

**AGENDA
PLANNING COMMISSION
CITY OF WYOMING, MINNESOTA
JUNE 9, 2026
7:00 PM**

CALL TO ORDER:

CALL OF ROLL:

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM:

An opportunity for members of the public to address the Planning Commission on items not on the current Agenda. Items requiring Planning Commission action may be deferred to staff for research and future Planning Commission Agendas if appropriate. You will be limited to two (2) minutes and we ask that you conduct yourself in a professional, courteous manner, and refrain from the use of profanity. Failure to abide by this policy may result in the loss of your privilege to speak.

APPROVAL OF MINUTES:

1. Consider approving the minutes of the “Regular Meeting” of the Wyoming, Minnesota Planning Commission for May 26, 2026.

SCHEDULED PUBLIC HEARINGS:

2. Preliminary Plat: D-26-003 “Mastell Addition”
Final Plat D-26-004 “Mastell Addition”
Location: West Comfort Drive and Heath Avenue
Applicants: Chris & Jake Mastell – JKJ Property Management, LLC
Property ID Number: 21.10518.00

NEW BUSINESS:

OLD BUSINESS:

3. City of Wyoming Cannabis Ordinance

COMMUNICATIONS:

UPDATES:

Rosenbauer cold storage building was approved.

ADJOURN

UPCOMING:

June 23rd - Preliminary Plat of "Sunrise Riverbank Commercial"

**UNAPPROVED MINUTES
PLANNING COMMISSION
CITY OF WYOMING, MINNESOTA
MAY 26, 2026
7:00 PM**

CALL TO ORDER:

Planning Commission Chairman Lobermeier called the Regular Meeting of the Wyoming Planning Commission for May 26, 2026, to order at 7:00 PM

CALL OF ROLL:

On a Call of the Roll, the following members of the Wyoming Planning Commission were present: Mark Lobermeier, Dan Iverson, and Ken Rutford

ABSENT: Commissioners Katie West and Mark Holl

Also Present: Fred Weck, Zoning Administrator, City Planner Kim Lindquist, and Mayor Lisa Iverson

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM: NONE

APPROVAL OF MINUTES:

- 1. Consider approving the minutes of the “Regular Meeting” of the Wyoming, Minnesota Planning Commission for May 12, 2026**

A MOTION WAS MADE BY COMMISSIONER IVERSON, SECONDED BY COMMISSIONER RUTFORD, TO APPROVE THE MINUTES OF THE “REGULAR MEETING” OF THE WYOMING, MINNESOTA PLANNING COMMISSION FOR MAY 12, 2026, AS SUBMITTED.

*Voting Aye: Rutford, Iverson, and Lobermeier
Voting Nay: None
Abstain: None
Absent: West and Holl*

SCHEDULED PUBLIC HEARINGS: NONE

NEW BUSINESS:

- 2. Site Plan Review: SP-26-001
Location: 5201 260th Street
Applicant: Emily Nepp of ISG
Owner: Rosenbauer Minnesota LLC
Property ID Number: 21.00468.32**

City Planner Lindquist gave an overview of the request for Site Plan Review at 5201 260th Street

for an accessory structure to store finished parts, extrusions, and raw sheet metal indoors. She noted that staff was recommending approval subject to the conditions outlined in the staff report.

Commissioner Rutford asked about water runoff and storage.

City Planner Lindquist clarified that this was not within the bounds of the watershed district, which meant it did not require additional approval from them. She explained that the drainage will go to the regional pond.

Don Anderson, Rosenbauer, explained that the building is for cold storage for their aluminum materials, so it wasn't sitting outside getting corroded. He stated that it will also hold finished truck parts that they make ahead of time. He explained that they were trying to condense everything down so their water tanks would be stored on vertical shelving, which is how they gain room for parking. He noted that the color matches the siding on the building they redid last year.

Chair Lobermeier asked if it would be open storage or if there would be doors on the building.

Mr. Anderson answered that there would be doors to keep the snow from blowing inside. He stated that they are planning for cement floors and for electricity in the building.

Commissioner Rutford stated that he liked the idea of things being stored inside to help the area look nicer.

Mr. Anderson gave a brief description of the use of a tilt table and explained that it is used for things like fire trucks to ensure they don't tip over.

Chair Lobermeier asked if there would be exterior lighting.

Mr. Anderson stated that they have all new lights on the building and in the parking lot. He explained that they will probably add a bit more lighting on the exterior of the building to light up where the extrusions, pumps, and water tanks are located.

Chair Lobermeier encouraged Mr. Anderson to work with staff on the type of lights and ways to make sure they have enough lighting without having too much.

A MOTION WAS MADE BY COMMISSIONER RUTFORD, SECONDED BY COMMISSIONER IVERSON, TO RECOMMEND APPROVAL OF SITE PLAN REVIEW: SP-26-001AT 5201 260TH STREET, FOR EMILY NEPP OF ISG, OWNER: ROSENBAUER MINNESOTA LLC, PROPERTY ID NUMBER: 21.00468.32, SUBJECT TO THE SIX CONDITIONS INCLUDED IN THE STAFF REPORT.

Voting Aye: Rutford, Iverson, and Lobermeier
Voting Nay: None
Abstain: None
Absent: West and Holl

OLD BUSINESS:

3. City of Wyoming Cannabis Ordinance

Zoning Administrator Weck explained that he had sent questions to the City Attorney asking how the City may be able to protect the Highway 8 corridor. He noted that Wosika Farm is having trouble getting licensing through the State because the business name they have at the State is different than the one they use here, and had also asked the City Attorney about that situation as well. He explained that he had not heard back from the City Attorney yet with answers to the

questions he had submitted.

