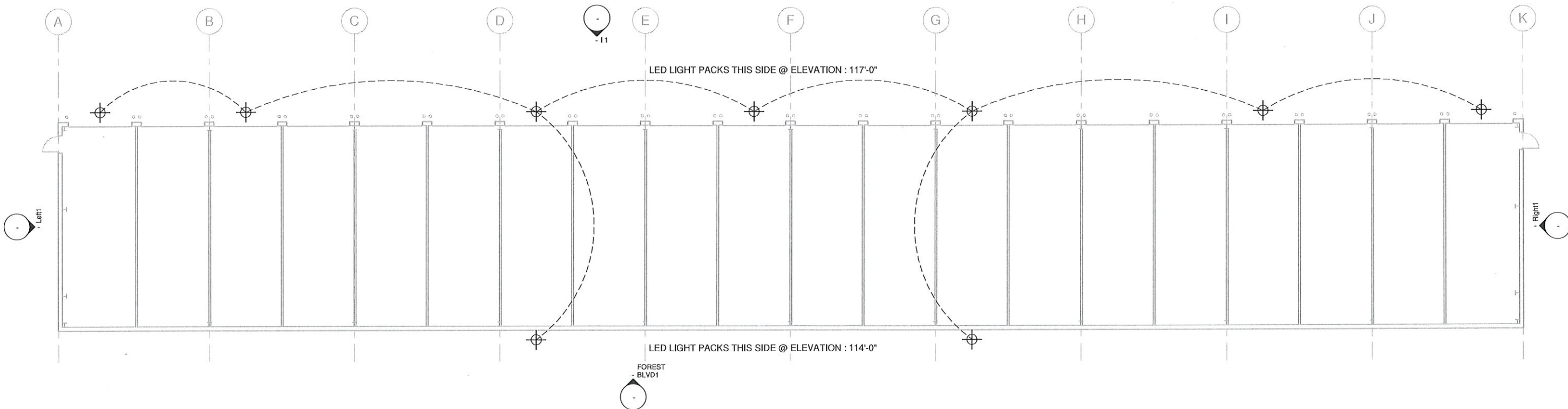
DESIGNED BY: KMS
DRAWN BY: KMS
CHECKED BY: KMS

Sections

A-301
1/2" = 1'-0"



① Level 1 Main Level 50' Electrical
1" = 10'-0"



② Level 1 Main Level 40' Electrical
1" = 10'-0"

SYMBOL INDICATES LEDLIGHT PACK EQUIPMENT
SEE PLANS FOR LOCATIONS / MOUNTING HEIGHTS



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WWW.HomeTownBC.com

HALLBERG MARINE
STORAGE UNITS
27625 FOREST BLVD WYOMING, MN 55092
Project Number: 20
05/26/2021

Date

Description

No.

Issue Date

DESIGNED BY: Designer
DRAWN BY: Author
CHECKED BY: Checker

Electrical Lighting Plan

E-101
1" = 10'-0"



Know what's below.
Call before you dig.



CHISAGO COUNTY

VICINITY MAP

PROJECT LOCATION

CONTACTS

CITY ADMINISTRATOR	CITY OF WYOMING – ATTN: ROBB LINWOOD PHONE: (651) 462-0575
SUPERINTENDENT PUBLIC WORKS	CITY OF WYOMING – ATTN: CHUCK ALMHJELD PHONE: (651) 462-0580
ZONING ADMINISTRATOR	CITY OF WYOMING – ATTN: FRED WECK PHONE: (651) 462-0575
WATER	CITY OF WYOMING – PHONE: (651) 462-0580
SANITARY	CITY OF WYOMING – PHONE: (651) 462-0580
TELEPHONE	FRONTIER PHONE: (866) 226-5170
CABLE	MIDCONTINENT PHONE: (800) 888-1300
GAS	XCEL ENERGY PHONE: (800) 895-4999
FIRE DEPT.	CITY OF WYOMING – ATTN: JESSE MILLIGAN PHONE: (651) 462-0575

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: **SEAN P. BOHAN**

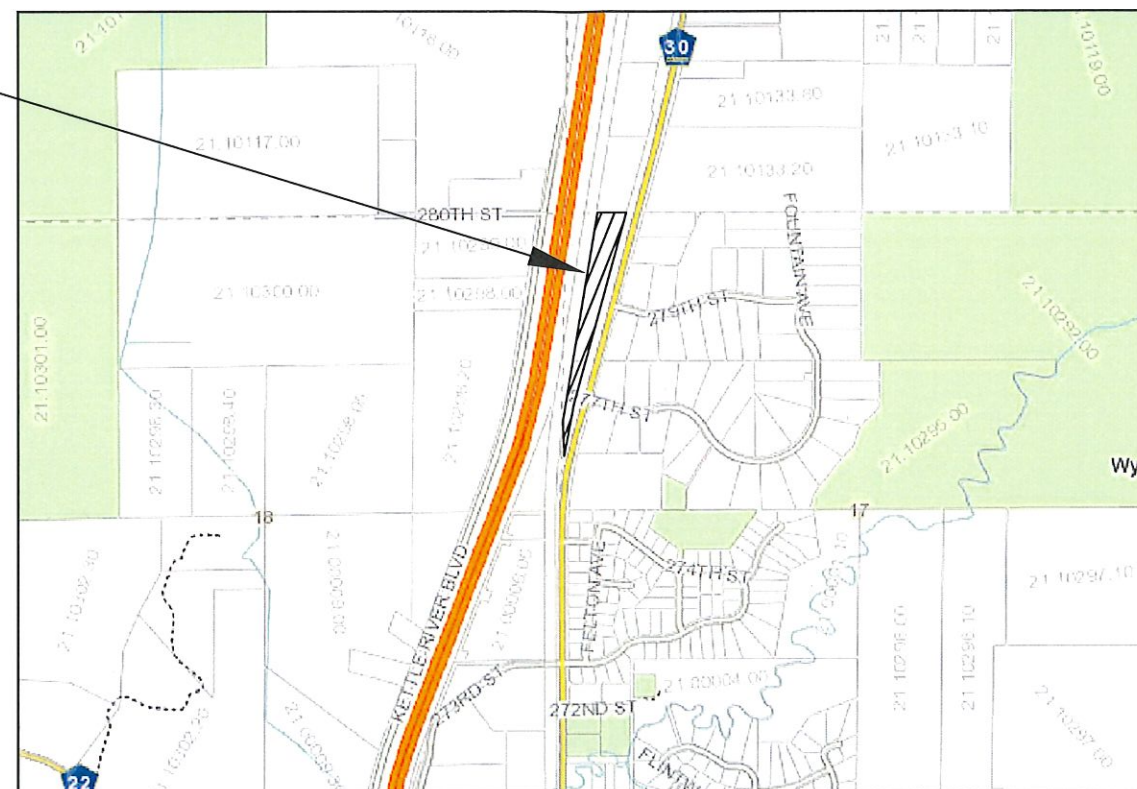
Signature:

Date 5/24/21 License # 46834

PROJECT CLIENT:
DURAND BUILDERS SERVICE INC.
ATTN: PETE PERSHERN
P.O. BOX 10 N6344 STATE ROAD 25
DURAND, WI 54736

PROJECT ENGINEER:
ADVANCED ENGINEERING CONCEPTS
ATTN: MATT APPEL, P.E.
1360 INTERNATIONAL DRIVE, SUITE #1
EAU CLAIRE, WI 54701
PHONE: 715.552.0330
EMAIL: mappel@aec.engineering

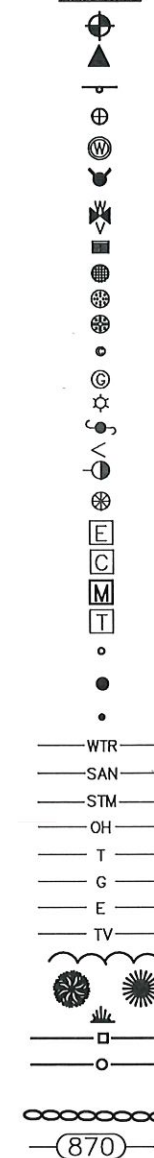
HALLBERG STORAGE BUILDINGS DURAND BUILDERS, INC FOREST BLVD, (COUNTY HWY 22/30) WYOMING, MN 55092



