

**AGENDA
PLANNING COMMISSION
CITY OF WYOMING, MINNESOTA
JUNE 23, 2026
7:00 PM**

CALL TO ORDER:

CALL OF ROLL:

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM:

An opportunity for members of the public to address the Planning Commission on items not on the current Agenda. Items requiring Planning Commission action may be deferred to staff for research and future Planning Commission Agendas if appropriate. You will be limited to two (2) minutes and we ask that you conduct yourself in a professional, courteous manner, and refrain from the use of profanity. Failure to abide by this policy may result in the loss of your privilege to speak.

APPROVAL OF MINUTES:

1. Consider approving the minutes of the “Regular Meeting” of the Wyoming, Minnesota Planning Commission for June 9, 2026.

SCHEDULED PUBLIC HEARINGS:

2. Preliminary Plat D-26-004; “Sunrise River Bank Commercial”
Location: East Viking Boulevard, Greenwood Golf Course Site
Applicant: Richard Morris of NTD-COM, LLC
Owner: NTD-COM, LLC, Richard Morris
Property ID Numbers: 21.00012.20 & 21.10302.33

NEW BUSINESS:

OLD BUSINESS:

COMMUNICATIONS:

UPDATES:

The "Mastell Addition" Preliminary & Final Plats were approved.

ADJOURN

UPCOMING:

Site Plan Review — Wyoming Fire Department Additions.

**UNAPPROVED MINUTES
PLANNING COMMISSION
CITY OF WYOMING, MINNESOTA
JUNE 9, 2026
7:00 PM**

CALL TO ORDER:

Planning Commission Chairman Lobermeier called the Regular Meeting of the Wyoming Planning Commission for June 9, 2026, to order at 7:00 PM

CALL OF ROLL:

On a Call of the Roll, the following members of the Wyoming Planning Commission were present: Mark Lobermeier, Katie West, Dan Iverson, and Ken Rutford

ABSENT: Commissioner Mark Holl

Also Present: Fred Weck, Zoning Administrator, and Mayor Lisa Iverson

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM: NONE

APPROVAL OF MINUTES:

- 1. Consider approving the minutes of the “Regular Meeting” of the Wyoming, Minnesota Planning Commission for May 26, 2026**

A MOTION WAS MADE BY COMMISSIONER IVERSON, SECONDED BY COMMISSIONER RUTFORD, TO APPROVE THE MINUTES OF THE “REGULAR MEETING” OF THE WYOMING, MINNESOTA PLANNING COMMISSION FOR MAY 26, 2026, AS SUBMITTED.

*Voting Aye: Rutford, West, Iverson, and Lobermeier
Voting Nay: None
Abstain: None
Absent: Holl*

SCHEDULED PUBLIC HEARINGS:

- 2. Preliminary Plat: D-26-003 “Mastell Addition”
Final Plat: D-26-004 “Mastell Addition”
Location: West Comfort Drive and Heath Avenue
Applicants: Chris and Jake Mastell – JKJ Property Management, LLC
Property ID Number: 21.10518.00**

Zoning Administrator Weck gave an overview of the request to subdivide a vacant parcel into one buildable parcel for residential development and 2 outlots. He stated that staff recommended approval subject to the conditions included in the staff report.

MOTION BY COMMISSIONER WEST, SECONDED BY COMMISSIONER IVERSON, TO OPEN THE PUBLIC HEARING AT 7:04 P.M.

Voting Aye: *Rutford, West, Iverson, and Lobermeier*
Voting Nay: *None*
Abstain: *None*
Absent: *Holl*

William Zemke, 25367 West Comfort, explained that they had no problems with this request.

MOTION BY COMMISSIONER WEST, SECONDED BY COMMISSIONER RUTFORD, TO CLOSE THE PUBLIC HEARING AT 7:06 P.M.

Voting Aye: *Rutford, West, Iverson, and Lobermeier*
Voting Nay: *None*
Abstain: *None*
Absent: *Holl*

Zoning Administrator Weck noted that there were 5 conditions of approval noted in the staff report, but the application had already complied with condition #5, so that didn't need to be included in the motion.

MOTION BY COMMISSIONER IVERSON, SECONDED BY COMMISSIONER WEST, TO RECOMMEND APPROVAL OF PRELIMINARY PLAT: D-26-003 "MASTELL ADDITION"; FINAL PLAT: D-26-004 "MASTELL ADDITION" LOCATED AT WEST COMFORT DRIVE AND HEATH AVENUE FOR APPLICANTS: CHRIS AND JAKE MASTELL – JKJ PROPERTY MANAGEMENT, LLC, PROPERTY ID NUMBER: 21.10518.00, SUBJECT TO CONDITIONS #1-4 AS OUTLINED IN THE STAFF REPORT.

Voting Aye: *Rutford, West, Iverson, and Lobermeier*
Voting Nay: *None*
Abstain: *None*
Absent: *Holl*

NEW BUSINESS: NONE

OLD BUSINESS:

3. City of Wyoming Cannabis Ordinance

Zoning Administrator Weck and Chair Lobermeier reviewed the cannabis related questions that had been submitted to the City Attorney and outlined the responses.

Chair Lobermeier noted that one of the easiest things the City can do is ban the outdoor growing of cannabis.

Commissioner West gave an example of being at a soccer field that had a farmer spreading manure on his field. She stated that it was very pungent and made it difficult to breathe. She stated that this was a common practice, but she found the odor offensive and asked if that would mean there would also be odor mitigation in that situation as well. She stated that she didn't like the smell of marijuana, but didn't want the City to turn into 'Big Brother'. She stated that people moved to Wyoming for property and space, and that may include farming.

Zoning Administrator Weck noted that Commissioner West was basically saying that they were both agricultural uses and there would be smells associated with each use.

Mayor Iverson mentioned an example from a few years ago where the farmer across the street was spreading manure that had a very strong odor, and thought he had to make some type of change to what he was doing.

Zoning Administrator Weck explained that he had been spreading biowaste from a brewery and wasn't doing it correctly, according to the MPCA. He noted that he was supposed to make sure that there were no odors.

Commissioner West reiterated that she didn't want the City to be policing the City's farmers, even if she didn't personally agree with what they grew.

Chair Lobermeier stated that part of the Commission's recent discussions has been the possibility of them preferring this type of use to be located within the Industrial District, and with indoor growing, would also be more effective for odor mitigation.

Commissioner West stated that she thought cannabis growers preferred growing indoors.

Zoning Administrator Weck stated that, generally speaking, they do prefer growing it indoors because they can control the growth cycle, but noted that the first license issued by the State was to an outdoor grower.

Chair Lobermeier stated that he felt allowing indoor growing offered the City the best control for odors and security.

Commissioner West asked if making that change would force other agricultural things to only be able to be done indoors. She stated that she didn't want to approve something if they hadn't thought through all of those details.

Chair Lobermeier agreed that this was something the Commission should talk about before they move anything forward.

Zoning Administrator Weck asked if the Commission had any follow-up questions for the City Attorney.

Chair Lobermeier stated that he didn't think he had any and highlighted some of the information that they had already gotten. He noted that he thinks they may need to look into the zoning ordinance and asked if the Comprehensive Plan should have a role in the rezoning process or zoning amendments. He stated that when asked about this, the City Attorney had indicated that because Wyoming was not part of the metro area, they didn't have to make sure the Comprehensive Plan and the City's zoning aligned.

Zoning Administrator Weck stated that even though the City isn't part of the metro area, they still need to follow the Comprehensive Plan. He explained that someone could sue the City and say that they weren't following the Comprehensive Plan, which is the City's guiding document.

Chair Lobermeier stated that they needed to determine whether the City could use the Comprehensive Plan to deny an application.

Zoning Administrator Weck stated that he would speak with the City Attorney and then put together a draft ordinance based on the Commission discussions as a starting point.

COMMUNICATIONS:

UPDATES:

The Rosenbauer cold storage building was approved.

A MOTION WAS MADE BY COMMISSIONER WEST, SECONDED BY COMMISSIONER IVERSON, TO ADJOURN THE JUNE 9, 2026 "REGULAR MEETING" OF THE WYOMING, MINNESOTA PLANNING COMMISSION AT 7:31 PM.

Voting Aye: Rufford, West, Iverson, and Lobermeier
Voting Nay: None
Abstain: None
Absent: Holl

**CITY OF WYOMING
PLANNING AND ZONING**

TO:	Planning Commission
DATE	6/18/2026
MEETING DATE:	6/23/2026
FROM:	Kim Lindquist, City Planner Fred Weck, Zoning Administrator
RE:	Sunrise Riverbank Commercial Preliminary Plat
APPLICANT:	Sunrise Riverbank Properties
PROPERTY OWNER:	NTD-Com LLC
PROPERTY:	21.10302.33
FILE NO.:	D-26-004

OVERVIEW

The applicant, Sunrise Riverbank Properties, has requested preliminary plat approval relating to the proposed future development of the commercial section of the Sunrise Riverbank properties. The plat is comprised of three developable parcels and one outlot. This application is for the plat only and future approvals will be needed for a PUD master development plan and conditional use permits for the individual lot developments. However, staff requested that the applicant layout the individual projects to the best of their ability so the city can ensure that lots are configured to accommodate the intended future development plans.

As the Commission and Council will recall the western portion of the development is slated for residential development with the eastern portion, more adjacent to I-35, designated for mixed use, including commercial uses. As proposed, the 15.6-acre site will be platted into three parcels south of 270th Street, a new public road, with a fourth outlot created north of the road. The three southern parcels have identified land uses of a convenience store with gas, apartment building, and hotel. The prior sketch plan proposed 4 parcels for future development, and it also contained the Village Inn parcel expanded. Due to the amount of wetlands, the 4th parcel has been deleted, and the Village Inn parcel remains the same as the existing condition.

The Mixed-Use zoning district requires compliance with the dimensional requirements established in other commercial or residential zoning districts. The proposed lots meet the ordinance required standards.

BACKGROUND

The sketch plan was reviewed by the Planning Commission at their March 24, 2026, meeting and much of the conversation related to traffic in the area and the need to look comprehensively for solutions now that this property will be developing along with the additional traffic issues

associated with Pinehaven. A traffic study has been conducted as part of this review and is attached for the Commissions information.