Chair Lobermeier stated that this situation has shown him that there have been a lot of false starts and no one really has this all down yet. He noted that he was less concerned about the Highway 8 location, but had concerns about what he had read in the guidance, the model ordinance, and the City's ordinance. He stated that the State allows the City to limit the places, and in the model ordinance seemed to be referred to as zoning. He stated that as long as the City doesn't prevent cannabis businesses, then they would comply. He noted that Section 12-422 is labeled zoning and land use, and when this came up a few months ago, an issue was raised regarding consistency with the Comprehensive Plan. He stated that he found the City Attorney's response to that interesting because it seemed to be written in a way to remind them that Wyoming was not in the metro area, so he didn't really find it very helpful. He explained that he would like to propose that the City amend the language in the ordinance and briefly explained his suggested changes to the existing language. He stated that he would like it to read that they would be permitted in the areas of the City that are both zoned and guided in the Comprehensive Plan, before receipt of the request for registration. He stated that he did not believe the response from the City Attorney would prohibit the City from having a both-and situation. He would like to know if that approach would work or if anyone had other ideas of language that may work better. He stated that he felt this would give the City some actual control over where these types of businesses can be located in the City. He noted that Commissioner Iverson has repeatedly raised concerns about potential odors and suggested that the City also have a stipulation that there would be no outdoor growing, because if it happens indoors, they have ways of controlling the odors. He stated that he also felt they should take a look at finding a way to include a buffer area for a trail, such as the regional trail, so they can protect people walking or riding a bike in the area.

City Planner Lindquist stated that she wasn't sure what the goal of Chair Lobermeier's first suggestion was. She noted that initially, the City had the thought that there were too many parcels that were available for this use, and what he proposed didn't have anything to do with availability, but was a message to the City that they should make their zoning ordinance and Comprehensive Plan comply.

Chair Lobermeier explained that while he would like to see that happen, he felt it was more about trying to have greater control over where this goes and where they want it within their community. He noted that the last meeting agenda seemed to be all cannabis related, and if that was going to be the new normal, he wanted to have some certainty about what they were able to control.

City Planner Lindquist explained that for the other communities she has worked with, most of them put this use in the Industrial District, which would also be where you put sexually oriented businesses as well, because that is where there is less risk of having people around.

Chair Lobermeier stated that if the City doesn't have some control over what happens beyond how it was zoned and the Comprehensive Plan doesn't mean much when it comes to approvals, then the things that they want to see in the community, such as wanting a downtown area, will never happen because that business will be there. He stated that if the City has areas that are industrial today and there is a strong feeling that they would also be industrial in 30 years, that would be the first place they should go.

City Planner Lindquist explained that her concern was that if you had a cannabis user or a light industrial user going into a building, it would have the same effect, but agreed with Chair Lobermeier regarding a situation where it was vacant land and not an existing building. She explained that most of the sites are developed, so it was essentially just swapping out tenants.

Chair Lobermeier stated that he was less confident in the City's ability down the road to be able to control this. He noted that the level of interest this seemed to be generating in the City shows

him that the City needed to find a way to drag an anchor and slow things down a bit. He stated that they would really prefer to see this in industrial areas that aren't so close to parks or things that were guided towards something completely different.

City Planner Lindquist stated that she understood the concerns Chair Lobermeier was sharing and stated that if the City were to pick where they wanted this type of business to go, and define the space. She noted that this was also what communities had done for the sexually oriented businesses and even created a new district.

Chair Lobermeier stated that he was open to looking at different ways to handle this and explained that he also didn't want it to be something that was difficult for property owners. He explained that he just didn't want to have something that was attracting a whole lot of interest coming in and looking at a lot of properties that he didn't think the City had ever envisioned for this use.

Commissioner Rutford stated that putting this out in the country also makes him look at the safety of the people in the City and asked if they wanted this type of use going in right next to a development with a lot of houses.

Chair Lobermeier agreed and noted that when they had first done this, Agriculture seemed like an easy choice, and they are seeing that perhaps it isn't quite that easy. He reiterated that he was open to looking at this in different ways and having staff take a look at options on how and what the City Attorney had to say about what the City can do.

Commissioner Iverson stated that he felt Chair Lobermeier had brought up some good points. He stated that a general summary of what he had said was that the City has a Comprehensive Plan that shows what they would like the City to become over the next 10-30 years, and how the City can organically help see that become a reality.

Chair Lobermeier stated that he has been amazed that there seems to be a cannabis business on every agenda now and asked if Wyoming had someone gotten onto a map of options for people to select.

COMMUNICATIONS:

Chair Lobermeier reminded the Commission that he would not be at the June 9, 2026, meeting.

UPDATES:

Rezoning of parcel 21.00012.20, the IUP for cannabis retail at 6641 Lake Boulevard, and the amended IUP at 7978 269th Street were all approved by the City Council.

A MOTION WAS MADE BY COMMISSIONER IVERSON, SECONDED BY COMMISSIONER RUTFORD, TO ADJOURN THE MAY 26, 2026 "REGULAR MEETING" OF THE WYOMING, MINNESOTA PLANNING COMMISSION AT 7:38 PM.