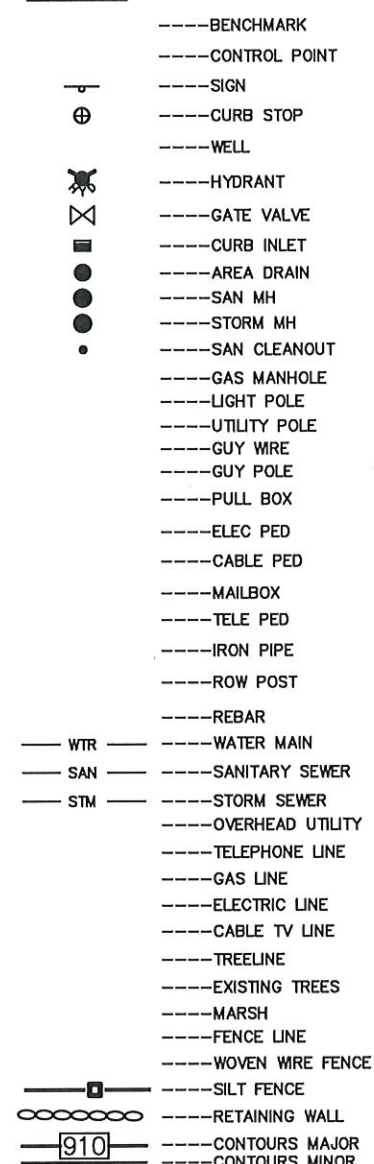
LOCATION MAP

ABBREVIATIONS:
BC=BACK OF CURB
BLK=BLOCK NUMBER
BOT=BOTTOM (ELEV)
CL=CENTERLINE
CS=CURB STOP
ELEV=ELEVATION
EOP=EDGE OF PAVEMENT
EX=EXISTING
FES=FLARED END SECTION
FF=FINISHED FLOOR (ELEV)
FL=FLOWLINE
GF=GARAGE FLOOR (ELEV)
GLG=GROUND LINE GROOVE
HWL=HIGH WATER LEVEL
INV=INVERT
LF=LINEAR FEET
LO=LOOKOUT STYLE HOME
LT=LEFT
MIN=MINIMUM
NWL=NORMAL WATER LEVEL
PC=POINT OF CURVE
PRC=CURVE REVERSAL POINT
PT=POINT OF TANGENCY
RAD=RADIUS
RT=RIGHT
R/W=RIGHT OF WAY
SAN=SANITARY SEWER
SP=SPOT ELEVATION
STA=STATION
STM=STORM SEWER
TC=TOP OF CURB
TYP=TYPICAL
W=WATER FITTINGS
WAT=WATER
WM=WATERMAIN
WO=WALKOUT STYLE HOME

EXISTING



PROPOSED



SHEET SCHEDULE

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING CONDITIONS & DEMOLITION PLAN
3	OVERALL SITE PLAN
4-5	SITE & UTILITY PLAN
6-7	GRADING PLAN
8	STORMWATER POLLUTION PREVENTION PLAN
9	STORMWATER POLLUTION PREVENTION PLAN NOTES
10	DETAILS

AEC PROJECT #: A21009

PLANS DATED: MAY 2021



ADVANCED ENGINEERING CONCEPTS
1360 INTERNATIONAL DR. SUITE #1
EAU CLAIRE, WI 54701
PH 715-552-0330
INFO@AEC.ENGINEERING
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GENERAL NOTES:

- UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION OF LOCATIONS. THE CLIENT, CITY, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
- CLEARING AND GRUBBING SHALL ONLY BE IN THOSE LOCATIONS DIRECTED BY THE ENGINEER AND/OR OWNER. CONTRACTOR SHALL PROTECT ALL TREES, SHRUBS, AND CORRESPONDING ROOT SYSTEMS FROM DAMAGE. ALL WORK WITH POTENTIAL IMPACT ON UN-CLEARED TREES AND/OR SHRUBS SHALL BE COORDINATED WITH THE ENGINEER AND/OR OWNER.
- CONTRACTOR SHALL NOT DISTURB ANY R/W IRONS. ANY REMOVAL SHALL BE APPROVED BY THE ENGINEER, OTHERWISE THE CONTRACTOR SHALL BE BILLED FOR REPLACEMENT.
- NO TREES OR STUMPS ARE TO BE BURIED ON SITE. CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS FOR BURNING OR MATERIAL DISPOSAL.
- CONTRACTOR TO REPAIR AND RESTORE ANY DAMAGED OR DISTURBED AREAS OF PAVEMENT, CONCRETE, LANDSCAPING, ELECTRICAL, AND AUTOMATIC IRRIGATION, ETC. TO ITS ORIGINAL CONDITION ON ADJACENT PROPERTIES.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.

SURVEY NOTES:

- TOPO SURVEY PERFORMED BY E.G. RUD & SONS INC. FEBRUARY 17, 2021 (PROJECT 210110PP)
- UTILITY SIZES AND LOCATIONS ARE COMPILED FROM SURVEYS AND AS-BUILTS INFORMATION PROVIDED BY OTHERS. ADVANCED ENGINEERING CONCEPTS MAKES NO GUARANTEE AND IS NOT RESPONSIBLE FOR THE ACCURACY OF THE EXISTING LINework.
- CONTRACTOR TO VERIFY EXISTING PRIVATE UTILITIES PRIOR TO ANY CONSTRUCTION TAKING PLACE.

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: **SEAN P. BOHAN**
 Signature: *[Signature]*
 Date: **5/24/21** License # **46834**

LEGEND

---(1100)--- EXISTING CONTOURS-MNR
 ---(1105)--- EXISTING CONTOURS-MJR

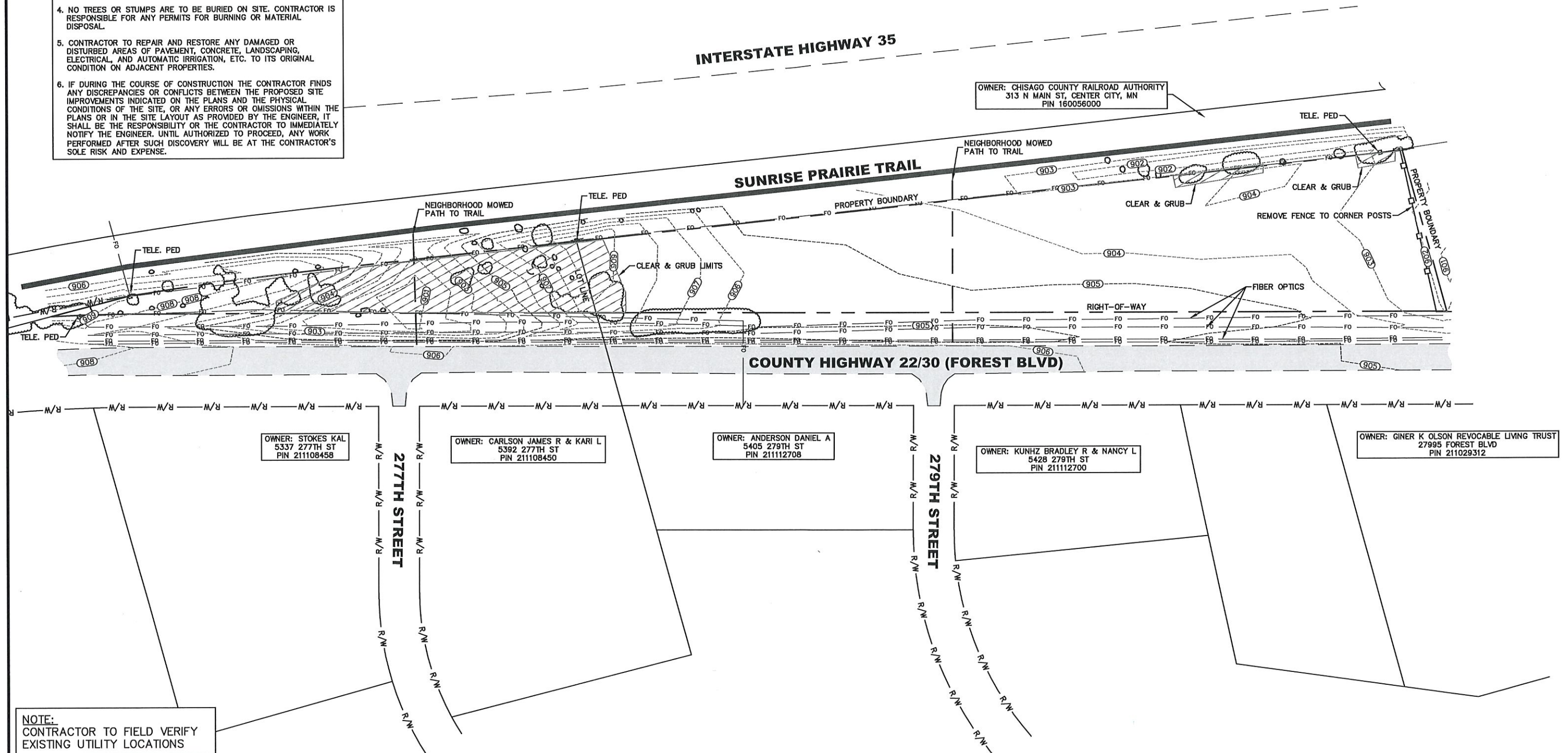
CLEAR AND GRUB TREES (CLEARING LIMITS)



Know what's below.
 Call before you dig.