STAFF RECONMENDATION

The requirements of Chapter 32, Article III, Division 2, The Preliminary Plat contained in the City of Wyoming Subdivision Ordinance have been complied with. Accordingly, staff recommends approval of the Preliminary Plat for Sunrise Riverbank Commercial subject to the following conditions:

1. All required local, state and/or federal permitting must be obtained.
2. The applicant shall pay for the design and installation of a temporary traffic signal at the intersection of Kettle River Blvd and CSAH 22. The temporary signal shall be installed with the first development parcel.
3. The applicant shall remove the CSAH 22 access into the Village Inn after paving of Kettle River Blvd.
4. The applicant shall submit preliminary stormwater information, including estimated impervious surfaces for the individual lots and ponding capacity to ensure adequate storage is available in the project prior to final plat approval.
5. The applicant shall submit preliminary flood plain information, including estimated filling and compensatory storage for the individual lots and roadways prior to final plat approval.
6. The applicant shall pay a park dedication fee of 5% of the fair market value of Lot 2 Block 1 (the hotel) and Lot 3 Block 1 (the gas station) prior to final plat approval. The applicant shall pay a park dedication fee for the apartment site prior to issuance of a building permit; the fee will be determined by the number of units in the building and the fee schedule at that time.
7. The applicant provide final grading and drainage plans for the City Engineer review prior to issuance of a grading permit or installation of site utilities. Individual site plan grading and utility work shall be required prior to issuance of grading and building permits for the individual developments. The applicant shall address all comments in the June 15, 2026, Development Plan Review Memorandum and the Civil Plan sheet mark ups.
8. The applicant install a sidewalk along the public drainage and utility easement around the hotel site onto Kettle River Blvd.

STAFF REVIEW

The site is located in the northwest corner of Viking Blvd and Kettle River Blvd and has been discussed for commercial or mixed use development for some time. The presence of wetlands and flood plain creates restrictions on the amount of development which can occur. The applicant is platting the property at this time, but future reviews are necessary for the mixed use PUD and conditional use permits with site plans for individual lots. However, due to site restrictions evaluation of wetlands, flood plain, traffic, and infrastructure impacts should be conducted for the

entire parcel. Required easements to facilitate development, along with ensuring individual lots can accommodate future development are part of the required analysis.

General Comprehensive Plan and Zoning Review

The site is guided for mixed use and zoned for mixed use. The development is consistent with the zoning and land use designation and is complementary to the prior discussions regarding development of this area. The proposed uses of hotel, gas station and apartments all fit within the mixed use designation and zoning district.

Per ordinance, any development in a Mixed-Use District shall be required to submit and have approved a master development plan. The plan shall include individual parcels, street, building placement, surface water management, exterior architectural character and major landscaping. After the platting process, and appropriate plan modifications made, a Master Development Plan review should be undertaken, which also requires processing of a conditional use permit with individual site plans.

The zoning and surrounding guided uses are as follows:

North – A – Agriculture and Wetlands

South – C – Commercial

West – R1 – Rural Residential

East – C – Commercial

Lot Sizes and Dimensional Standards

The zoning ordinance for mixed use (Section 40-277. Dimensional Standards) indicates that dimensional requirements are established in other articles of the ordinance, based upon the appropriate land use. Exceptions can be negotiated with the City during the review process.

Hotels and convenience stores with fuel sales are permitted uses in the Commercial zoning district. The minimum lot size for a commercial use is 20,000 sq. ft and the lot shall have a 100' lot width at the building setback and frontage on right of way. Medium and high-density residential development would fall under the R-6 zoning district. Lot size is somewhat related to unit numbers which is not currently provided although assumed to be approximately 100.

The prior sketch plan had one additional lot and lot widths that were under the ordinance standard. Changes have been made to comply with ordinance lot dimensional criteria. However, without final site plans for each site it is difficult to confirm each development will comply with all ordinance performance standards. It is expected that each lot is appropriately sized to meet ordinance regulations and that future variances are not needed.

	Lot Size	Lot Width at ROW	Lot Depth
C-Commercial	20,000 SF	100 FT/Corner lot 115 FT	NA
Convenience Store with Gas	3.98 Acres	247 FT	
Hotel	4.64 Acres	108 FT	
R-6 Medium and High Density Housing	Minimum 2500 SF with additional requirements per # of units and location of parking	100 FT/Corner lot 115 FT	135 FT
Apartment	3.35 Acres	229 FT	383 FT

The applicant has submitted revised site plans which address some of the comments noted when reviewing the sketch plan. With the removal of the 4th southern lot, it appears that there is more space to allow development of the three main land uses.

When developed the following setbacks are required:

Table 1 Setbacks for R-6 and C Districts

Zoning District	Front Yard Setback Minimum	Side Yard Setback Minimum	Rear Yard Setback Minimum
R-6 (Medium and High Density Housing)	See Table 2	-One-half the height of the building. - 3' for accessory buildings -15' for parking and driveways	-35' for principal building -3' for accessory buildings
C (Commercial)	-See Table 2 -10' minimum from ROW for parking areas	-0' for principal buildings* -3' for accessory structures** -10' for parking areas***	-20' for principal buildings -3' for accessory structures** -10' for parking areas***
<i>*20' for principal buildings adjacent to a residential district</i> <i>**6' for accessory structures adjacent to a residential district</i> <i>***20' for parking areas adjacent to a residential district</i> <i>Sec. 40-234 and Sec. 40-255</i>			

Table 2 Front Yard Setbacks

Type of Road Along Front Yard	R-6 Front Yard Minimum Setback Distance	C Front Yard Minimum Setback Distance	Measured From
County Road 22/ East Viking Boulevard (County Road)	135'	135'	Measured from centerline of the road
Kettle River Boulevard (Collector Street)	30'	20'	Measured from the road right-of-way*
270 th Street and Sunrise Court (Local Street)	25'	20'	Measured from the road right-of-way*

SITE CHARACTERISTICS

Wetlands

The property is approximately 15.6 acres and contains a significant amount of wetlands on the site. A new wetland delineation was determined in March 2026. The new designations reduce some of the prior wetland boundaries. Specifically, Wetland 1, 1a, and 5 are smaller than the prior designation. The next step in the wetland review process is submission of a wetland replacement plan to permit the envisioned project as some of the wetlands will be impacted by the development plan. Consistent with WCA rules, the application must include information about wetland avoidance and minimization in relationship to the land use proposal. Another TEP plan review is necessary to discuss the replacement plan. Upon a completed submittal, it is anticipated that a determination regarding the wetland replacement plan will be approximately 30 days.

The original application was approved using the South Branch Sunrise River Wetland Bank as the source for replacement wetland credits. If the source of the wetland credits has been changed, a new application is needed showing the new mitigation location.

Flood Plain

The applicant has noted flood plain over a portion of the site. The flood plain is designated from a prior property review and has been reduced from that shown by the DNR information. Much of the flood plain in the developing area is within the gas station site and the adjoining ditch and roadway area. Any filling proposed to allow commercial installation will require compensatory storage be created elsewhere. Staff is recommending a condition of approval require the flood plain information be provided prior to final plat approval to ensure the developer can meet flood plain acreage capacity requirements.

TRAFFIC

During the sketch plan approval, staff noted a traffic study should be undertaken to assess the impact of the project including the future western residential project. The traffic study attached reviewed five intersections along Viking Blvd (CSAH 22):

- CSAH 22 & Viking Lane
- CSAH 22 & Business Access
- CSAH 22 & Kettle River Blvd
- CSAH 22 & I-35 Southbound Ramps
- CSAH 22 & I-35 Northbound Ramps

There were three transportation scenarios analyzed for the proposed development:

Year 2026 Existing Conditions

Year 2028 Commercial Development Opening – either no build or build conditions.

Year 2045 No build or building conditions.

The no build condition is the traffic generation projected in 2028 and 2045 without the Sunrise commercial project but includes the western residential development. The no build provides the baseline to compare the impacts of the commercial project upon the roadway system for the listed future dates. The traffic modeling indicates that there are levels of service D, E, & F at several intersections, particularly Kettle River and CSAH 22 which is undesirable. The traffic study indicates that mitigation of the negative traffic impacts can be addressed by installation of a traffic signal at Kettle River Blvd and CSAH 22 intersection and coordinating that signal with the two existing signals at the I-35 north and south bound ramps. The traffic study states that the signal light is temporary, both in terms of its construction and in duration. The intention is that the signal is temporary until such time as roundabouts are installed at the I-35 ramps and Kettle River Blvd intersections. It is anticipated that the roundabouts will be installed within the next 10 years.

As a condition of approval, staff is recommending that the private development drive from CSAH 22 into the Village Inn be removed and all site access be from Kettle River Blvd.

There is little information about pedestrian access in and around the development. Staff is recommending the applicant install a sidewalk or trail within the Public Drainage and Utility Easement connection Kettle River Blvd. to Sunrise Court. This will allow future apartment residents an off-road access to adjoining development and closer to the Viking Blvd. trail. Due to site constraints, there will not be room for pedestrian access along Kettle River Blvd.

UTILITIES

All facets of the public infrastructure have been reviewed by the City Engineer and a memorandum and plan markup conducted. The memorandum is attached for the Commission and Councils information.

Surface Water

The site is outside of the Comfort Lake Forest Lake Watershed District but is required to follow the City of Wyoming stormwater management standards which are consistent with the CLFLWD requirements. Surface water comments, including flood plain impacts, are as follows:

- Peak discharge rates from each point of site discharge may not increase from the pre-development condition for the 2-, 10-, and 100-year storm events. This is not currently being met at the east channel for the 2-year event or the western wetland for any of the modeled events.
- Proposed HydroCAD modeling should be updated to be for large scale areas (similar to existing conditions) rather than to each catch basin. An updated proposed conditions drainage area map should be provided.
- Storm sewer should be designed for a 10-year rainfall event with the rational method. Note the drainage report states that rational method storm sewer calculations were completed but these were not submitted for review.
- Drainage narrative should be updated to clearly state the assumed impervious area accounted for each of the future lots to confirm current design will be able to provide

required stormwater management for the site. High level stormwater management information for the areas that bypass the currently proposed stormwater basin (Bypass A - Bypass C, P-West) should be included in report to confirm proof of concept for future stormwater management sizing in the areas shown on the plans as temporary sediment basins.

- Documentation that the stormwater pond is sized using CLFLWD Volume Conversion factors, and that it is sized for NPDES permit requirements is needed.
- There is FEMA Zone A floodplain present onsite so the site must show compliance with all FEMA floodplain requirements including compensatory storage for any fill below the floodplain. Note that compensatory storage credit within the proposed stormwater BMP will only be allowed for storage above the BMP's HWL.
- Proposed sizing information for the culvert under 270th should be provided. Documentation to the change in the floodplain in line with MnDNR guidance will be required.
- Work within the existing waterway through the project area will require permitting through the US Army Corps of Engineers.