Voting Aye: Rutford, Iverson, and Lobermeier
Voting Nay: None
Abstain: None
Absent: West and Holl

**CITY OF WYOMING
PLANNING AND ZONING**

TO:	Planning Commission
DATE	6/2/2026
MEETING DATE:	6/9/2026
FROM:	Kim Lindquist, City Planner Fred Weck, Zoning Administrator
RE:	Preliminary and Final Plat Review
APPLICANT/OWNER:	JKJ Property Management Company, LLC
PROPERTY:	PID R21.10518.00
FILE NO:	D-26-003

OVERVIEW

JKJ Property Management Company, LLC (the Applicant and Owner) is proposing to subdivide one (1) vacant parcel into one (1) buildable parcel and two (2) outlots. The one new buildable lot is intended for future residential development. The property is located at the intersection of Highway 8 (south), Heath Avenue (east) and West Comfort Drive (north) and is 24 acres in size, including right of way. Highway 8 currently bisects the site and future road reconstruction will impact both proposed outlots. The proposed residential lot is approximately two acres in size. The sketch plan previously reviewed by the City indicated that two new residential lots would be created. The applicant has modified the proposal to one. Right of way for West Comfort Drive will also be dedicated.

The property is currently designated as R1 – Rural Residential 1 and is utilized for residential purposes. County records do not indicate a current residence at the site, but there are stored items on the premises. These must be removed. The minimum required lot area in the R1 – Rural Residential 1 District is one acre, with at least one acre being buildable. The proposed subdivision complies with this requirement. Additionally, the district mandates a minimum lot width and depth of 200 feet, while corner lots must provide an extra 15 feet of width. The submitted plat satisfies the lot width and depth standards, and the lot accommodates the additional width requirement. The property also falls within the Shoreland District due to its proximity to Comfort Lake. It also is included in the Solar Energy Systems Overlay District.

The two outlots, which are 12.7 (Outlot A) and 1.7 (Outlot B) acres in size and are designated for Mixed Use and Commercial. However, due to the upcoming reconstruction of Highway 8 both outlots will be impacted. Outlot A, which is located on the northwest side of the property, will be impacted by the construction of Heath Avenue North and pond improvements. The remaining land, unencumbered by the road infrastructure, will be retained by the property owner. Outlot B, which is located south of Highway 8 will be acquired by the county as part of the reconstruction.

Article III of the City of Wyoming Subdivision Ordinance sets forth the plating procedure with the first requirement being the sketch plan. The sketch plan met the ordinance requirements and was approved by both the Planning Commission and City Council earlier this year. The sketch plan originally had Lot 1 divided into two buildable lots, but the preliminary and final plat has been revised to only propose one buildable residential lot at this time.

STAFF RECOMMENDATION

The requirements of Article III, Division 2 and Article III, Division 3, “The Preliminary Plat” and “The Final Plat”, as contained in the City of Wyoming Subdivision Ordinance have been complied with. Accordingly, staff recommends approval of the Preliminary and Final Plat for Mastell Addition subject to the following conditions:

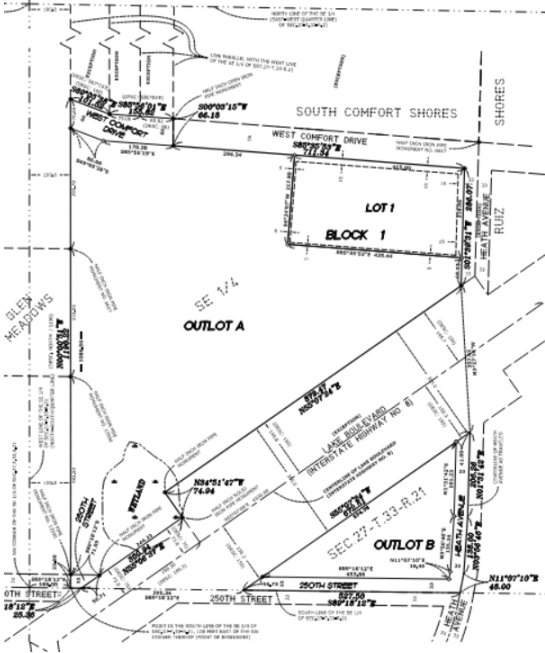
1. All required local, state and/or federal permitting must be obtained.
2. The applicant pay a park dedication fee for one buildable residential lot.
3. The applicant shall replat Outlot A to obtain buildable status prior to any permit being issued for private development related activity.
4. The applicant provide final grading and drainage plans for the City Engineer review prior to issuance of a building permit. The plan shall include construction of the driveway and installation of the septic system.
5. That the City Attorney shall state whether fee simple title to the platted property is in the names of the subdivider.

STAFF REVIEW

Comprehensive Plan Designation

The subject property is guided for Mixed Use on the north side of Highway 8 and Commercial on the south side of Highway 8 in the City’s Comprehensive Plan.

With one single family lot proposed on the north side of the property, and a large portion of the lot to be platted as outlots, the site can accommodate a mix of uses as prescribed in the comprehensive plan. However, due to the planned Highway 8 reconstruction, the amount of remaining developable land is questionable. As noted above, the Outlot B will be acquired by the County to facilitate the Hwy 8 road project, and no additional buildable area is anticipated. While the County will also be using portions of Outlot A for the Hwy 8 project, ponding and new public road, there is land available for future private development. These areas should comply with the Mixed Use Comprehensive Plan designation upon development or the applicant will have to reguide the property to bring it into compliance with the proposed use.