0 40 80 160



NOTE:
 CONTRACTOR TO FIELD VERIFY
 EXISTING UTILITY LOCATIONS

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: **SEAN P. BOHAN** LICENSE # **46834**
 SIGNATURE: _____ DATE: _____

PROJ. NO.
 21009



ADVANCED ENGINEERING CONCEPTS
 1360 INTERNATIONAL DR, SUITE #1
 EAU CLAIRE, WI 54701
 PH: 715-552-0330
 Info@aec.engineering
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EXISTING CONDITIONS
 & DEMOLITION PLAN

HALLBERG STORAGE BUILDINGS
 DURAND BUILDERS, INC
 FOREST BLVD (COUNTY HWY 30)
 WYOMING, MN

DWG NAME
 21009 PG2
 EXISTING
 DATE
 5/2021

2
 10

NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: SEAN P. BOHAN
Signature: 
Date 5/24/21 License # 46834

HALLBERG STORAGE UNITS FOREST BLVD

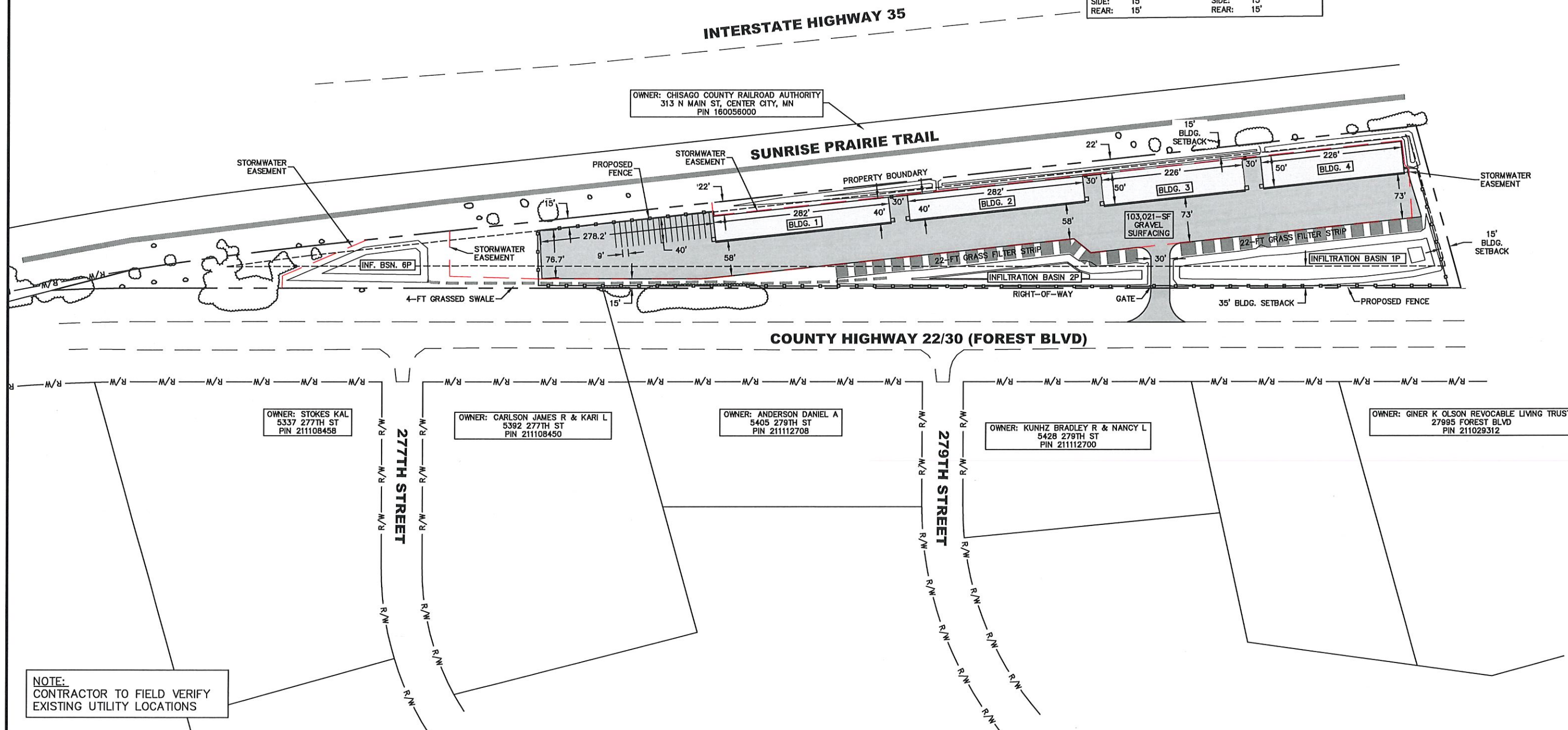
CURRENT ZONING: COMMERCIAL W/
MUNI. SWR & WTR
LOT SIZE: 313,367 SF (7.19 AC.)
EXISTING IMPERVIOUS AREA: 0.0-SF (0.0%)
PROPOSED USE: MINI STORAGE BUILDINGS
PROPOSED BUILDING: 45,160-SF (14.4%)
PROPOSED GRAVEL: 105,341-SF (34.4%)
OVERALL IMPERVIOUSNESS: 150,501-SF (48.0%)
GREEN SPACE: 162,866-SF (52.0%)
STORM WATER TREATMENT: INFILTRATION BASINS,
SWALES & FILTER STRIPS
BUILDING SETBACKS: FRONT: 35'
SIDE: 15'
REAR: 15'
PARKING AREA SETBACKS: FRONT: 15'
SIDE: 15'
REAR: 15'



Know what's below.
Call before you dig.



0 40 80 160



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PRINT NAME: SEAN P. BOHAN LICENSE # 46834
SIGNATURE: _____ DATE: _____

PROJ. NO.
21009



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OVERALL SITE PLAN

HALLBERG STORAGE BUILDINGS
DURAND BUILDERS, INC
FOREST BLVD (COUNTY HWY 30)
WYOMING, MN

DWG NAME
21009 PG3
SITE
DATE
5/2021

3
10

GRADING NOTES:

1. ALL CONTOURS ARE COMPUTER GENERATED AND REPRESENT APPROXIMATE LOCATIONS. PROPOSED CONTOURS REPRESENT FINISHED GROUND GRADES AFTER RESTORATION. CONTOURS IN STREET REPRESENT THE TOP OF PAVEMENT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING POSITIVE DRAINAGE AWAY FROM STRUCTURES. BUILDER SHALL VERIFY ACTUAL FINISH FLOOR ELEVATION(S) PRIOR TO CONSTRUCTION AND SHALL INSURE ALL SITE DRAINAGE IS DIRECTED AWAY FROM STRUCTURES AND TOWARD DRAINAGE WAYS.
3. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT AND/OR FINISHED GRADE UNLESS OTHERWISE NOTED.
4. IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.