The plat is comprised of 3 lots for development and an outlot north of the new 270th. The outlot is one of three areas designated for stormwater ponding. In general, the applicant should ensure there is enough capacity within designated ponding to meet appropriate stormwater regulations for the entire site development. Without final site plans, the applicant should estimate hard surfacing and necessary storage prior to final plat approval. The overall stormwater ponding is dependent upon all parcels contributing to the solution. Similarly, there will be grading and filling within designated flood plain, particularly on the gas station site and the northern portion of the apartment site. Compensatory storage is required for any filling. Again, an overall development solution is needed given the natural restrictions on the site. Clarification of impacts and potential mitigation sites is required prior to final plat approval.

Issues such as surface water consistency and flood plain compliance relate to the entire project, not just one of the specific lots. Because the entire site functions as one for that portion of review, compliance of the standards should be verified prior to final plat approval. It is understood that the final site plans for individual project are not complete, and could change, the final calculations for both of these issues.

Water and Wastewater

The City has reviewed the project on several occasions and is comfortable that there are utilities in the area, which must be extended, that can serve the project. Previous work on the sanitary sewer and water mains have occurred to ensure capacity and provide watermain looping which is desired. The water will need to be extended along Viking Blvd and stubbed at the western parcel boundary to provide future connectivity with the adjoining residential development.

Public Roadways

The applicant is proposing to construct the 270th Avenue road extension along with the Sunrise Court cul de sac. 270th Avenue will terminate at the western edge of the commercial site and will ultimately be extended when the residential to the west is developed. Depending upon timing the applicant may need to install a turn-around or hammerhead at the terminus.

Kettle River Blvd will be paved up to 270th Avenue by the applicant. It is unclear if the roadway should be an urban or rural section. A final determination will be made depending upon site needs and the potential impacts to grading, flood plain, and wetlands created by each design alternative. The goal is to reduce the impacts, to the extent possible, while continuing to meet City standards. Staff is recommending the upgrade to Kettle River Blvd occur with the construction of the gas station and convenience store. The remaining roadway construction can be phased depending upon the needs of the future users.

Roadway widths shall be expanded to meet ordinance criteria, particularly Kettle River Blvd.

Park Dedication

Article IV of the Subdivision Ordinance sets forth the park dedication requirements. Most likely the location of the proposed subdivision is not an area that the City is looking to acquire additional property as park land is being dedicated from the adjoining western residential project. That means the City will be requesting fee in lieu of park dedication. The funds are calculated based upon the fair market value of the property and multiplied by 5%. That would be the required dedication for the gas station and hotel. The apartment building park dedication fee will be calculated based upon the final density of the approved project. The fees are to be collected prior to final plat approval for the two commercial lots; the fee for the apartment building will be required prior to issuance of a building permit.

Plat Review Standards

In accordance with Sec. 32 – 42, the following criteria shall be considered during the Plat review application process:

- (a) Consistency with the design standards and other requirement of this ordinance.

The planned subdivision does comply with C-Commercial and R-6 Medium and High Density Housing District lot standards.

- (b) Consistency with the City's Comprehensive Plan, Stormwater Management Plan, and any other development plans officially adopted by the City.

The planned subdivision is consistent with the Mixed Use zoning code and comprehensive plan.

- (c) The physical characteristics of the site, including but not limited to topography, erosion, flooding potential, development, and major vegetation.

The physical characteristics of the site have been or will be addressed by the applicant in their current submittal or as conditions of approval.

- (d) The proposed development's fiscal impact and environmental impact.

The proposed development will have no major negative fiscal or environment impact.

(e) Whether the proposed subdivision is in conflict with applicable general and specific plans (e.g. growth management system goals and policies, capital improvement programs, ordinances).

The proposed subdivision is not in conflict with any specific or general plans. Infrastructure improvements in the area have been constructed or planned to ensure this site can develop.

(f) Whether the design or improvement of the proposed subdivision is in conflict with applicable development plans.

The project is not in conflict with applicable city development plans.

(g) That the site is physically suitable for the proposed density of the development.

This site is physically suitable for future mixed use development.

(h) Whether the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage.

The design of the subdivision should not cause substantial environmental damage. Care has been taken to mitigate wetland and flood plain impacts.

(i) Whether the design of the subdivision or the type of improvements are likely to cause serious public health problems.

The design of the subdivision should not cause serious public health problems.

(j) Whether the design of the subdivision or the type of improvements will conflict with easements of record or of easements established by judgment of a court.

The design of the subdivision should not conflict with any easement of record or easement established by judgment of a court.

Next Steps

The City Council will review the Planning Commission's Plat review at the next regularly scheduled meeting.

Memorandum

To: Mark Erichson, City Engineer

From: Amanda Sachi, PE
Kris Keller, PE

Date: June 15, 2026

Re: Sunrise Riverbank Commercial –
Development Plan Review
WSB Project No. 033716-000

We reviewed the documents provided by Sunrise Riverbank Properties on May 29, 2026. Documents reviewed include:

- Sunrise Riverbank Site Development Plans, prepared by Advanced Engineering Concepts dated May 2026
- CVT Report for Wyoming Sunrise River Bank Properties dated 3/8/26
- Pointe North at Carlos Avery Commercial Development Traffic Study 6/1/26

Additional redline comments are provided on the submitted civil plans. Applicant should provide responses to each comment and redline comment. We offer the following comments below.

Civil Comments:

1. General
 - a. Submit for and provide copies to the City of all required permits from regulatory agencies (MCES, Minnesota Pollution Control Agency, Minnesota Department of Health, NPDES, Minnesota Department of Labor and Industry etc.)
 - b. Provide clearing and grubbing limits on plans
 - c. Verify the ROW NW corner of Viking Blvd and Kettle River Blvd.
 - d. Please clarify lines and linetypes on plan/legends throughout plan set
 - e. Address redline comments on attached plan set
2. Utilities –
 - a. Sewer service will be extended from the existing sewer line located at the NW quadrant of East Viking Boulevard and Kettle River Boulevard. The City of Wyoming recently upsized the downstream sanitary sewer force main to accommodate the additional flows from this area of the community.
 - b. Watermain is proposed to be extended from the recent constructed trunk watermain extended from the north water tower to the northern limits of this development and the existing watermain located at the NW quadrant of East Viking Boulevard and Kettle River Boulevard. Their proposed watermain will complete this watermain loop and provide service to their development and improved overall system reliability.

- c. The development will need to extend water west along Viking Blvd and stub at west parcel boundary limit to provide future connectivity with their residential development and allow adjacent properties access to watermain.
 - i. See redlined comments about connections. A concept figure of the conceptual roundabout is shown on plan comments to help determine watermain location.
 - ii. Verify ROW location. Easements will be required to obtain for additional watermain alignment.
- d. Verify all crossings maintain the 18" minimum clearance from outside of pipe to outside of pipe.
- e. Northern water connect - Wet tap is not necessary on northern connection as that line can be shut down with a valve. See redlines on drawings about connection.
- f. New water and sanitary services to existing commercial buildings should be sized for commercial use. Update water to min 6" service line and sanitary to 6" service line.
- g. Show hydrant tees in profile
 - i. Adjust watermain and/or hydrant locations such that hydrants are located at all system high points. (station 79+50, sheet 13)
- h. Utilities shown are being installed below groundwater. Provide dewatering plan for approval and water appropriations permit prior to construction.

3. Streets

- a. Kettle River Blvd
 - i. Existing gravel road section – Modifications are needed for this section of road as internal proposed roadways are 35 ft face of curb to face of curb while Kettle River Boulevard is proposed at 24 feet wide with no curb and gutter. There are challenges and significant costs associated with making this section of Kettle River Boulevard an urban section and staff is prepared to discuss further details with the applicant on acceptable urban or rural sections for Kettle River Boulevard.
 - 1. Additional investigation needed into soil borings to determine if any soil correction is needed.
 - ii. Existing Paved Road Section – Road will need to be reclaimed and repaved and will require a left and a thru/right lane as it approaches the intersection with East Viking Boulevard, as outlined in the traffic study.
- b. Traffic study suggests the need for a temporary signal at the intersection of CSAH 22 and Kettle River Blvd. Please update plans accordingly.
- c. Adjust RAD2 and RAD3 on Sunrise Ct Cul-de-sac to 44' to meet city standard plate detail WY-ST-9.
- d. Sidewalk on Sunrise Ct. and east portion of 270th Street – Sidewalk needs to be 5' off of back of curb to allow for a 5' boulevard.
- e. Sidewalk – Additional sidewalk needed within the utility easement to connect sidewalk at Cul-de-sac of Sunrise Ct to trail on CSAH22 that leads to the Sunrise Prairie Trail.

4. Easements

- a. Additional easement will be needed along Viking Blvd for additional watermain
- b. Clarify existing and proposed easement lines on drawings and legends.

General

Infrastructure design shall be completed in accordance with the City of Wyoming's Engineering Guidelines and Standards. Infrastructure construction shall be completed in accordance with the latest edition of the City's General Specifications and Standard Detail Plates for Street and Utility Construction.



City Of Wyoming
 26885 Forest Blvd, PO Box 188
 Wyoming, MN 55092
 Phone (651) 462-4947
 permits@wyomingmn.org

SUBDIVISION APPLICATION: PRELIMINARY PLAT

A preliminary plat application is filed after the Planning Commission has reviewed the sketch plan application for the proposed subdivision. The application is reviewed by the Plat Review Committee and then forwarded on to the Planning Commission for a public hearing. After the public hearing the application is considered by the City Council.

Applicant(s): Name(s) NTD-COM, LLC - RICHARD MORRIS
 Address 7380 FRANCE AVENUE SOUTH, SUITE 250
 City EDINA State MN Zip 55435
 Phone Number [REDACTED] Email [REDACTED]

Owner(s) - If other than Applicant(s):
 Name(s) _____
 Address _____
 City _____ State _____ Zip _____
 Phone Number _____ Email _____

Signature of owner(s) [Signature] - pres Date 4-16-20

Legal description of property: OUTLOT A, SUNRISE RIVERBANK AND PART OF THE NE 1/4 OF SECTION 19, TOWNSHIP 33, RANGE 21

Property Identification Number: R.21.10302.33 AND R.21.00012.20

Present use of property: VACANT
 Proposed use of property: HOTEL / APARTMENT / CONVENIENCE STORE
 Present zoning of property: MIXED USE DISTRICT (MUD) AND COMMERCIAL (C)

Total acreage of property: 16.68 ACRES Total acreage in wetlands or floodplain: _____
 Number of proposed lots: 3 LOTS / 1 OUTLOT Acreage of proposed parkland dedication: N/A

- 4 full size copies of the proposed preliminary plat
- 2 reduced copies (no larger than 11 X 17)
- 1 electronic version legibly detailing all features
- Environmental Assessment Worksheet, if necessary
- A copy of proposed protective covenants, if applicable N/A
- Grading, drainage and erosion control plans
- Septic site evaluation reports N/A
- Wetlands delineation report
- Applications for any necessary variances, conditional use permits, or rezoning
- Copies of permit application submittals to all agencies with jurisdiction over wetlands or water bodies and channels on the development site
- List of any special assessments

Applicant(s) Signature: [Signature] - pres Date 4-16-20

As the applicant for this request, I agree to reimburse the City for all expenses incurred by the City in employing planning, engineering, legal, and other professional consultants in reviewing this application. This may include the replenishment of any escrow funds as required as part of this application. Such costs shall be paid by me, the applicant, regardless of the outcome of the review and prior to commencing any work on the project.