Zoning

The lot is currently zoned R-1 Rural Residential I. The purpose of the R-1 district is intended to provide an area for very low-density housing with on-site wastewater systems in locations that are already predominately developed in a pattern similar to that described in this zoning district.

The zoning and surrounding uses are as follows:

- North** – R-1 – Rural Residential I
- South** – A – Agriculture
- East** – R-1-Rural Residential I
- West** – R-1-Rural Residential I

The following table summarizes the dimensional requirements for lots in the R1 District.

<u>Zoning District Requirements</u>	<u>R-1-Rural Residential</u>	<u>Proposed</u>
Lot Width	215 feet (corner lot) 200 feet (interior lot)	Lot 1- 415 feet Outlot A- 1086.56 feet Outlot B*- 453.88 feet
Lot Depth	200 feet; shall not be greater than four times the lot width	Lot 1- 218.05 feet Outlot A- 922.86 feet Outlot B*- 316.47 feet

Lot Size	One (1) acre, at least one (1) acre of which must be buildable	Lot 1- 2.1 acres Outlot A- 12.72 acres Outlot B*- 1.76 acres
<u>Shoreland Management Overlay District Requirements</u>		
Lot Area (Unsewered Lake, Nonriparian Lot)	43,560 sq. feet	Lot 1- 91,523 sq. feet Outlot A- 554,136 sq. feet Outlot B*- 76,834 sq. feet
Lot Width (Unsewered Lake, Nonriparian Lot)	200 feet	Lot 1- 415 feet Outlot A- 1086.56 feet Outlot B*- 453.88 feet
<i>* Outlot B to be acquired by the county for Highway 8 reconstruction</i>		

The sketch plan for this project proposed one residential structure on Lot 1, however the location may be modified since the two lots have been combined. Lot 1 conforms with all the required dimensions, and it has adequate area to accommodate a residential structure that conforms to all required setbacks without the issuance of a variance.

Any future building within the R-1 District shall conform to the following setback standards:

1. Front Yard Setback:
 - a. 73 feet from the centerline of all city streets or 40 feet from the road right-of-way, whichever is more restrictive
2. Side Yard Setback:
 - a. 10 feet for principal buildings
 - b. 3 feet for accessory buildings
 - c. 5 feet for driveways
3. Rear Yard Setback:
 - a. 35 feet for principal buildings
 - b. 3 feet for accessory buildings
4. Height
 - a. 35 feet (three stories) maximum height for principal building
 - b. 25 feet (one story) maximum height for accessory building

The property is located within the Shoreland Management Overlay District. The property is not located within a FEMA designated floodplain area. The property is in the

Shoreland Management Overlay District for Comfort Lake, which is classified as a General Development Lake.

Any future building on the property will have to conform to the Ordinary High Water Level Setback of seventy-five (75) feet for structures and sewers.

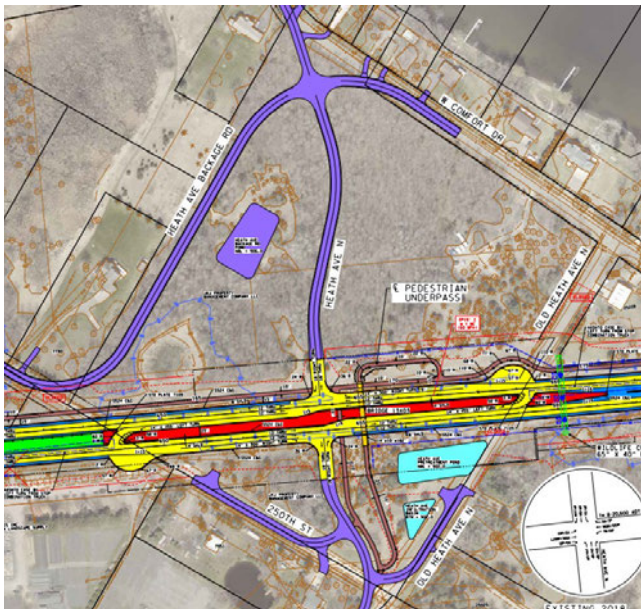
Park Dedication

Article IV of the Subdivision Ordinance sets forth the park dedication requirements. The policy for minor subdivisions is that when three or fewer lots are being created that the minimum park and trail fees will be collected without the need for the Joint Park Planning Board to meet unless the development is in an area where the City is looking to acquire park land. This policy was reaffirmed at a Joint Park Planning Board held on October 28, 2014.

The area of the proposed subdivision is not an area that the City is looking to acquire land and as such the City will require park and trail dedication funds. The minimum park dedication for the proposed subdivision equals \$1,500.00 plus the minimum trail dedication of \$300.00. The fees are to be collected prior to final plat approval.

Access

The proposed parcel would be accessed via West Comfort Drive on the north side of the lot. A portion of the plat will dedicate additional right of way for West Comfort Drive. There will also be additional access opportunities to the site after the Highway 8 reconstruction and the construction of Heath Ave N, which will bisect outlet A.



Utilities

Municipal sanitary sewer and watermain are not available to the site at this time. The sketch plan anticipated that a primary and secondary system can be supported on the new residential lot.

Drainage

Stormwater management is not triggered for this site. There may be some watershed-related permits required depending upon the amount of grading work anticipated for the ultimate development of the site.

Plat Review Standards

In accordance with Sec. 32 – 42, the following criteria shall be considered during the Plat review application process:

(a) Consistency with the design standards and other requirement of this ordinance.
The planned subdivision does comply with R-1-Rural Residential I lot standards.