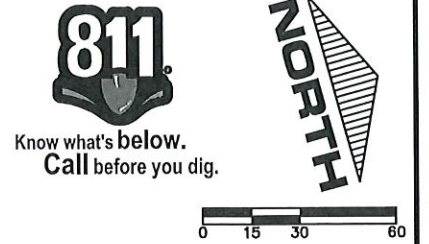
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: SEAN P. BOHAN
Signature: [Signature]
Date 5/24/21 License # 46834

INTERSTATE HIGHWAY 35

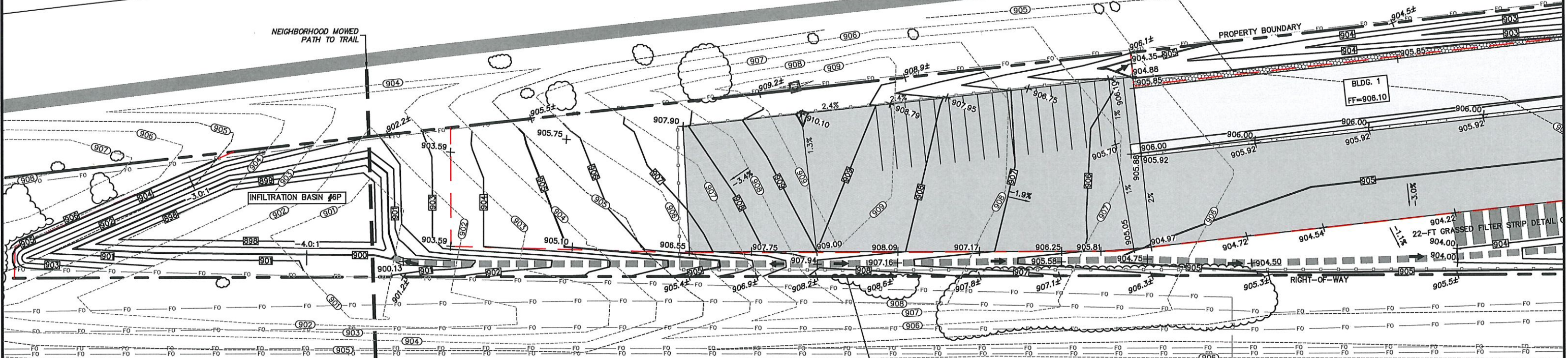
GRADING PLAN LEGEND

- (1106) EXISTING CONTOURS-MNR
- (1105) EXISTING CONTOUR-MJR
- 851 FINAL CONTOUR-MJR
- 849 FINAL CONTOUR-MNR
- DRAINAGE PATTERN LINES
- GRADE BREAK LINES
- 1% PROPOSED DRAINAGE DIRECTION
- + XXX.XX PROPOSED SPOT ELEVATION
- + XXX.X± EXISTING SPOT ELEVATION
- FF FINISHED FLOOR ELEVATION
- TC TOP OF CURB
- TP TOP OF PAVEMENT



OWNER: CHISAGO COUNTY RAILROAD AUTHORITY
313 N MAIN ST, CENTER CITY, MN
PIN 160056000

SUNRISE PRAIRIE TRAIL



INfiltration BASIN #6P
TOP=901.00 (10,200-SF MIN.)
3:1 SLOPES
BTM=898.00 (4,000-SF MIN.)
DO NOT PLACE TOPSOIL ON BASIN BOTTOM

COUNTY HIGHWAY 22/30 (FOREST BLVD)

NOTE:
CONTRACTOR TO FIELD VERIFY
EXISTING UTILITY LOCATIONS

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: SEAN P. BOHAN LICENSE # 46834
SIGNATURE: _____ DATE: _____

PROJ. NO.
21009



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GRADING PLAN - SOUTH

HALLBERG STORAGE BUILDINGS
DURAND BUILDERS, INC
FOREST BLVD (COUNTY HWY 30)
WYOMING, MN

DWG NAME
21009 PG6
GRADING
DATE
5/2021

6
10

- GRADING NOTES:**
1. ALL CONTOURS ARE COMPUTER GENERATED AND REPRESENT APPROXIMATE LOCATIONS. PROPOSED CONTOURS REPRESENT FINISHED GROUND GRADES AFTER RESTORATION. CONTOURS IN STREET REPRESENT THE TOP OF PAVEMENT.
 2. CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING POSITIVE DRAINAGE AWAY FROM STRUCTURES. BUILDER SHALL VERIFY ACTUAL FINISH FLOOR ELEVATION(S) PRIOR TO CONSTRUCTION AND SHALL INSURE ALL SITE DRAINAGE IS DIRECTED AWAY FROM STRUCTURES AND TOWARD DRAINAGE WAYS.
 3. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT AND/OR FINISHED GRADE UNLESS OTHERWISE NOTED.
 4. IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.

GRADING PLAN LEGEND

- (1105)--- EXISTING CONTOURS-MNR
- (1105)--- EXISTING CONTOUR-MJR
- (05)--- FINAL CONTOUR-MJR
- (04)--- FINAL CONTOUR-MNR
- DRAINAGE PATTERN LINES
- GRADE BREAK LINES
- 1% → PROPOSED DRAINAGE DIRECTION
- + XXX.XX PROPOSED SPOT ELEVATION
- + XXX.X± EXISTING SPOT ELEVATION
- FF FINISHED FLOOR ELEVATION
- TC TOP OF CURB
- TP TOP OF PAVEMENT

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Print Name: **SEAN P. BOHAN**

Signature: *[Signature]*

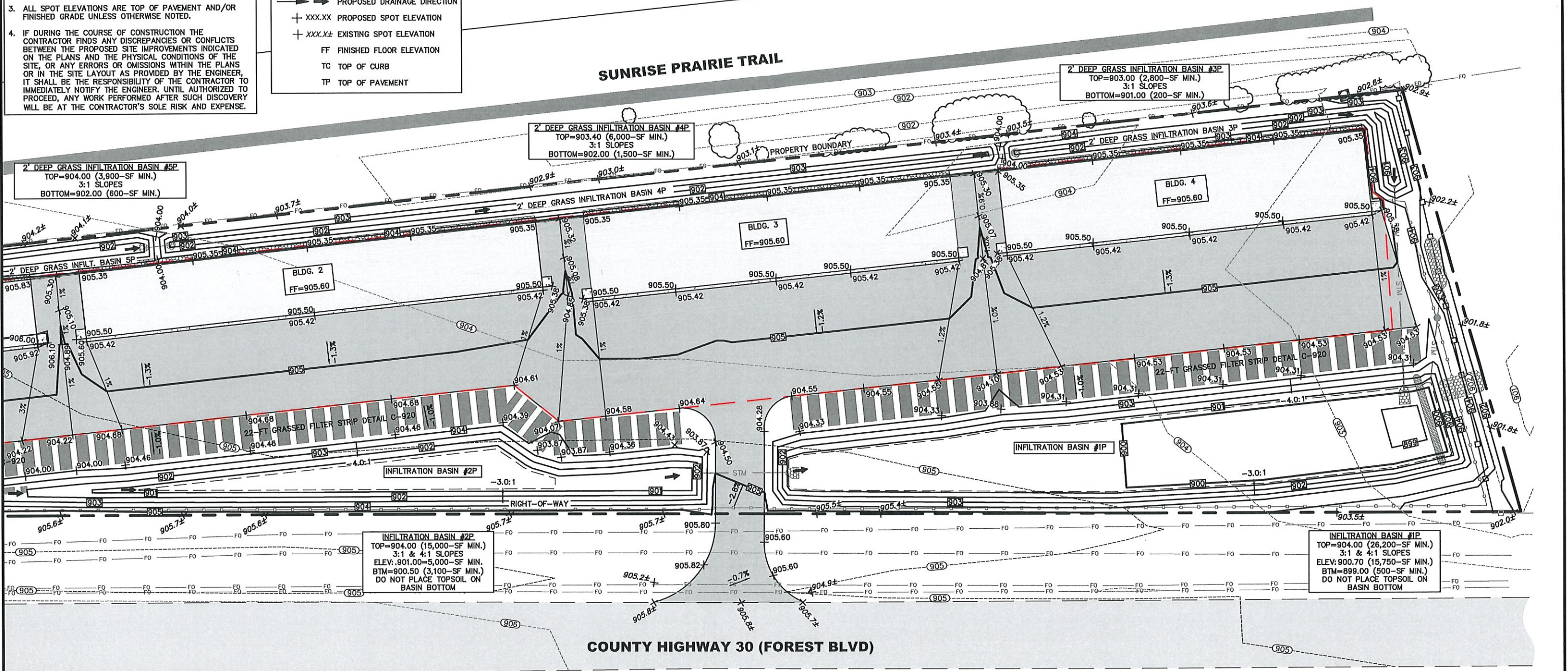
Date **5/24/21** License # **46834**

811

Know what's below.
Call before you dig.