A public hearing can be scheduled only after a complete application has been received.

OFFICE USE ONLY

Application # D-26-004 Date Application Received 4/20/26
 Date Complete Application Received 6/1/26 120 Days 9/29/26 By: [Signature]
 Fee: \$450.00 + \$70.00/Lot + Consultant Escrow = \$ Date Paid 4/20/26 Check # [Signature]
 Consultant Escrow = \$1,000 without improvements or \$10,000 with improvements + \$500.00/lot for 30+ lots



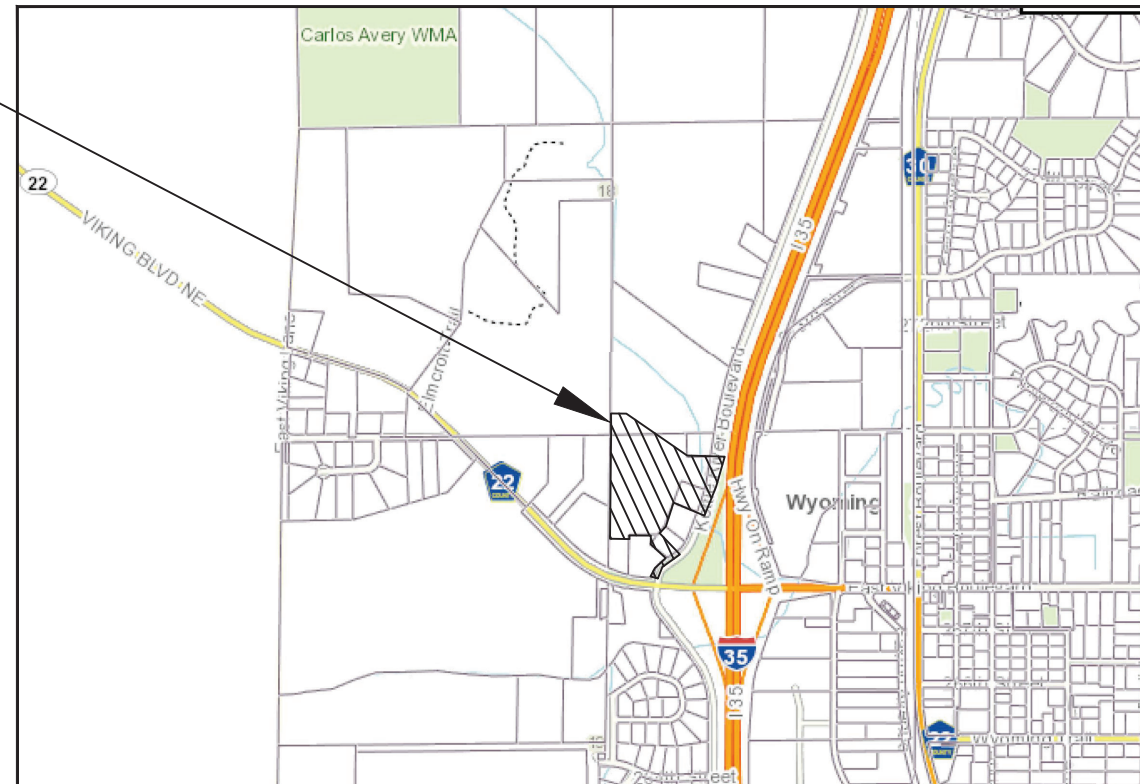
CHISAGO COUNTY

SUNRISE RIVERBANK COMMERCIAL SUNRISE RIVERBANK PROPERTIES, LLC WYOMING, MN 55092



PROJECT LOCATION

CONTACTS		
CITY ADMINISTRATOR	CITY OF WYOMING – ATTN: ROBB LINWOOD PHONE: (651) 462-0575	
SUPERINTENT PUBLIC WORKS	CITY OF WYOMING – ATTN: STEVE REEVES PHONE: (651) 462-0580	
ZONING ADMINISTRATOR	CITY OF WYOMING – ATTN: FRED WECK PHONE: (651) 462-0575	
WATER	CITY OF WYOMING – PHONE: (651) 462-0580	
SANITARY	CITY OF WYOMING – PHONE: (651) 462-0580	
TELEPHONE	FRONTIER PHONE: (866) 226-5170	
CABLE	MIDCONTINENT PHONE: (800) 888-1300	
GAS	XCEL ENERGY PHONE: (800) 895-4999	
ELECTRIC	XCEL ENERGY PHONE: (800) 895-4999	CONNEXUS ENERGY PHONE: (763) 323-2600
FIRE DEPT.	CITY OF WYOMING – ATTN: JESSE MILLIGAN PHONE: (651) 462-0575	
CITY ENGINEER	WSB – ATTN: MARK ERICHSON, PE PHONE: (651) 286-8463	
PROJECT SURVEYOR	EG RUD & SONS INC. – ATTN: JASON RUD PHONE: (651) 361-8225	



LOCATION MAP

LEGEND

EXISTING	PROPOSED	
		---BENCHMARK
		---CONTROL POINT
		---SIGN
		---CURB STOP
		---WELL
		---HYDRANT
		---GATE VALVE
		---CURB INLET
		---AREA DRAIN
		---SAN MH
		---STORM MH
		---SAN CLEANOUT
		---GAS MANHOLE
		---LIGHT POLE
		---UTILITY POLE
		---GUY WIRE
		---GUY POLE
		---PULL BOX
		---ELEC PED
		---CABLE PED
		---MAILBOX
		---TELE PED
		---IRON PIPE
		---ROW POST
		---REBAR
		---WATER MAIN
		---SANITARY SEWER
		---STORM SEWER
		---OVERHEAD UTILITY
		---TELEPHONE LINE
		---GAS LINE
		---ELECTRIC LINE
		---CABLE TV LINE
		---TREELINE
		---EXISTING TREES
		---MARSH
		---FENCE LINE
		---WOVEN WIRE FENCE
		---SILT FENCE
		---RETAINING WALL
		---CONTOURS MAJOR
		---CONTOURS MINOR

ABBREVIATIONS:
 BC=BACK OF CURB
 BLK=BLOCK NUMBER
 BOT=BOTTOM (ELEV)
 CL=CENTERLINE
 CS=CURB STOP
 ELEV=ELEVATION
 EOP=EDGE OF PAVEMENT
 EX=EXISTING
 FES=FLARED END SECTION
 FF=FINISHED FLOOR (ELEV)
 FM=FORCE MAIN
 FL=FLOWLINE
 GF=GARAGE FLOOR (ELEV)
 GLG=GROUND LINE GROOVE
 HWL=HIGH WATER LEVEL
 INV=INVERT
 LF=LINEAR FEET
 LL=LOWEST LEVEL OPENING ALLOWED
 LO=LOOKOUT STYLE HOME
 LT=LEFT
 MIN=MINIMUM
 NWL=NORMAL WATER LEVEL
 PC=POINT OF CURVE
 PE=HIGH DENSITY POLYETHYLENE
 PRC=CURVE REVERSAL POINT
 PT=POINT OF TANGENCY
 RAD=RADIUS
 RT=RIGHT
 R/W=RIGHT OF WAY
 SAN=SANITARY SEWER
 SP=SPOT ELEVATION
 STA=STATION
 STM=STORM SEWER
 TC=TOP OF CURB
 T.O.P.=TOP OF PIPE
 TYP=TYPICAL
 W=WATER FITTINGS
 WAT=WATER
 WM=WATERMAIN
 WO=WALKOUT STYLE HOME

ABRIDGED

SHEET SCHEDULE	
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	SHEET INDEX & ALIGNMENT REPORT
3	EXISTING CONDITIONS & DEMOLITION PLAN
4-5	SITE & UTILITY PLAN
6-7	GRADING PLANS
8-9	STORMWATER POLLUTION PREVENTION PLAN
10-11	CROSS COUNTRY UTILITIES
12	ALIGNMENT 4.1 - PLAN AND PROFILE
13-14	ALIGNMENT 4 - PLAN AND PROFILE
15	CROSS COUNTRY WATERMAIN
16	ALIGNMENT 4.1 - STORM PLAN AND PROFILE
17-18	ALIGNMENT 4 - STORM PLAN AND PROFILE
19-20	POND CROSS SECTION
21-26	DETAILS

SCHEDULE OF REQUIRED PERMITS		
APPROVALS NEEDED	DATE SUBMITTED	APPROVAL
MPCA: CONSTRUCTION STORMWATER GENERAL PERMIT		
CITY OF WYOMING: LAND USE APPLICATION		

DEVELOPER:
 SUNRISE RIVERBANK PROPERTIES, LLC
 ATTN: JERRY GREEN
 7241 OHMS LANE, SUITE 275
 EDINA, MN 55439
 PHONE: 715-563-4165
 EMAIL: green9389@msn.com

PROJECT ENGINEER:
 ADVANCED ENGINEERING CONCEPTS
 ATTN: SEAN P. BOHAN, P.E.
 1360 INTERNATIONAL DRIVE
 EAU CLAIRE, WI 54701
 PHONE: 715.552.0330
 EMAIL: sbohan@aec.engineering

AEC PROJECT #: 25033 PLANS DATED: APRIL 2026



ADVANCED ENGINEERING CONCEPTS
 1360 INTERNATIONAL DR.
 EAU CLAIRE, WI 54701
 PH 715-552-0330
 INFO@AEC.ENGINEERING
 COPYRIGHT 2026, AEC LLC