(b) Consistency with the City's Comprehensive Plan, Stormwater Management Plan, and any other development plans officially adopted by the City.
The planned subdivision is consistent with the zoning code and the comprehensive plan.

(c) The physical characteristics of the site, including but not limited to topography, erosion, flooding potential, development, and major vegetation.
The physical characteristics of the site will have no major impact on the development of the parcel or the surrounding areas.

(d) The proposed development's fiscal impact and environmental impact.
The proposed development will have no major negative fiscal or environment impact.

(e) Whether the proposed subdivision is in conflict with applicable general and specific plans (e.g. growth management system goals and policies, capital improvement programs, ordinances).
The proposed subdivision is not in conflict with any specific or general plans.

(f) Whether the design or improvement of the proposed subdivision is in conflict with applicable development plans.
This criterion is met.

(g) That the site is physically suitable for the proposed density of the development.
This site is physically suitable for future low-density rural residential and mixed use development.

(h) Whether the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage.

The design of the subdivision should not cause substantial environmental damage.

(i) Whether the design of the subdivision or the type of improvements are likely to cause serious public health problems.

The design of the subdivision should not cause serious public health problems.

(j) Whether the design of the subdivision or the type of improvements will conflict with easements of record or of easements established by judgment of a court.

The design of the subdivision should not conflict with any easement of record or easement established by judgment of a court.

In addition, per Sec. 32 – 51, the Final Plat shall substantially conform to the Preliminary Plat.

This criterion is met.

Next Steps

The City Council will review the Planning Commission's Plat review at the next regularly scheduled meeting.



City Of Wyoming
 26885 Forest Blvd, PO Box 188
 Wyoming, MN 55092
 Phone (651) 462-4947
 permits@wyomingmn.org

SUBDIVISION APPLICATION: PRELIMINARY PLAT

A preliminary plat application is filed after the Planning Commission has reviewed the sketch plan application for the proposed subdivision. The application is reviewed by the Plat Review Committee and then forwarded on to the Planning Commission for a public hearing. After the public hearing the application is considered by the City Council.

Applicant(s): Name(s) JKJ PROPERTY MANAGEMENT COMPANY, LLC
 Address 25215 WEST COMFORT DRIVE
 City WYOMING State MN Zip 55025
 Phone Number [REDACTED] Email [REDACTED]

Owner(s) - If other than Applicant(s): CHRIS MASTELL
 Name(s) _____
 Address (SAME AS APPLICANT)
 City _____ State _____ Zip _____
 Phone Number _____ Email _____

Signature of owner(s) _____ **Date** _____

Legal description of property: DMT OF THE SE 1/4 OF SECTION 27,
TOWNSHIP 33, RANGE 21, CHISAGO COUNTY, MN

Property Identification Number: R.21. 10518.00

Present use of property: VACANT RAW LAND

Proposed use of property: 1 SINGLE FAMILY HOME

Present zoning of property: R1 - RURAL RESIDENTIAL

Total acreage of property: 17.66
 Number of proposed lots: 1 SINGLE FAMILY

Total acreage in wetlands or floodplain: 14-
 Acreage of proposed parkland dedication: 0

- 4 full size copies of the proposed preliminary plat
- 2 reduced copies (no larger than 11 X 17)
- 1 electronic version legibly detailing all features
- Environmental Assessment Worksheet, if necessary NIA
- A copy of proposed protective covenants, if applicable NIA
- Grading, drainage and erosion control plans
- Septic site evaluation reports
- Wetlands delineation report (NWI WETLAND SHOWN)
- Applications for any necessary variances, conditional use permits, or rezoning NIA
- Copies of permit application submittals to all agencies with jurisdiction over wetlands or water bodies and channels on the development site
- List of any special assessments

Applicant(s) Signature: [Signature] Date 04/14/20

As the applicant for this request, I agree to reimburse the City for all expenses incurred by the City in employing planning, engineering, legal, and other professional consultants in reviewing this application. This may include the replenishment of any escrow funds as required as part of this application. Such costs shall be paid by me, the applicant, regardless of the outcome of the review and prior to commencing any work on the project.

A public hearing can be scheduled only after a complete application has been received.

OFFICE USE ONLY

Application # D-26-003 Date Application Received 4/14/26
 Date Complete Application Received 5/18/26 120 Days 9/15/26
 Fee: \$450.00 + \$70.00/Lot + Consultant Escrow = \$ Date Paid 4/14/26
 Consultant Escrow = \$1,000 without improvements or \$10,000 with improvements + \$500.00/lot for 30+ lots
 By: [Signature] Official
 Check # ✓

Revised 12/09/22



City Of Wyoming
26885 Forest Blvd, PO Box 188
Wyoming, MN 55092
Phone (651) 462-4947
permits@wyomingmn.org

SUBDIVISION APPLICATION: FINAL PLAT

Applicant(s): Name(s) JKJ PROPERTY MANAGEMENT, LLC
Address 25215 WEST COMFORT DRIVE
City WYOMING State MN Zip 55025
Phone Number [REDACTED] Email [REDACTED]

Owner(s) - if other than Applicant(s):
Name(s) (SAME AS APPLICANT)
Address _____
City _____ State _____ Zip _____
Phone Number _____ Email _____

Signature of owner(s) _____ Date _____

Legal description of property: PART OF THE SE 1/4 OF SECTION 27, TOWNSHIP 33, RANGE 21, CHISAGO COUNTY, MN