NORTH

0 15 30 60



NOTE:
CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS

					I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.		PROJ. NO. 21009		ADVANCED ENGINEERING CONCEPTS 1360 INTERNATIONAL DR, SUITE #1 EAU CLAIRE, WI 54701 PH: 715-552-0330 Info@aec.engineering COPYRIGHT 2021 AEC LLC.	GRADING PLAN - NORTH	HALLBERG STORAGE BUILDINGS DURAND BUILDERS, INC FOREST BLVD (COUNTY HWY 30) WYOMING, MN	DWG NAME 21009 PG6 GRADING	7 10
					PRINT NAME: SEAN P. BOHAN LICENSE # 46834							DATE 5/2021	
NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED	SIGNATURE:						DATE:	

THE EROSION CONTROL ON THIS PLAN HAS BEEN PREPARED AS A GUIDE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, MODIFYING AND IMPLEMENTING AN ALTERNATE EROSION CONTROL PLAN BASED ON THEIR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.

EROSION CONTROL NOTES:

1. THE PRIMARY CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED PER DETAIL C-400.
2. TOPSOIL SHALL BE STOCKPILED IN DESIGNATED AREAS AS DETERMINED AT PRE-CONSTRUCTION MEETING.
3. RESTORATION SHALL BE EXECUTED IMMEDIATELY AFTER GRADING HAS BEEN COMPLETED.
4. GRADED SURFACES SHALL BE LEFT IN A SMOOTH, UNIFORM CONDITION FREE OF RUTS, DEPRESSIONS, IRREGULARITIES, LOOSE UNCOMPACTED SOIL, ETC.
5. CONTRACTOR TO PERFORM WEEKLY INSPECTIONS OF ALL EROSION CONTROL MEASURES, OR AFTER A RAIN EVENT OF 1/2" OR MORE. MAINTENANCE TO BE PERFORMED AS NEEDED TO MAINTAIN EROSION CONTROL.
6. ACCESS INTO THE SITE DURING CONSTRUCTION SHALL ONLY BE AT LOCATIONS WITH TRACKING PADS.
7. MAINTAIN EROSION CONTROL UNTIL 100% VEGETATION IS ESTABLISHED. ADDITIONAL EROSION CONTROL MAY BE NEEDED (EROSION MAT AND SILT FENCE). FINE GRADING AND RESEEDING MAY ALSO BE REQUIRED UNTIL VEGETATION IS FULLY ESTABLISHED IN ORDER TO PROVIDE SUFFICIENT NATURAL EROSION CONTROL IN PLACE OF STRUCTURAL MEASURES.
8. CONTRACTOR SHALL ADJUST THE APPROPRIATE STRUCTURAL AND NON-STRUCTURAL BMP'S BASED ON PROGRESS OF FILLING AND GRADING THE SITE.
9. SILT FENCE IS TO BE INSTALLED DOWN GRADIENT OF ANY STOCKPILES TO REMAIN LONGER THAN 7 DAYS.
10. CONTRACTOR SHALL PROVIDE APPROPRIATE PLANNING AND PREVENTATIVE MEASURES TO PREVENT POLLUTION FROM CONSTRUCTION SITE OPERATIONS INCLUDING BUT NOT LIMITED TO MATERIALS, STAGING, WASTE, WASHOUT AREAS, EQUIPMENT FUELING AND MAINTENANCE, AND SPILL PREVENTION AND CONTROL.
11. A COPY OF THE SWPPP SHALL BE KEPT ON-SITE DURING ALL LAND-DISTURBING CONSTRUCTION ACTIVITIES.
12. INSTALL CONCRETE WASHOUT AREA PER SHEET C.601 WHERE CONVENIENT.

EROSION CONTROL LEGEND

- SILT FENCE
DETAIL C-210
- STONE TRACKING PAD
DETAIL C-400
- EROSION MAT
DETAIL C-220
- EROSION LOGS
DETAIL C-205
- RIPRAP
DETAIL C-111



Know what's below.
Call before you dig.



0 40 80 160

INTERSTATE HIGHWAY 35

OWNER: CHISAGO COUNTY RAILROAD AUTHORITY
313 N MAIN ST, CENTER CITY, MN
PIN 160056000

SUNRISE PRAIRIE TRAIL

EROSION PROTECTION AT BACK OF BUILDING
DETAIL M-115

EROSION MAT
DETAIL C-220

SILT FENCE
DETAIL C-210

BLDG. 3

BLDG. 4

RIPRAP LEVEL SPREADER
25-FOOT LONG
DETAIL C-123

RIPRAP WEIR
DETAIL C-125

POND #6P

EROSION LOG
DETAIL C-205

COUNTY HIGHWAY 22/30 (FOREST BLVD)

SILT FENCE
DETAIL C-210

EROSION MAT
DETAIL C-220

POND #2P

RIGHT-OF-WAY

STONE TRACKING PAD
DETAIL C-400

RIPRAP
DETAIL C-111

LIGHT RIPRAP BERM ACROSS
INFILTRATION BASIN
TOP=901.00
BOTTOM=899.00
DETAIL C-130

OWNER: STOKES KAL
5337 277TH ST
PIN 211108458

277TH STREET

OWNER: CARLSON JAMES R & KARI L
5392 277TH ST
PIN 211108450

OWNER: ANDERSON DANIEL A
5405 279TH ST
PIN 211112708

279TH STREET

OWNER: KUNHZ BRADLEY R & NANCY L
5428 279TH ST
PIN 211112700

OWNER: GINER K OLSON REVOCABLE LIVING TRUST
27995 FOREST BLVD
PIN 211029312

NOTE:
CONTRACTOR TO FIELD VERIFY
EXISTING UTILITY LOCATIONS

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: SEAN P. BOHAN LICENSE # 46834

SIGNATURE: DATE:

PROJ. NO.
21009



ADVANCED ENGINEERING CONCEPTS
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EAU CLAIRE, WI 54701
PH: 715-552-0330
Info@aec.engineering
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STORMWATER POLLUTION
PREVENTION PLAN

HALLBERG STORAGE BUILDINGS
DURAND BUILDERS, INC
FOREST BLVD (COUNTY HWY 30)
WYOMING, MN

DWG NAME
21009 PG8
SWPPP
DATE
5/2021

8
10

GENERAL EROSION NOTES

1. The stormwater pollution prevention plan is comprised of the drawing, the standard details, the plan narrative, plus the permit & all subsequent reports & related documents.
2. All contractors & subcontractors involved with stormwater pollution prevention shall obtain a copy of the Stormwater Pollution Prevention Plan and the State of Minnesota National Pollutant Discharge Elimination System General Permit (NPDES Permit) & become familiar with their contents.
3. Contractor shall implement best management practices as required by the SWPPP. Additional best management practices shall be implemented as dictated by conditions at no additional cost to owner throughout all phases of construction.
4. Best management practices (BMP's) & controls shall conform to Federal, State, or local requirements. Contractor shall implement additional controls as directed by the permitting agency or owner.
5. Site Map must clearly delineate all state waters. Permits for any construction activity impacting state waters or regulated wetlands must be maintained on site at all times.
6. Contractor shall minimize clearing to the maximum extent practical or as required by the general permit.
7. General Contractor shall denote on plan the temporary parking & storage area which shall also be used as the equipment maintenance & cleaning area, employee parking area, & area for locating portable facilities, office trailers, & toilet facilities.
8. All wash water (concrete trucks, vehicle cleaning, equipment cleaning, etc.) shall be detained and properly treated or disposed.
9. Sufficient oil & grease absorbing materials & flotation booms shall be maintained on site or readily available to contain & clean-up fuel or chemical spills & leaks.
10. Dust on the site shall be controlled. The use of motor oils & other petroleum based or toxic liquids for dust suppression operations is prohibited.
11. Rubbish, trash, garbage, litter, or other such materials shall be deposited into sealed containers. Materials shall be prevented from leaving the premises through the action of wind or stormwater discharge into drainage ditches or waters of the state.