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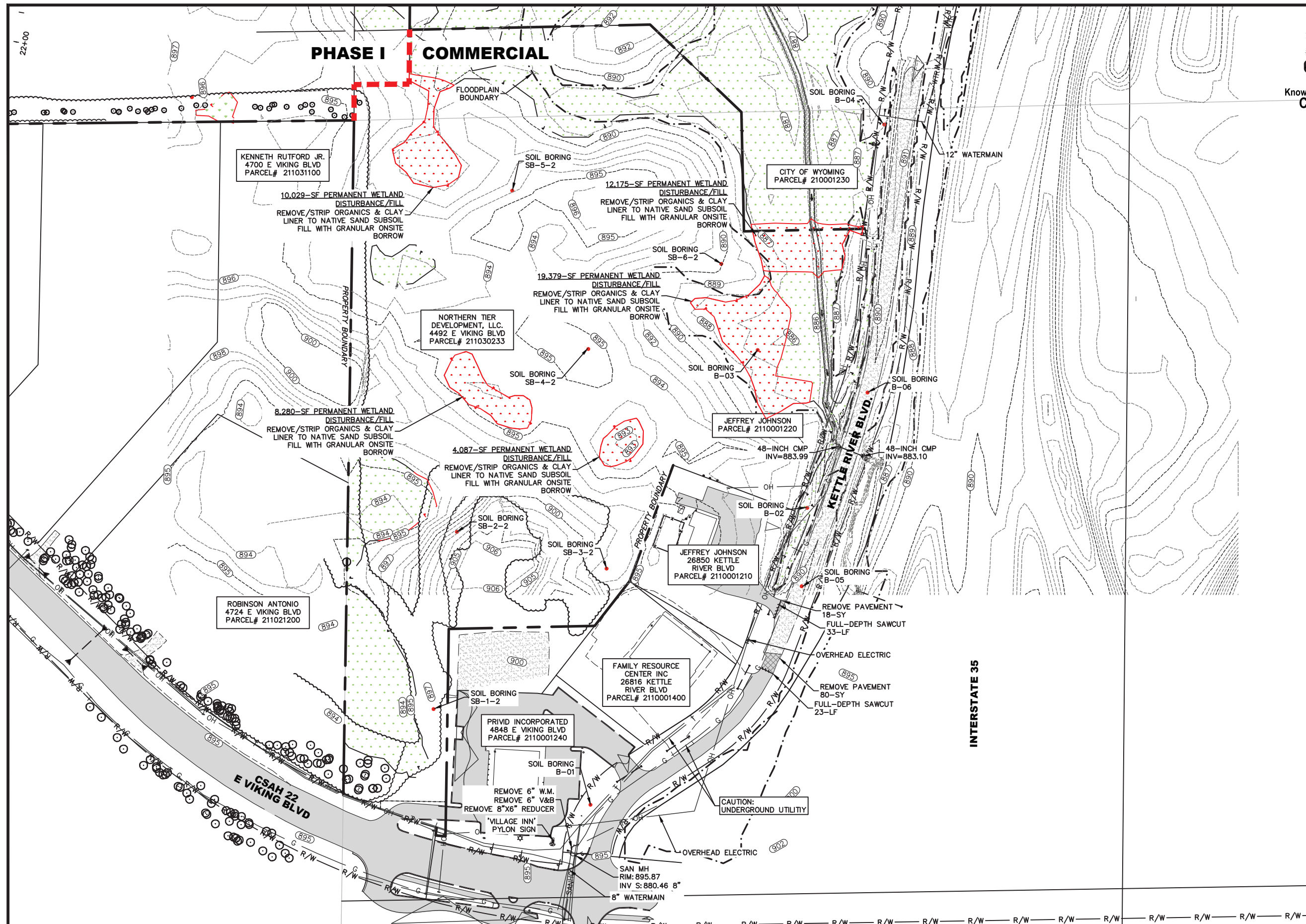