Property Identification Number: R.21. 10518.00

Present use of property: VACANT RAW LAND

Proposed use of property: 1 SINGLE FAMILY HOME

Present zoning of property: R1 - RURAL RESIDENTIAL

Surveyor: Name JASON RUD Phone 651-361-8225

Engineer: Name N/A Phone _____

Real Estate Agent: Name N/A Phone _____

This application and the following attachments must be submitted to be considered a complete application:

Total size of property: 17.66 ACRES Total acreage in wetlands or floodplain: 1+-

Number of proposed lots: 1 SINGLE FAMILY Current zoning and use of property: R1

- 4 full size copies of the final plat drawings
 - Improvements complete & accepted
 - Performance guarantee for the improvements
 - Soil perc tests and borings
 - Park Dedication Submitted
 - Other
 - The application fee and escrow must be paid at the time of application
- OR
- 2 reduced copies (no larger than 11 x 17)
 - Developers Agreement
 - Certificate of Title & Opinion
 - Receipt proving that the taxes have been paid
 - Legal & Engineering Fees Paid

Applicant(s) Signature [Signature] Date 5-20-2026

As the applicant for this request, I agree to reimburse the City for all expenses incurred by the City in employing planning, engineering, legal, and other professional consultants in reviewing this application. This may include the replenishment of any escrow funds as required as part of this application. Such costs shall be paid by me, the applicant, regardless of the outcome of the review and prior to commencing any work on the project.

The meeting can be scheduled only after a complete application is received.

OFFICE USE ONLY

Application # 0-26-005
Date Complete Application received ___/___/___

Date Application Received 5/20/26
120 Days ___/___/___
Date Paid 4/14/26

By: [Signature]
Official
Check # ✓

Fee: \$200.00 + Escrow \$1,000.00
Revised 11/15/22

PRELIMINARY PLAT ~for~ JKJ PROPERTY MANAGEMENT ~of~ MASTELL ADDITION

EXISTING LEGAL DESCRIPTION

All that part of the Southeast Quarter of Section 27, Township 33, Range 21 described as follows:

Beginning at a point in the South line of said Southeast Quarter, 100 feet East of the Southwest corner thereof; running thence East along said South line to a point where the said line intersects the center line of the public Highway running North into said Quarter Section; running thence North along the center line of said Highway to a point where said Highway turns East; thence due North to the North line of said Southeast Quarter Section; thence West along said North line to a point one hundred (100) feet East from the Northwest corner of said Southeast Quarter Section; thence South to the place of beginning.

EXCEPT so much land as has been taken for a public road to the West and South of the land herein described

and EXCEPT so much land as has been taken for a public road on the East of the land herein described,

and also EXCEPT any easement acquired for roadway purposes through said land along the middle portion thereof and South of the lake which purported roadway or easement runs, Southeastly and Northwestly across said land, except that part or portion therefrom described as follows:

That part of the Southeast Quarter of Section Twenty-seven (27), Township Thirty-three (33) North, Range Twenty-one (21) West, described as follows:

Beginning at a point on the South line thereof 100 feet East of the Southwest Corner; thence East along said South line to the center line of State Trunk Highway No. 98; thence North along said center line to a point where said Highway turns East; thence due North to the North line of said Southeast Quarter (SE 1/4); thence West on said North line to a point 100 feet East of the Northwest corner thereof; thence due South to a point of beginning, which lies within a distance of 75 feet Northwestly and 155 feet Southeastly of the following described line:

Beginning at a point on the West line of Section Thirty-four (34), Township Thirty-three (33) North, Range Twenty-one (21) West, distant 671 feet North of the West quarter corner thereof; thence run Northeastly at an angle of 67 degrees 32 minutes with said West Section line for 388.6 feet thence deflect to the left at an angle of 12 degrees 49 minutes for 4300 feet and there terminating; together with a strip of land 75 feet in width adjoining and northwesterly of the described strip; beginning opposite a point on the above described line, distant 199.3 feet Northeastly of the South line of said Section Twenty-seven (27), (when measured along the above described line), and extending Northeastly to the Westerly boundary of Temporary Trunk Highway No. 98; according to the Government Survey thereof, in the County of Chicago, State of Minnesota.

EXCEPT THEREFROM THE FOLLOWING DESCRIBED TRACT: Part of the Southeast Quarter (SE 1/4) of Section Twenty-seven (27), Township Thirty-three (33) North, Range Twenty-one (21) West, described as follows:

Commencing at the Southwest corner of the Southeast Quarter of said Section Twenty-seven (27); thence East along the South Section line thereof a distance of 100 feet; thence North, parallel with the North and South Quarter line, a distance of 1196 feet to the point of beginning; thence South 69 degrees 15 minutes East a distance of 100 feet; thence North parallel with said North and South Quarter line to the East-West Quarter line of said Section; thence West along the East-West Quarter line to a point 100 feet East of the North-South Quarter line; thence South parallel with the North-South Quarter line to the point of beginning.