TEMPORARY EROSION AND SEDIMENT CONTROL PROVISIONS	
ITEM	SCHEDULE
SILT FENCES AND STABILIZED VEHICLE EXITS	PRIOR TO CONSTRUCTION AND IMMEDIATELY AS DICTATED
TEMPORARY SEDIMENT BASINS	MUST BE INSTALLED PRIOR TO UPSTREAM GRADING ACTIVITIES
SURFACE ROUGHENING	IMMEDIATELY
COVER CROPS	MINUT SEED MIXTURE #150 @ 40 LB/AC. TYPE 1 DISC ANCHORED MULCH
EARTHEN BERMS	AS DICTATED BY GRADING OPERATIONS
SEE INSPECTION AND MAINTENANCE REQUIREMENTS CONTAINED IN GENERAL PROVISIONS.	
PERMANENT EROSION AND SEDIMENT CONTROL PROVISIONS	
ITEM	SCHEDULE
FINAL STABILIZATION	MIN. 4" TOPSOIL AND THEN MINUT SEED MIX 200 APPLIED @ 100 LB/AC. TYPE 1 MULCH APPLIED @ 2 TONS/AC. DISC ANCHORED
STREET & STORM SEWER MAINTENANCE	PUBLIC STORM SEWER (WITHIN R.O.W.) MAINTENANCE TO BE PERFORMED BY CITY AFTER ACCEPTANCE; PRIVATE STORM SEWER (OUTSIDE OF R.O.W.) TO BE MAINTAINED BY OWNER.

12. All stormwater pollution prevention measures presented on this plan, & in the stormwater pollution prevention plan, shall be initiated as soon as practical.
13. Disturbed portions of the site where construction activity has stopped for at least 14 days, shall be temporarily seeded.
14. Disturbed portions of the site where construction activity has been permanently stopped shall be permanently seeded. These areas shall be seeded no later than 14 days after the last construction activity occurring in these areas. Refer to the grading plan and/or landscape plan.
15. If the action of vehicles traveling over the gravel construction entrances is not sufficient to remove the majority of dirt or mud, then the tires must be washed before the vehicles enter a public road. If washing is used, provisions must be made to intercept the wash water & trap the sediment before it is carried off the site.
16. All materials spilled, dropped, or washed into storm drains must be removed immediately.
17. Contractors or subcontractors will be responsible for removing sediment that may have collected in the storm sewer drainage systems in conjunction with the stabilization of the site.
18. On-site soil stockpiles & borrow areas shall be protected from erosion & sedimentation through implementation of best management practices. Stockpile and borrow area locations shall be noted on the site map & permitted in accordance with general permit requirements.
19. Slopes shall be left in a roughened condition during the grading phase to reduce runoff velocities & erosion.
20. Due to grade changes during the development of the project, the contractor shall be responsible for adjusting the erosion control measures (silt fences, bio logs, etc.) to prevent erosion.
21. All construction shall be stabilized at the end of each working day. This includes backfilling of trenches for utility construction & placement of gravel or bituminous paving for road construction.

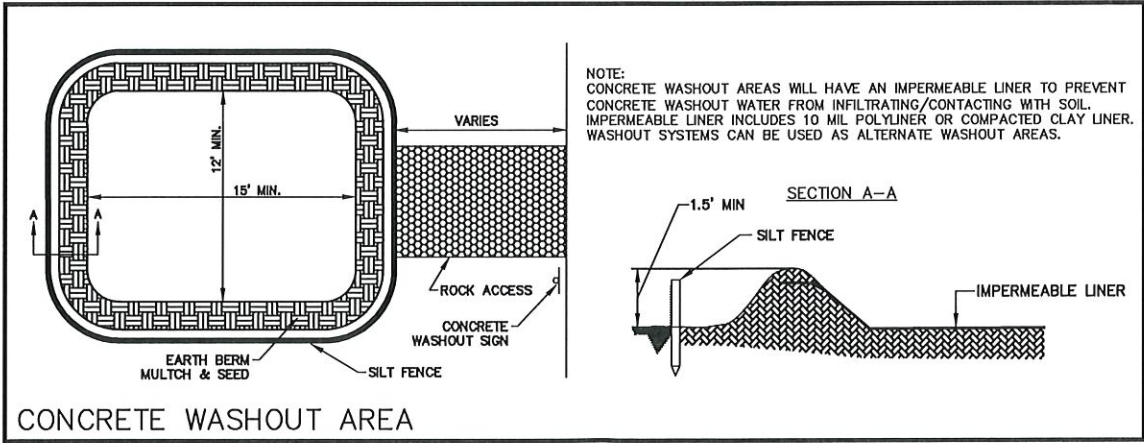
MAINTENANCE

All measures stated on this erosion & sediment control plan, & in the storm water pollution prevention plan, shall be maintained in fully functional condition until no longer required for a completed phase of work or final stabilization of the site. All erosion & sedimentation control measures shall be checked by a qualified person at least once every seven calendar days & within 24 hours of the end of a 0.5" rainfall event, & cleaned & repaired in accordance with the following:

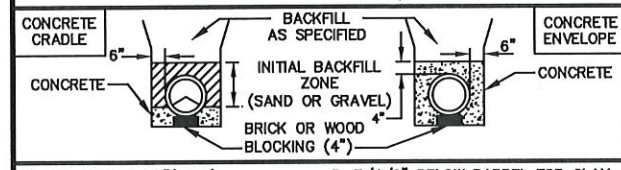
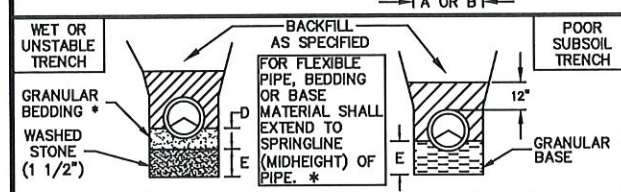
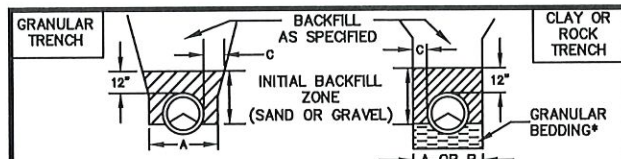
1. Inlet protection devices & barriers shall be repaired or replaced if they show signs of undermining, or deterioration.
2. All seeded areas shall be checked regularly to see that a good stand is maintained. Areas should be fertilized, watered, and reseeded as needed.
3. Silt fences shall be repaired to their original conditions if damaged. Sediment shall be removed from the silt fences when it reaches one-half the height of the silt fence.
4. The construction entrances shall be maintained in a condition which will prevent tracking of flow of mud onto public right-of-way. This may require periodic top dressing of the construction entrances as conditions demand.
5. The temporary parking & storage area shall be kept in good condition (suitable for parking & storage). This may require periodic top dressing of the temporary parking as conditions demand.

OVERALL SEQUENCE OF CONSTRUCTION

1. Install construction tracking control entry/exits (close off entrances that will not be used).
2. Install silt fence around perimeter of site
3. Prepare temporary parking & storage area within existing paved areas.
4. Install utilities (storm sewer).
5. Begin the excavation of the building pads. All suitable material shall be stockpiled within the building pad and protected with additional silt fence.
6. Place sand and base course within the paved areas.
7. Complete grading and install permanent seeding and plantings around site.
8. Remove all temporary erosion and sediment control devices (if site is stabilized).



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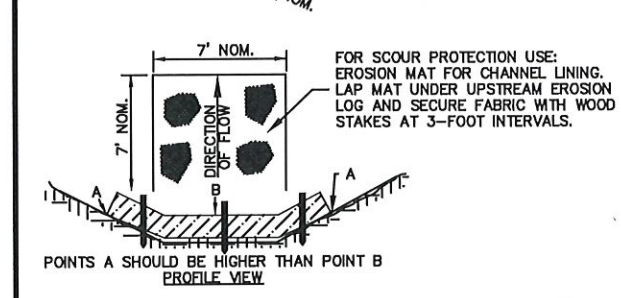
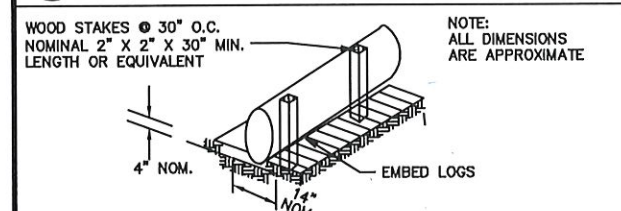


A=O.D. PIPE + 24"(MAX.)
B=O.D. PIPE + 18"(MAX.) FOR ROCK
C=6" MIN.