Know what's below.
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- LEGEND**
- (1105)--- EXISTING CONTOURS-MNR
 - (1105)--- EXISTING CONTOURS-MJR
 - [Hatched Box] REMOVE CONC./PAVEMENT
 - ~~~~~ UTILITY REMOVAL
 - ===== FULL DEPTH SAWCUT
 - [Red Dotted Box] WETLAND DISTURBANCE

- GENERAL NOTES:**
1. UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION OF LOCATIONS. THE CLIENT, CITY, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
 2. CLEARING AND GRUBBING SHALL ONLY BE IN THOSE LOCATIONS DIRECTED BY THE ENGINEER AND/OR OWNER. CONTRACTOR SHALL PROTECT ALL TREES, SHRUBS, AND CORRESPONDING ROOT SYSTEMS FROM DAMAGE. ALL WORK WITH POTENTIAL IMPACT ON UN-CLEARED TREES AND/OR SHRUBS SHALL BE COORDINATED WITH THE ENGINEER AND/OR OWNER.
 3. CONTRACTOR SHALL NOT DISTURB ANY R/W IRONS. ANY REMOVAL SHALL BE APPROVED BY THE ENGINEER, OTHERWISE THE CONTRACTOR SHALL BE BILLED FOR REPLACEMENT.
 4. CONTRACTOR SHALL VERIFY THE AMOUNT OF PAVEMENT REMOVAL WITH THE PROJECT MANAGER.
 5. CONTRACTOR TO COORDINATE LOCATIONS AND LIMITS OF SAWCUTS WITH THE PROJECT MANAGER.
 6. NO TREES OR STUMPS ARE TO BE BURIED ON SITE. CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS FOR BURNING OR MATERIAL DISPOSAL.
 7. CONTRACTOR TO REPAIR AND RESTORE ANY DAMAGED OR DISTURBED AREAS OF PAVEMENT, CONCRETE, LANDSCAPING, ELECTRICAL, AND AUTOMATIC IRRIGATION, ETC. TO ITS ORIGINAL CONDITION ON ADJACENT PROPERTIES.
 8. IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
 9. TOPOGRAPHIC SURVEY PERFORMED BY EG RUD SURVEYING OCTOBER, 2021.

NOTE:
CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS



NO.	DATE	REVISIONS	DRAFTED BY	CHECKED

HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: SEAN P. BOHAN LICENSE # 46834

SIGNATURE: _____ DATE: _____

PROJ. NO. 25033

ADVANCED ENGINEERING CONCEPTS
1360 INTERNATIONAL DR
EAU CLAIRE, WI 54701
PH: 715-552-0330
info@aec.engineering
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EXISTING CONDITIONS & DEMOLITION PLAN

SUNRISE RIVERBANK COMMERCIAL
SUNRISE RIVERBANK PROPERTIES, LLC
4492 EAST VIKING BOULEVARD
WYOMING, MN 55092

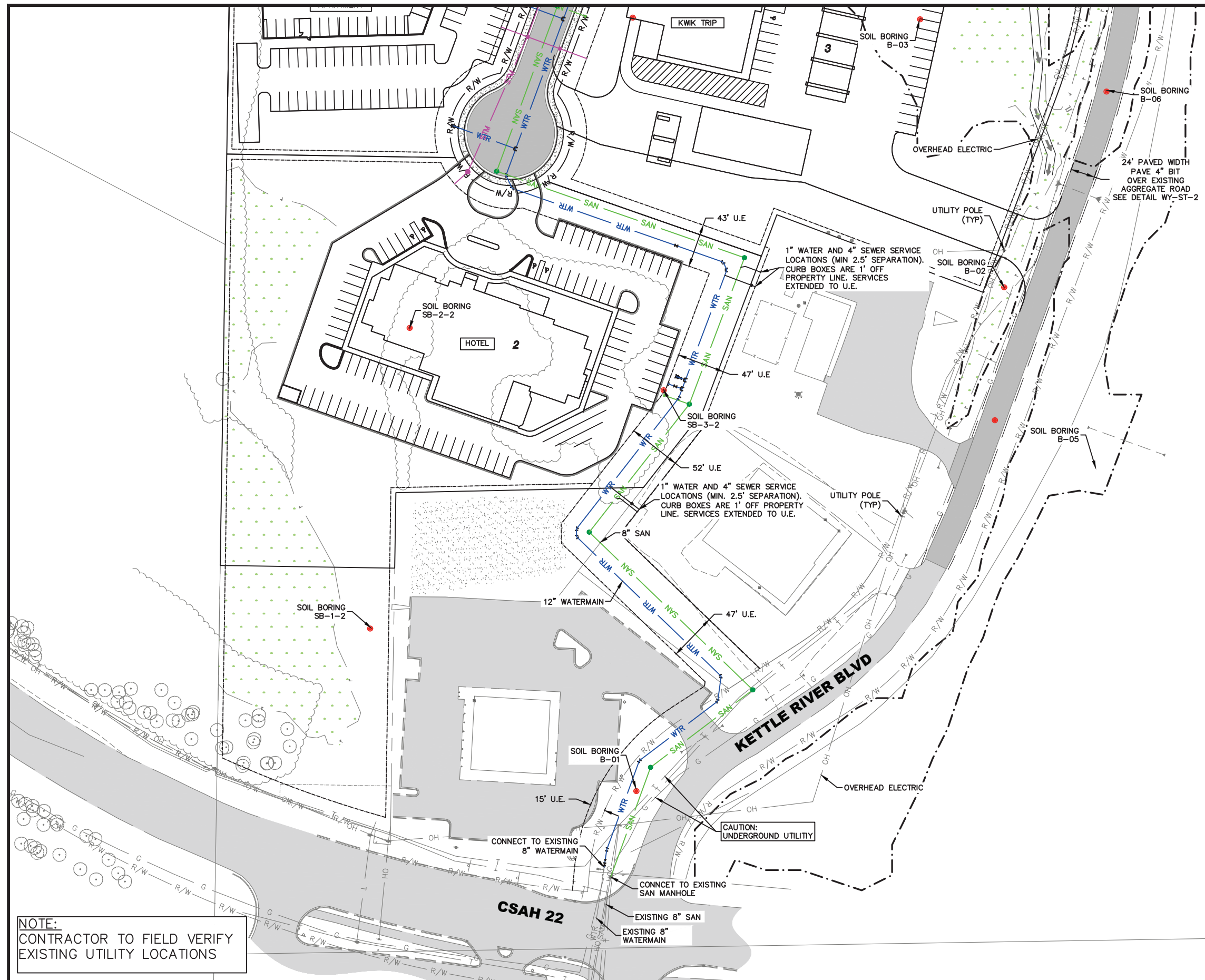
DWG NAME	25031 PG3 EXISTING	3
DATE	4/2026	26



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0 25 50 100



NOTE:
CONTRACTOR TO FIELD VERIFY
EXISTING UTILITY LOCATIONS

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25033



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SITE & UTILITY PLAN

SUNRISE RIVERBANK COMMERCIAL
SUNRISE RIVERBANK PROPERTIES, LLC
4492 EAST VIKING BOULEVARD
WYOMING, MN 55092

DWG NAME
25033 PG4
SITE

DATE
4/2026

5
26

87,120-sf
2.0-ac.

PHASE I

COMMERCIAL

OUTLOT A

270TH AVE

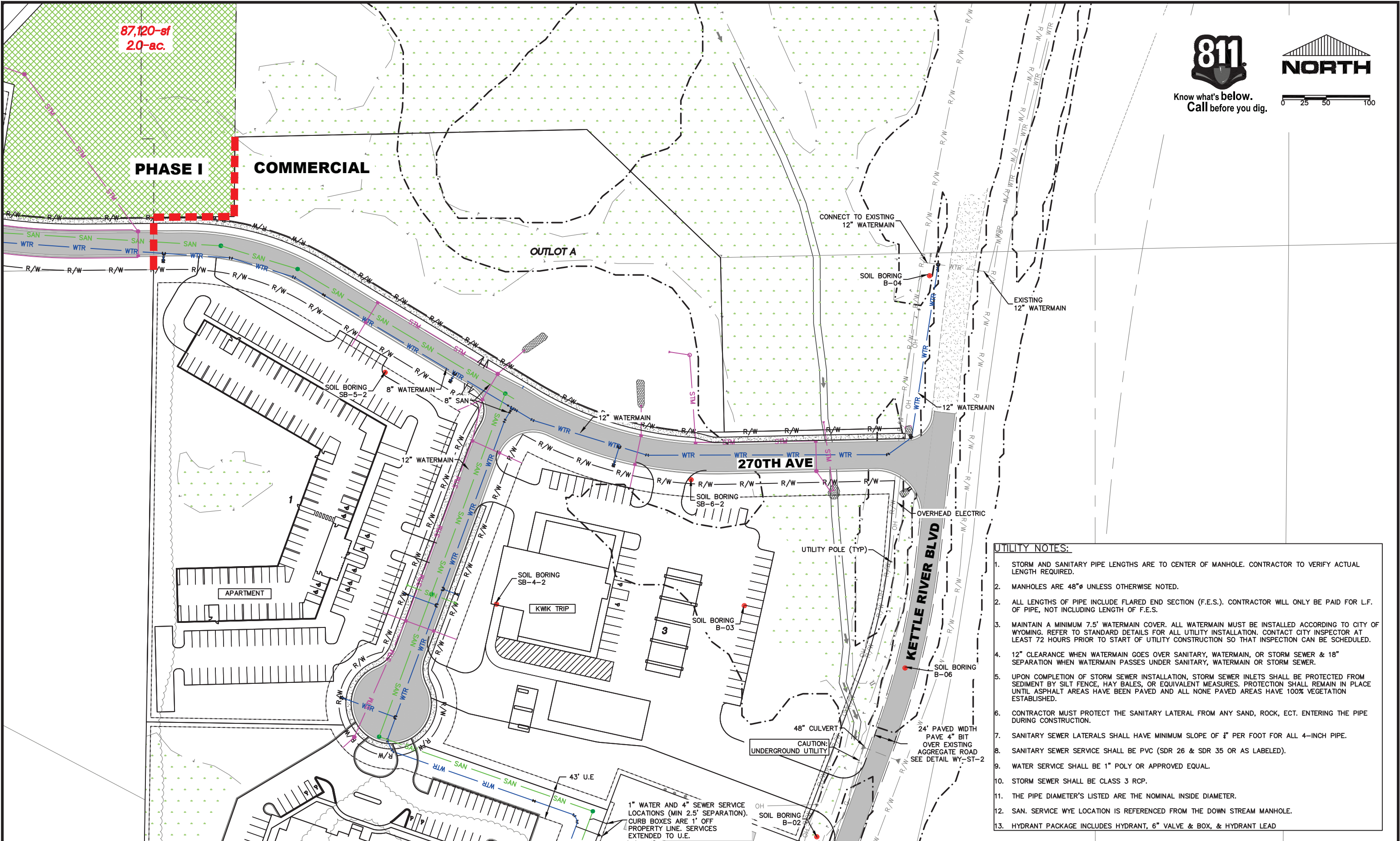
KETTLE RIVER BLVD



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0 25 50 100



UTILITY NOTES:

1. STORM AND SANITARY PIPE LENGTHS ARE TO CENTER OF MANHOLE. CONTRACTOR TO VERIFY ACTUAL LENGTH REQUIRED.
2. MANHOLES ARE 48"Ø UNLESS OTHERWISE NOTED.
2. ALL LENGTHS OF PIPE INCLUDE FLARED END SECTION (F.E.S.). CONTRACTOR WILL ONLY BE PAID FOR L.F. OF PIPE, NOT INCLUDING LENGTH OF F.E.S.
3. MAINTAIN A MINIMUM 7.5' WATERMAIN COVER. ALL WATERMAIN MUST BE INSTALLED ACCORDING TO CITY OF WYOMING. REFER TO STANDARD DETAILS FOR ALL UTILITY INSTALLATION. CONTACT CITY INSPECTOR AT LEAST 72 HOURS PRIOR TO START OF UTILITY CONSTRUCTION SO THAT INSPECTION CAN BE SCHEDULED.
4. 12" CLEARANCE WHEN WATERMAIN GOES OVER SANITARY, WATERMAIN, OR STORM SEWER & 18" SEPARATION WHEN WATERMAIN PASSES UNDER SANITARY, WATERMAIN OR STORM SEWER.
5. UPON COMPLETION OF STORM SEWER INSTALLATION, STORM SEWER INLETS SHALL BE PROTECTED FROM SEDIMENT BY SILT FENCE, HAY BALES, OR EQUIVALENT MEASURES. PROTECTION SHALL REMAIN IN PLACE UNTIL ASPHALT AREAS HAVE BEEN PAVED AND ALL NONE PAVED AREAS HAVE 100% VEGETATION ESTABLISHED.
6. CONTRACTOR MUST PROTECT THE SANITARY LATERAL FROM ANY SAND, ROCK, ECT. ENTERING THE PIPE DURING CONSTRUCTION.
7. SANITARY SEWER LATERALS SHALL HAVE MINIMUM SLOPE OF 1/8" PER FOOT FOR ALL 4-INCH PIPE.
8. SANITARY SEWER SERVICE SHALL BE PVC (SDR 26 & SDR 35 OR AS LABELED).
9. WATER SERVICE SHALL BE 1" POLY OR APPROVED EQUAL.
10. STORM SEWER SHALL BE CLASS 3 RCP.
11. THE PIPE DIAMETER'S LISTED ARE THE NOMINAL INSIDE DIAMETER.
12. SAN. SERVICE WYE LOCATION IS REFERENCED FROM THE DOWN STREAM MANHOLE.
13. HYDRANT PACKAGE INCLUDES HYDRANT, 6" VALVE & BOX, & HYDRANT LEAD

NO.	DATE	REVISIONS	DRAFTED BY	CHECKED

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PRINT NAME: SEAN P. BOHAN LICENSE # 46834

SIGNATURE: _____ DATE: _____

PROJ. NO. 25033



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1360 INTERNATIONAL DR
EAU CLAIRE, WI 54701
PH: 715-552-0330
info@aec.engineering
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SITE & UTILITY PLAN

SUNRISE RIVERBANK COMMERCIAL
SUNRISE RIVERBANK PROPERTIES, LLC
4492 EAST VIKING BOULEVARD
WYOMING, MN 55092

DWG NAME	25033 PG4 SITE	4
DATE	4/2026	26



Know what's below.
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PHASE I

COMMERCIAL

FLOODPLAIN BOUNDARY

OUTLOT A

270TH AVE

SUNRISE CT

KETTLE RIVER BLVD.

REMOVE EXISTING BERM TO ALLOW DRAINAGE

GRADING PLAN LEGEND

- (1106)--- EXISTING CONTOURS-MNR
- (1105)--- EXISTING CONTOUR-MJR
- (851)--- FINAL CONTOUR-MJR
- (849)--- FINAL CONTOUR-MNR
- DRAINAGE PATTERN LINES
- GRADE BREAK LINES
- 1% → PROPOSED DRAINAGE DIRECTION
- + XXX.XX PROPOSED SPOT ELEVATION
- + XXX.X± EXISTING SPOT ELEVATION

GRADING NOTES:

1. ALL CONTOURS ARE COMPUTER GENERATED AND REPRESENT APPROXIMATE LOCATIONS. PROPOSED CONTOURS REPRESENT FINISHED GROUND GRADES AFTER RESTORATION. CONTOURS IN STREET REPRESENT THE TOP OF PAVEMENT.
2. RECTANGLES REPRESENT BUILDING PAD LOCATIONS, NOT STRUCTURE DIMENSIONS OR POSITION. STRUCTURE PLACEMENT SHALL COMPLY WITH ALL APPLICABLE SETBACKS PER CITY CODE AND FINAL PLAT.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING POSITIVE DRAINAGE AWAY FROM STRUCTURES. BUILDER SHALL VERIFY ACTUAL FINISH FLOOR ELEVATION(S) PRIOR TO CONSTRUCTION AND SHALL INSURE ALL SITE DRAINAGE IS DIRECTED AWAY FROM STRUCTURES AND TOWARD DRAINAGE WAYS.
4. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT AND/OR FINISHED GRADE UNLESS OTHERWISE NOTED.
5. IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
6. ALL DISTURBED GROUND LEFT INACTIVE FOR FOURTEEN OR MORE DAYS MUST BE STABILIZED BY SEEDING, MULCH OR SODDING.

NOTE:
CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS

HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: SEAN P. BOHAN LICENSE # 46834

SIGNATURE: _____ DATE: _____

PROJ. NO.
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GRADING PLAN

SUNRISE RIVERBANK COMMERCIAL
SUNRISE RIVERBANK PROPERTIES, LLC
4492 EAST VIKING BOULEVARD
WYOMING, MN 55092

DWG NAME
25033 PG4
GRADING
DATE
4/2026

6

26

NO.	DATE	REVISIONS	DRAFTED BY	CHECKED



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0 20 40 80

GRADING PLAN LEGEND

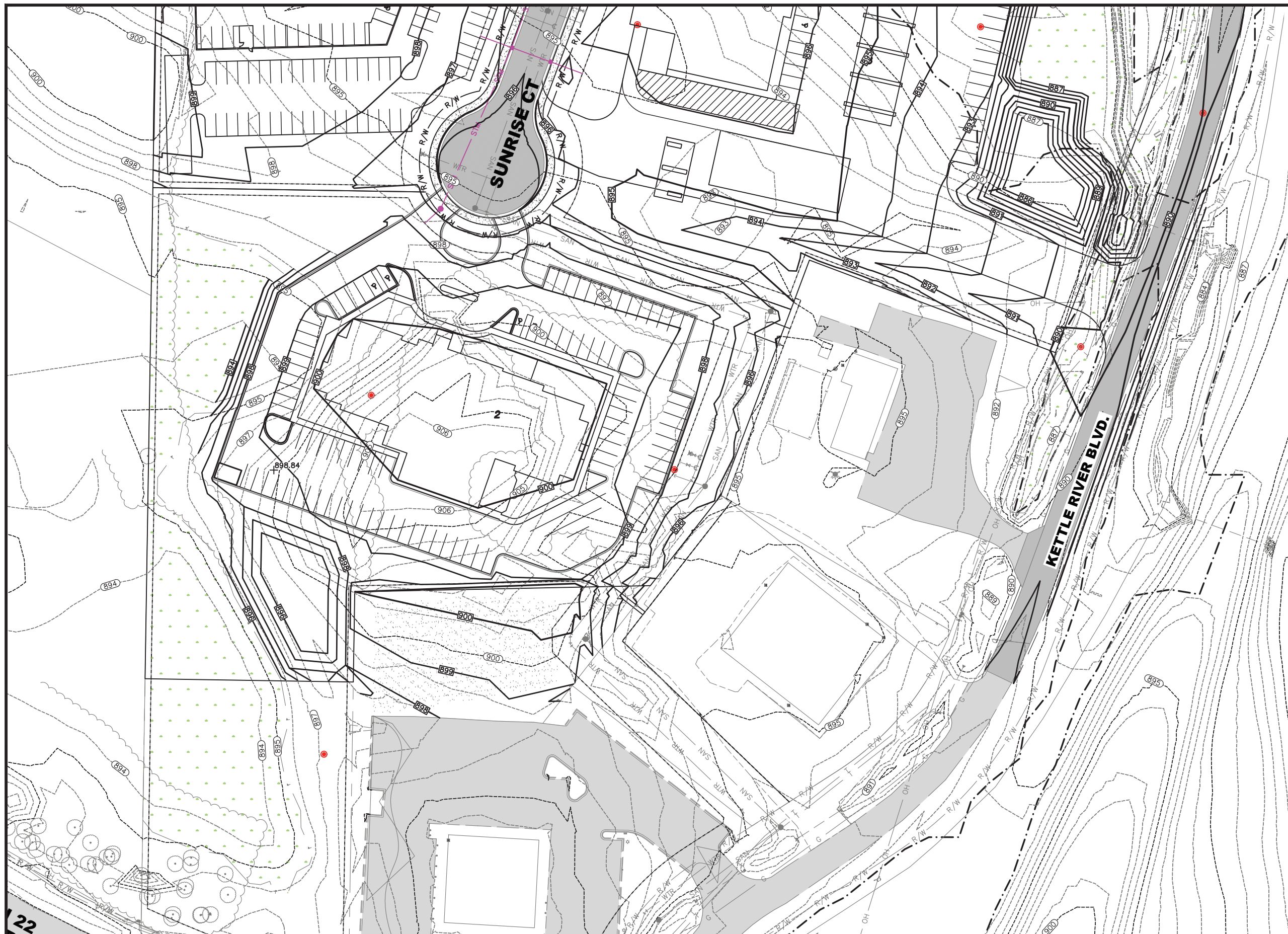
- (1106)--- EXISTING CONTOURS-MNR
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- DRAINAGE PATTERN LINES
- GRADE BREAK LINES
- 1% → PROPOSED DRAINAGE DIRECTION
- + XXX.XX PROPOSED SPOT ELEVATION
- + XXX.X± EXISTING SPOT ELEVATION

GRADING NOTES:

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4. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT AND/OR FINISHED GRADE UNLESS OTHERWISE NOTED.
5. IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
6. ALL DISTURBED GROUND LEFT INACTIVE FOR FOURTEEN OR MORE DAYS MUST BE STABILIZED BY SEEDING, MULCH OR SODDING.

NOTE:
CONTRACTOR TO FIELD VERIFY EXISTING UTILITY LOCATIONS

INTERSTATE 35



NO.	DATE	REVISIONS	DRAFTED BY	CHECKED

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PRINT NAME: SEAN P. BOHAN LICENSE # 46834

SIGNATURE: _____ DATE: _____

PROJ. NO. 25033

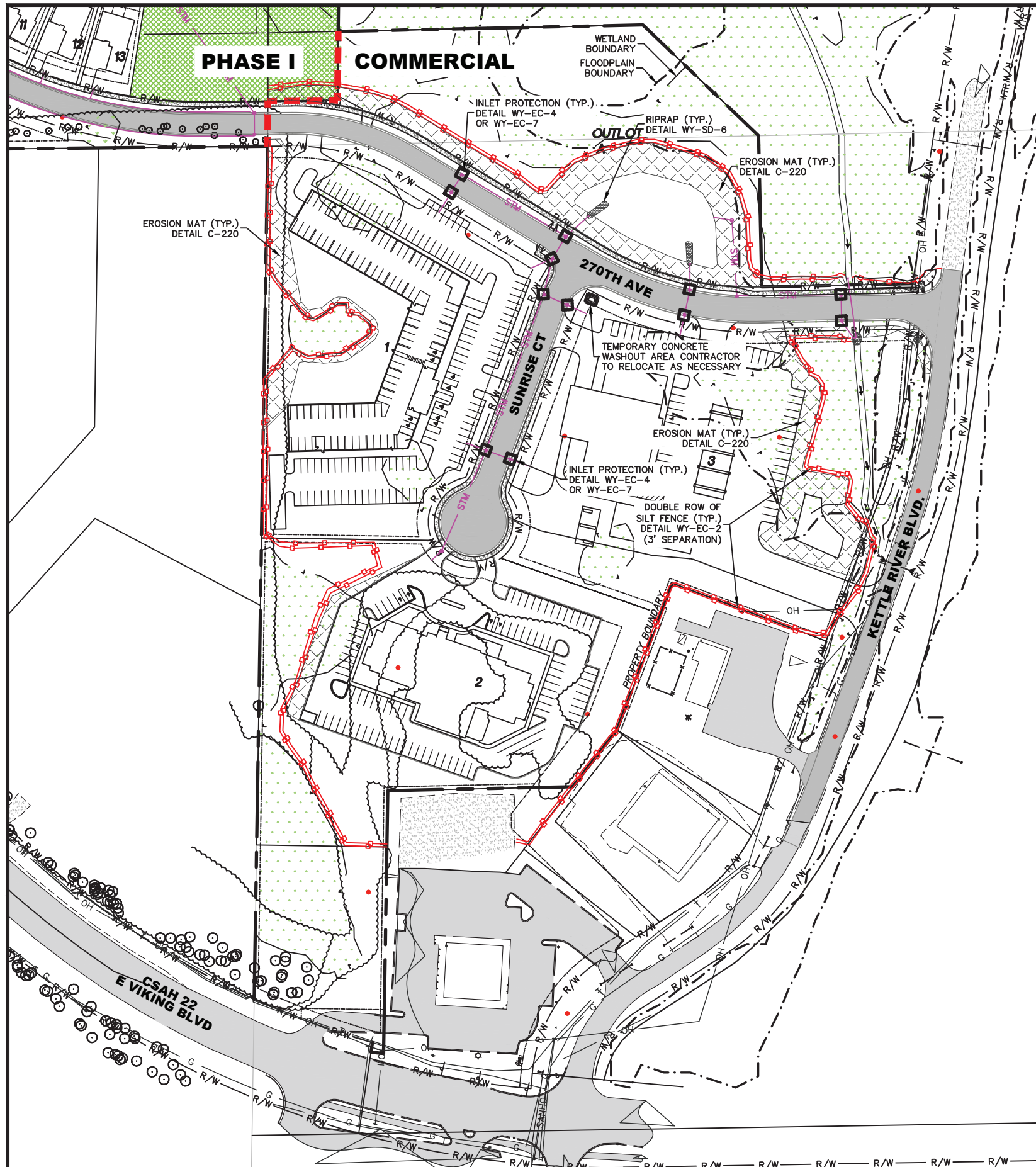


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GRADING PLAN

SUNRISE RIVERBANK COMMERCIAL
SUNRISE RIVERBANK PROPERTIES, LLC
4492 EAST VIKING BOULEVARD
WYOMING, MN 55092

DWG NAME	25031 PG4 GRADING	7
DATE	4/2026	26



Know what's below.
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EROSION CONTROL LEGEND	
	SILT FENCE DETAIL WY-EC-2
	STONE TRACKING PAD DETAIL WY-EC-1
	EROSION MAT DETAIL C-220
	EROSION LOGS DETAIL WY-EC-9
	RIPRAP DETAIL WY-SD-6
	INLET PROTECTION SILT BOX DETAIL WY-EC-4 OR DETAIL WY-EC-7

THE EROSION CONTROL ON THIS PLAN HAS BEEN PREPARED AS A GUIDE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, MODIFYING AND IMPLEMENTING AN ALTERNATE EROSION CONTROL PLAN BASED ON THEIR MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES OF CONSTRUCTION.

- EROSION CONTROL NOTES:**
1. THE PRIMARY CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED PER DETAIL WY-EC-1.
 2. TOPSOIL SHALL BE STOCKPILED IN DESIGNATED AREAS AS DETERMINED AT PRE-CONSTRUCTION MEETING.
 3. RESTORATION SHALL BE EXECUTED IMMEDIATELY AFTER GRADING HAS BEEN COMPLETED.
 4. GRADED SURFACES SHALL BE LEFT IN A SMOOTH, UNIFORM CONDITION FREE OF RUTS, DEPRESSIONS, IRREGULARITIES, LOOSE UNCOMPACTED SOIL, ETC.
 5. CONTRACTOR TO PERFORM WEEKLY INSPECTIONS OF ALL EROSION CONTROL MEASURES, OR AFTER A RAIN EVENT OF 1/2" OR MORE. MAINTENANCE TO BE PERFORMED AS NEEDED TO MAINTAIN EROSION CONTROL.
 6. ACCESS INTO THE SITE DURING CONSTRUCTION SHALL ONLY BE AT LOCATIONS WITH TRACKING PADS.
 7. MAINTAIN EROSION CONTROL UNTIL 100% VEGETATION IS ESTABLISHED. ADDITIONAL EROSION CONTROL MAY BE NEEDED (EROSION MAT AND SILT FENCE). FINE GRADING AND RESEEDING MAY ALSO BE REQUIRED UNTIL VEGETATION IS FULLY ESTABLISHED IN ORDER TO PROVIDE SUFFICIENT NATURAL EROSION CONTROL IN PLACE OF STRUCTURAL MEASURES.
 8. CONTRACTOR SHALL ADJUST THE APPROPRIATE STRUCTURAL AND NON-STRUCTURAL BMP'S BASED ON PROGRESS OF FILLING AND GRADING THE SITE.
 9. SILT FENCE IS TO BE INSTALLED DOWN GRADIENT OF ANY STOCKPILES TO REMAIN LONGER THAN 7 DAYS.
 10. CONTRACTOR SHALL PROVIDE APPROPRIATE PLANNING AND PREVENTATIVE MEASURES TO PREVENT POLLUTION FROM CONSTRUCTION SITE OPERATIONS INCLUDING BUT NOT LIMITED TO MATERIALS, STAGING, WASTE, WASHOUT AREAS, EQUIPMENT FUELING AND MAINTENANCE, AND SPILL PREVENTION AND CONTROL.
 11. A COPY OF THE SWPPP SHALL BE KEPT ON-SITE DURING ALL LAND-DISTURBING CONSTRUCTION ACTIVITIES.
 12. INSTALL CONCRETE WASHOUT AREA PER DETAIL WHERE APPLICABLE.

NOTE:
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NO.	DATE	REVISIONS	DRAFTED BY	CHECKED

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EAU CLAIRE, WI 54701
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STORMWATER POLLUTION PREVENTION PLAN
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SUNRISE RIVERBANK COMMERCIAL
SUNRISE RIVERBANK PROPERTIES, LLC
4492 EAST VIKING BOULEVARD
WYOMING, MN 55092

DWG NAME	25033 PG6 EROSION	8
DATE	4/2026	26

GENERAL EROSION NOTES

1. The stormwater pollution prevention plan is comprised of the drawing, the standard details, the plan narrative, plus the permit & all subsequent reports & related documents.
2. All contractors & subcontractors involved with stormwater pollution prevention shall obtain a copy of the Stormwater Pollution Prevention Plan and the State of Minnesota National Pollutant Discharge Elimination System General Permit (NPDES Permit) & become familiar with their contents.
3. Contractor shall implement best management practices as required by the SWPPP. Additional best management practices shall be implemented as dictated by conditions at no additional cost to owner throughout all phases of construction.
4. Best management practices (BMP's) & controls shall conform to Federal, State, or local requirements. Contractor shall implement additional controls as directed by the permitting agency or owner.
5. Site Map must clearly delineate all state waters. Permits for any construction activity impacting state waters or regulated wetlands must be maintained on site at all times.
6. Contractor shall minimize clearing to the maximum extent practical or as required by the general permit.
7. General Contractor shall denote on plan the temporary parking & storage area which shall also be used as the equipment maintenance & cleaning area, employee parking area, & area for locating portable facilities, office trailers, & toilet facilities.