EXCEPT THEREFROM THE FOLLOWING DESCRIBED TRACT: That part of the Southeast Quarter (SE 1/4) of Section Twenty-seven (27), Township Thirty-three (33) North, Range Twenty-one (21) West, Chicago County, Minnesota, described as follows:

Commencing at the South one Quarter of said Section Twenty-seven (27); thence East along the South Section line thereof a distance of 100 feet; thence North, parallel with the North and South Quarter line, a distance of 1196 feet; thence South 69 degrees 15 minutes East a distance of 100 feet; thence South 86 degrees 09 minutes East along the Northerly line of a public road a distance of 75 feet to the point of beginning; thence North, parallel with said North and South Quarter line, a distance of 126 feet to an iron pipe monument set at the top of the bank adjacent to the shore of Comfort Lake; thence continuing on same course a distance of 55 feet to the foot of said bank, to an iron pipe monument set on proximity to the shore of said lake; thence continuing on same course over the water of said lake to the East and West Quarter line of said Section 27; returning to the point of beginning; thence South 86 degrees 09 minutes East along said Northerly line of the public road a distance of 80 feet; thence North, parallel with said North and South Quarter line, a distance of 118 feet to an iron pipe monument set at the top of the bank adjacent to the shore of Comfort Lake; thence continuing same course a distance of 40.4 feet to the foot of said bank to an iron pipe monument set in proximity to the shore of said lake; thence continuing on same course over the water of said lake to the East and West Quarter line of Section 27; thence West along said Quarter line to the termination of a previously described course on said line.

AND ALSO EXCEPTING THEREFROM THE FOLLOWING DESCRIBED TRACT: That certain part of the Southeast Quarter (SE 1/4) of Section Twenty-seven (27), Township Thirty-three (33), Range Twenty-one (21), described as follows, to-wit:

Beginning at the South Quarter corner of said Section Twenty-seven (27); thence East, along the Section line, for 100 feet; thence North, parallel with the North and South Quarter Section line, for 1196 feet; thence South 69 degrees 15 minutes East for 100 feet to the point of beginning of the tract hereby described; thence South 86 degrees 09 minutes East, along the Northerly line of a public road, for 75 feet thence North, parallel with said North and South Quarter section line, for 126 feet to an iron pipe monument set at the top of the bank adjacent to the shore of Comfort Lake; and continuing said course for 55 feet to the foot of said bank, to an iron pipe set in proximity to the shore of said lake, and further continuing said course over the water of said lake, to the East and West Quarter Section line, returning to the previous point of beginning; thence North, parallel to said North and South Quarter section line, for 135 feet to an iron pipe monument set at the top of the bank adjacent to the shore of Comfort Lake, and continuing same course for 55 feet to the foot of said bank, to an iron pipe monument set in proximity to the shore of said lake, and further continuing same course over the water of said lake to the East and West Quarter line of said Section Twenty-seven (27); thence east along said line to the termination of a previously described course on said line.

EXCEPT THEREFROM THE FOLLOWING DESCRIBED TRACT: The plat of SOUTH COMFORT SHORES, Chisago County, Minnesota.

APPLICANT / OWNER

JKJ PROPERTY MANAGEMENT, LLC
CHRIS MASTELL
25215 WEST COMFORT DRIVE
WYOMING, MN 55025

VICINITY MAP

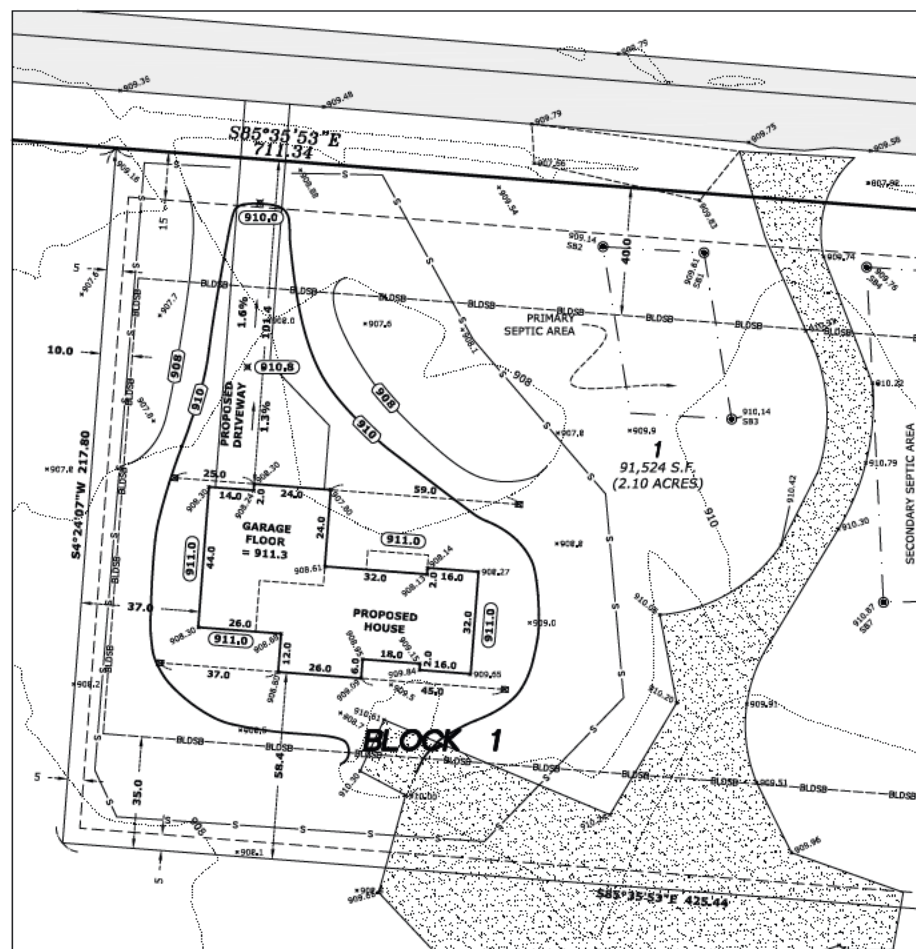
PART OF SEC. 27, TWP. 33, RNG. 21



CHISAGO COUNTY, MINNESOTA
(NO SCALE)