D=3/4" BELOW BARREL FOR CLAY
E=DETERMINED BY A/E

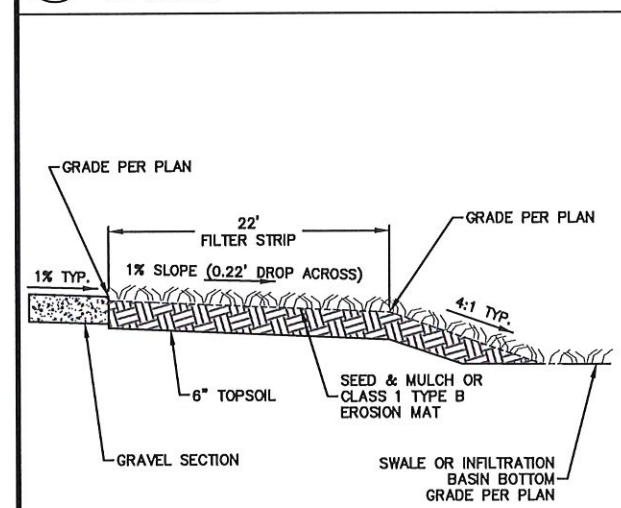
STANDARD TRENCH SECTION

100 NOT TO SCALE



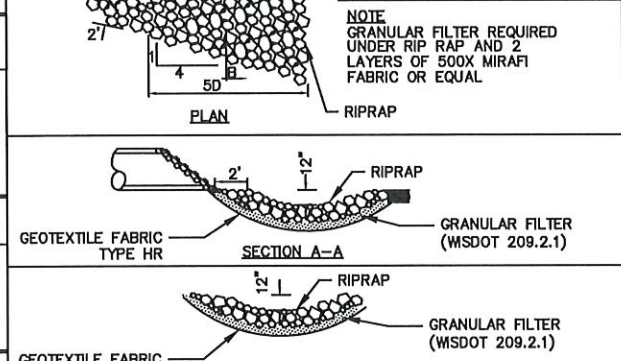
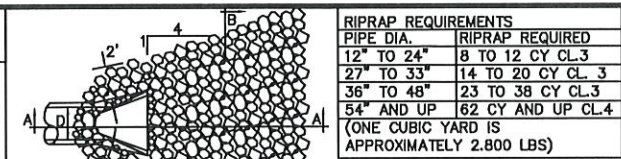
PROPER PLACEMENT OF EROSION LOG BARRIER IN DRAINAGE WAY

205 NOT TO SCALE



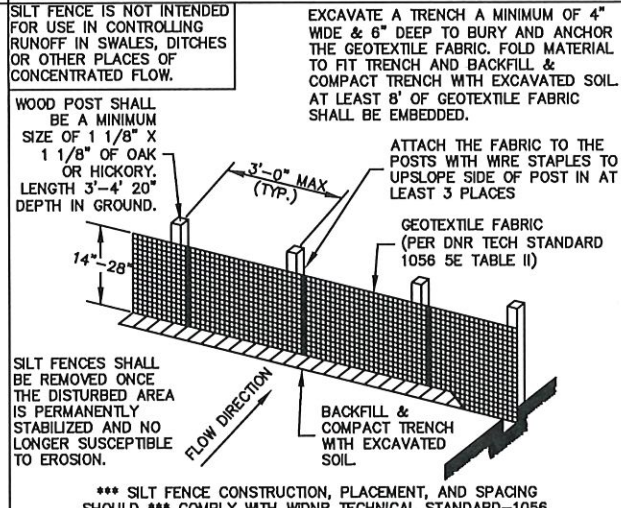
GRASS FILTER STRIP

920 NOT TO SCALE



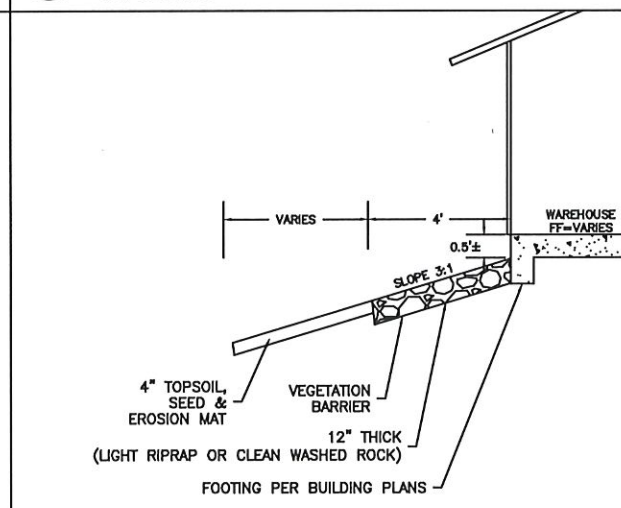
RIPRAP CULVERT DISCHARGE DETAIL

111 NOT TO SCALE



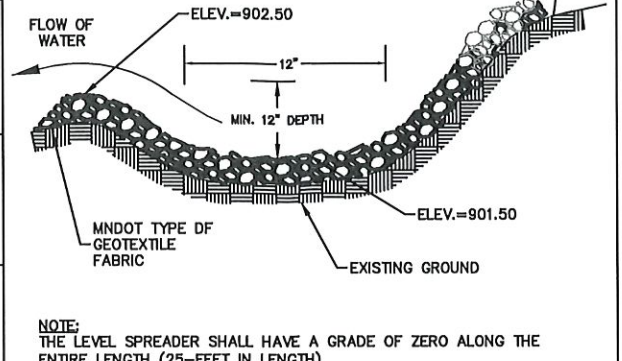
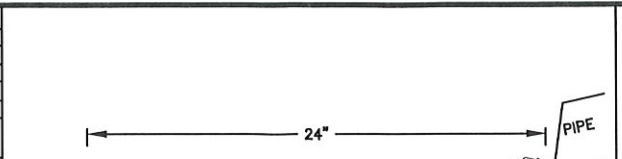
SILT FENCE DETAIL