8. All wash water (concrete trucks, vehicle cleaning, equipment cleaning, etc.) shall be detained and properly treated or disposed.
9. Sufficient oil & grease absorbing materials & flotation booms shall be maintained on site or readily available to contain & clean-up fuel or chemical spills & leaks.
10. Dust on the site shall be controlled. The use of motor oils & other petroleum based or toxic liquids for dust suppression operations is prohibited.
11. Rubbish, trash, garbage, litter, or other such materials shall be deposited into sealed containers. Materials shall be prevented from leaving the premises through the action of wind or stormwater discharge into drainage ditches or waters of the state.

12. All stormwater pollution prevention measures presented on this plan, & in the stormwater pollution prevention plan, shall be initiated as soon as practical.
13. Disturbed portions of the site where construction activity has stopped for at least 14 days, shall be temporarily seeded.
14. Disturbed portions of the site where construction activity has been permanently stopped shall be permanently seeded. These areas shall be seeded no later than 14 days after the last construction activity occurring in these areas. Refer to the grading plan and/or landscape plan.
15. If the action of vehicles traveling over the gravel construction entrances is not sufficient to remove the majority of dirt or mud, then the tires must be washed before the vehicles enter a public road. If washing is used, provisions must be made to intercept the wash water & trap the sediment before it is carried off the site.
16. All materials spilled, dropped, or washed into storm drains must be removed immediately.
17. Contractors or subcontractors will be responsible for removing sediment that may have collected in the storm sewer drainage systems in conjunction with the stabilization of the site.
18. On-site soil stockpiles & borrow areas shall be protected from erosion & sedimentation through implementation of best management practices. Stockpile and borrow area locations shall be noted on the site map & permitted in accordance with general permit requirements.
19. Slopes shall be left in a roughened condition during the grading phase to reduce runoff velocities & erosion.
20. Due to grade changes during the development of the project, the contractor shall be responsible for adjusting the erosion control measures (silt fences, bio logs, etc.) to prevent erosion.
21. All construction shall be stabilized at the end of each working day. This includes backfilling of trenches for utility construction & placement of gravel or bituminous paving for road construction.

MAINTENANCE

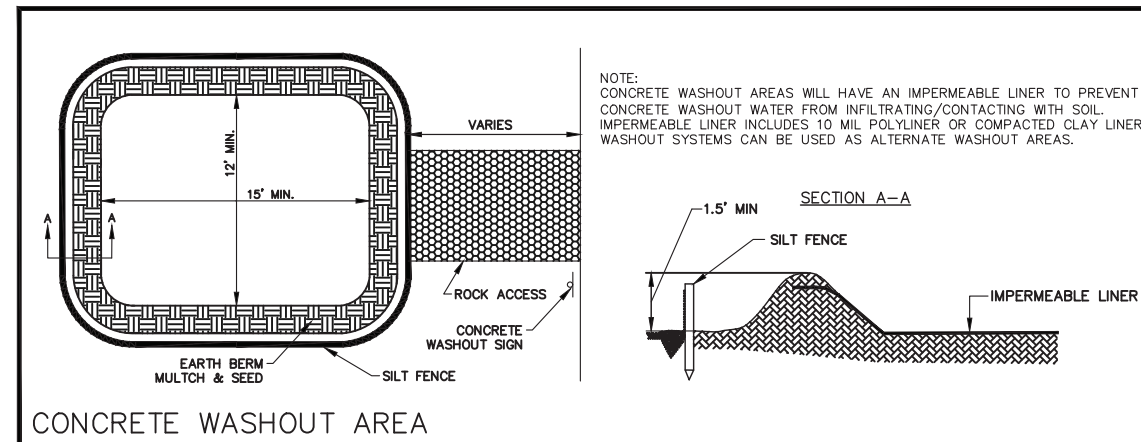
All measures stated on this erosion & sediment control plan, & in the storm water pollution prevention plan, shall be maintained in fully functional condition until no longer required for a completed phase of work or final stabilization of the site. All erosion & sedimentation control measures shall be checked by a qualified person at least once every seven calendar days & within 24 hours of the end of a 0.5" rainfall event, & cleaned & repaired in accordance with the following:

1. Inlet protection devices & barriers shall be repaired or replaced if they show signs of undermining, or deterioration.
2. All seeded areas shall be checked regularly to see that a good stand is maintained. Areas should be fertilized, watered, and reseeded as needed.
3. Silt fences shall be repaired to their original conditions if damaged. Sediment shall be removed from the silt fences when it reaches one-half the height of the silt fence.
4. The construction entrances shall be maintained in a condition which will prevent tracking of flow of mud onto public right-of-way. This may require periodic top dressing of the construction entrances as conditions demand.
5. The temporary parking & storage area shall be kept in good condition (suitable for parking & storage). This may require periodic top dressing of the temporary parking as conditions demand.

OVERALL SEQUENCE OF CONSTRUCTION

1. Install construction tracking control entry/exits (close off entrances that will not be used).
2. Install silt fence around perimeter of site
3. Prepare temporary parking & storage area within existing paved areas.
4. Install utilities (water, sewer, and storm sewer).
5. Begin the excavation of the building pads. All suitable material shall be stockpiled within the building pad and protected with additional silt fence.
6. Place sand and base course within the paved areas.
7. Pour curb and gutter and pave.
8. Complete grading and install permanent seeding and plantings around site.
9. Remove all temporary erosion and sediment control devices (if site is stabilized).

TEMPORARY EROSION AND SEDIMENT CONTROL PROVISIONS	
ITEM	SCHEDULE
SILT FENCES AND STABILIZED VEHICLE EXITS	PRIOR TO CONSTRUCTION AND IMMEDIATELY AS DICTATED
TEMPORARY SEDIMENT BASINS	MUST BE INSTALLED PRIOR TO UPSTREAM GRADING ACTIVITY
SURFACE ROUGHENING	IMMEDIATELY
COVER CROPS	MNDOT SEED MIXTURE #150 @ 40 LB/AC. TYPE 1 DISC ANCHORED MULCH
EARTHEN BERMS	AS DICTATED BY GRADING OPERATIONS
SEE INSPECTION AND MAINTENANCE REQUIREMENTS CONTAINED IN GENERAL PROVISIONS	
PERMANENT EROSION AND SEDIMENT CONTROL PROVISIONS	
ITEM	SCHEDULE
FINAL STABILIZATION	MIN. 4" TOPSOIL AND THEN MNDOT SEED MIX 260 APPLIED @ 100 LB/AC, TYPE 1 MULCH APPLIED @ 2 TONS/AC, DISC ANCHORED
STREET & STORM SEWER MAINTENANCE	PUBLIC STORM SEWER (WITHIN R.O.W.) MAINTENANCE TO BE PERFORMED BY CITY AFTER ACCEPTANCE; PRIVATE STORM SEWER (OUTSIDE OF R.O.W.) TO BE MAINTAINED BY OWNER.



				I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.		PROJ. NO. 25033			ADVANCED ENGINEERING CONCEPTS 1360 INTERNATIONAL DR EAU CLAIRE, WI 54701 PH: 715-552-0330 info@aec-engineering.com COPYRIGHT 2026 AEC LLC.		STORMWATER POLLUTION PREVENTION PLAN 2/2		SUNRISE RIVERBANK COMMERCIAL SUNRISE RIVERBANK PROPERTIES, LLC 4492 EAST VIKING BOULEVARD WYOMING, MN 55092		DWG NAME 25033 PG6 EROSION 9
NO.	DATE	REVISIONS	DRAFTED BY	CHECKED	SIGNATURE: SEAN P. BOHAN	LICENSE # 46834	DATE:							DATE 4/2026	26