210 NOT TO SCALE



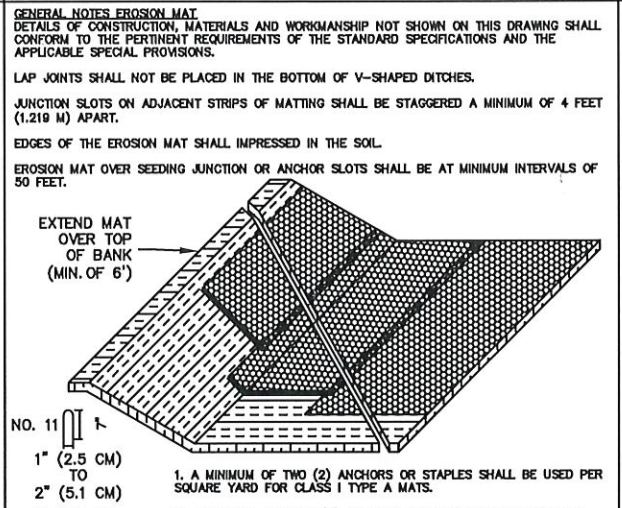
EROSION PROTECTION @ BACK OF BUILDING

115 NOT TO SCALE



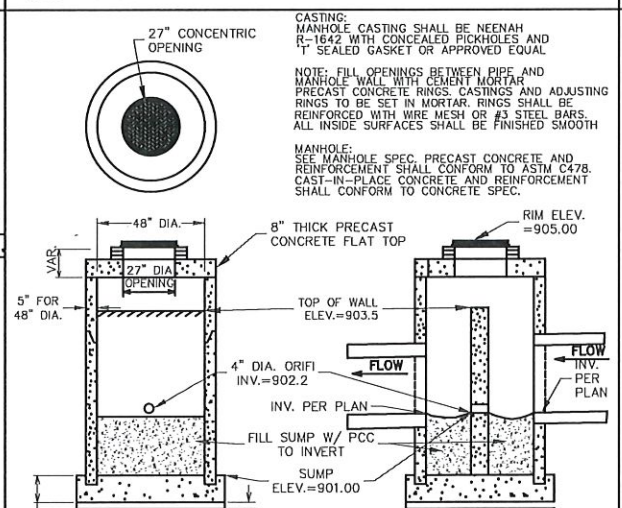
LIGHT RIPRAP LEVEL SPREADER

123 NOT TO SCALE



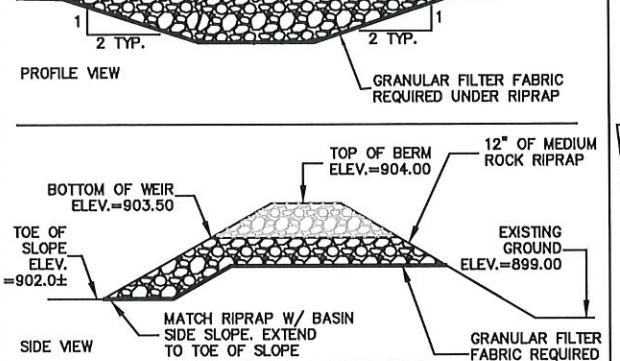
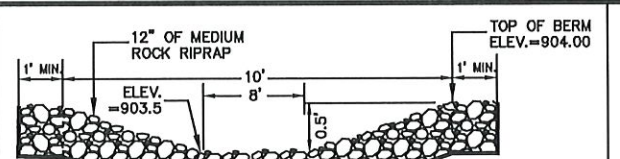
EROSION CONTROL MAT

220 NOT TO SCALE



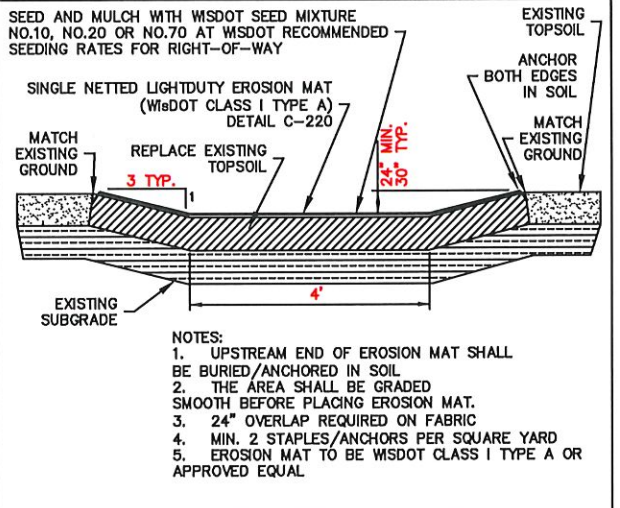
POND OUTLET STRUCTURE

410 NOT TO SCALE



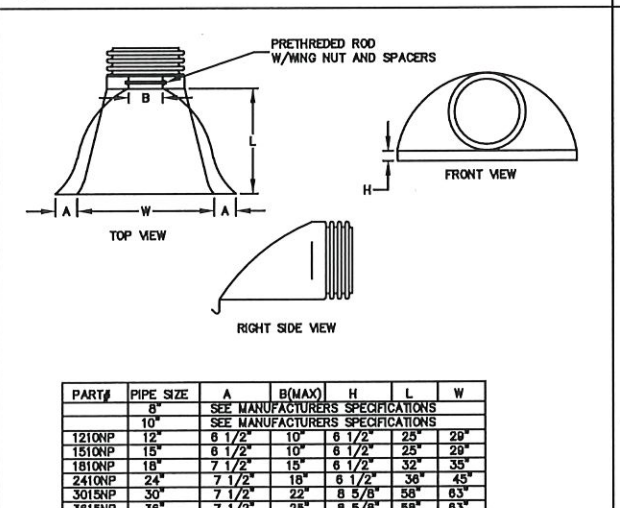
TYPICAL RIPRAP TRAPEZOIDAL WEIR OUTLET

125 NOT TO SCALE



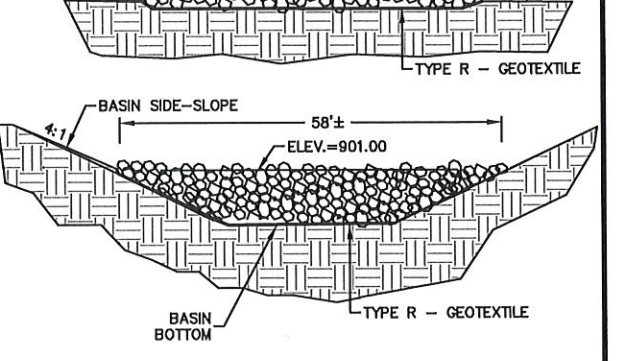
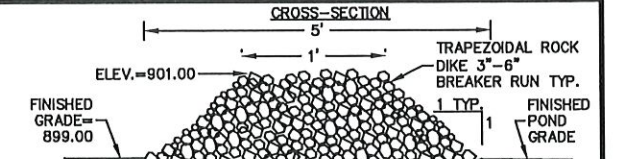
48" WIDE GRASS SWALE WITH EROSION CONTROL MAT

226 NOT TO SCALE



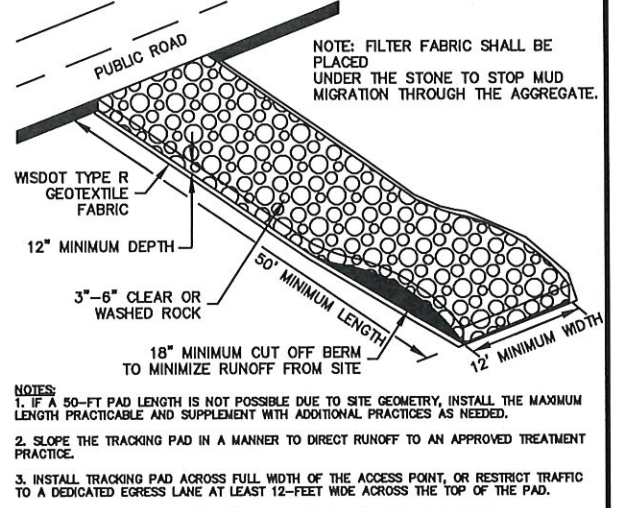
FLARED END SECTION FOR HDPE

480 NOT TO SCALE



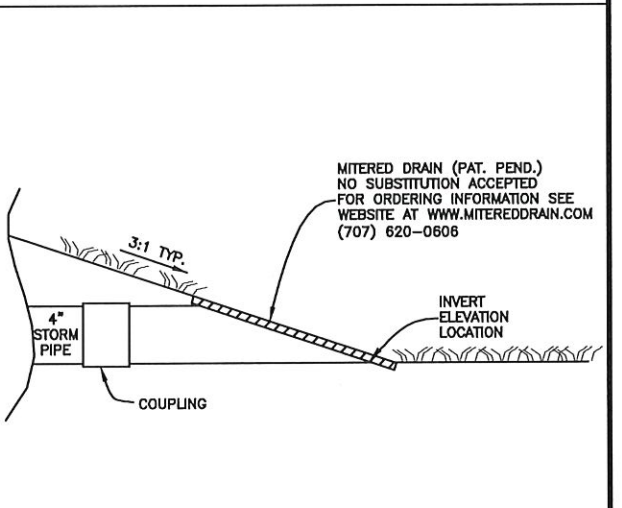
RIPRAP BERM

130 NOT TO SCALE



STONE TRACKING PAD AND TIRE WASHING DETAIL

400 NOT TO SCALE



4" MITERED DRAIN DETAIL

480 NOT TO SCALE

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.				PROJ. NO.	AEC	ADVANCED ENGINEERING CONCEPTS 1360 INTERNATIONAL DR, SUITE #1 EAU CLAIRE, WI 54701 PH: 715-552-0330 Info@aec-engineering.com COPYRIGHT 2021 AEC LLC.	DETAILS	HALLBERG STORAGE BUILDINGS DURAND BUILDERS, INC FOREST BLVD (COUNTY HWY 30) WYOMING, MN	DWG NAME 21009 PG9 DETAILS	10
PRINT NAME: SEAN P. BOHAN LICENSE # 46834				21009						
NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED	SIGNATURE:	DATE:			