GRADING DETAIL

(SCALE 1" = 30')



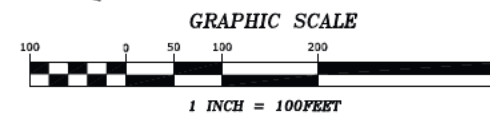
LEGEND

- DENOTES IRON MONUMENT FOUND AS LABELED
- ⊠ DENOTES ELECTRICAL BOX
- ⊞ DENOTES ELECTRICAL MANHOLE
- ⊞ DENOTES FIBER OPTIC BOX
- ⊞ DENOTES MAILBOX
- ⊞ DENOTES POWER POLE
- ⊞ DENOTES SIGN
- ⊞ DENOTES SOIL BORING. (BY KEVIN DUNAWAY)
- ⊞ DENOTES STORM SEWER APRON
- ⊞ DENOTES TELEPHONE PEDESTAL
- ⊞ DENOTES EXISTING CONTOURS
- ⊞ DENOTES PROPOSED CONTOURS
- ⊞ DENOTES OVERHEAD UTILITY
- ⊞ DENOTES SILT FENCE
- ⊞ DENOTES BITUMINOUS SURFACE
- ⊞ DENOTES GRAVEL SURFACE
- ⊞ DENOTES ADJACENT PARCEL OWNER INFORMATION (PER CHISAGO COUNTY TAX INFORMATION)

(SLAB ON GRADE)
PROPOSED ELEVATIONS
TOP OF BLOCK = 911.5
GARAGE FLOOR = 911.3

NOTES

- Field survey was completed by E.G. Rud and Sons, Inc. on 01/08/26.
- Bearings shown are on an Chisago County datum.
- Parcel ID Number: 21.10518.00
- Legal description and easements shown per title commitment prepared by Chicago Title Insurance Company., commitment number 68728, dated 7/31/2018.
- Due to field work being completed during the winter season there may be improvements in addition to those shown that were not visible due to snow and ice conditions characteristic of Minnesota winters.
- Total parcel area = 769,238 S.F. (17.66 acres) [Includes right of way.]
- Surveyed premises shown on this survey map is in Flood Zone X (Areas determined to be outside the 0.2% annual chance floodplain.), according to Flood Insurance Rate Map Community No. 270076 Panel No. 0375 Suffix D by the Federal Emergency Management Agency, effective date April 17, 2012.



ZONING INFORMATION

- Parcel is currently zoned R-1 (Shoreland Management Overlay District)
- Based upon the zoning, the applicable zoning standards are:
 - Lot width: 200 feet
 - Lot area: 43,560 sq. ft.
 - Front setback: 40 feet
 - Rear setback: 35 feet
 - Side setback: 10 feet
 - OHW setback (Shoreland Management Overlay): 75'

I hereby certify that this survey, plan or report was prepared by me or under my direct supervision and that I am a duly Registered Land Surveyor under the laws of the State of Minnesota.

JASON E. RUD
Date: 4/6/2026 License No. 41578

DRAWN BY: CMB	JOB NO: 250636PP	DATE: 6/13/25
CHECK BY: JER	FIELD CREW: MR	
1		
2		
3		
NO.	DATE	DESCRIPTION

E. G. RUD & SONS, INC.
EST. 1971
Professional Land Surveyors
6776 Lake Drive NE, Suite 110
Lino Lakes, MN 55014
Tel. (651) 361-8200 Fax (651) 361-8701

MASTELL ADDITION

KNOW ALL PERSONS BY THESE PRESENTS: That JKI Property Management Company, LLC, a Minnesota limited liability company, owner of the following described property:

All that part of the Southeast Quarter of Section 27, Township 33, Range 21 described as follows:

Beginning at a point in the South line of said Southeast Quarter, 100 feet East of the Southwest corner thereof; running thence East along said South line to a point where the said line intersects the center line of the public highway running North into said Quarter Section; running thence North along the center line of said highway to a point where said highway turns East; thence due North to the North line of said Southeast Quarter Section; thence West along said North line to a point one hundred (100) feet East from the Northwest corner of said Southeast Quarter Section; thence South to the place of beginning.

EXCEPT so much land as has been taken for a public road to the West and South of the land herein described

and EXCEPT so much land has been taken for a public road on the East of the land herein described,

and also EXCEPT any easement acquired for roadway purposes through said land along the middle portion thereof and South of the lake which purported roadway or easement runs, Southeasterly and Northwesterly across said land, except that part or portion therefrom described as follows:

That part of the Southeast Quarter of Section Twenty-seven (27), Township Thirty-three (33) North, Range Twenty-one (21) West, described as follows:

Beginning at a point on the South line thereof 100 feet East of the Southwest Corner; thence East on said South line to the center line of State Trunk Highway No. 98; thence North along said center line to a point where said Highway turns East; thence due North to the North line of said Southeast Quarter (SE 1/4); thence West on said North line to a point 100 feet East of the Northwest corner thereof; thence due South to a point of beginning, which lies within a distance of 75 feet Northwesterly and 155 feet Southeasterly of the following described line:

Beginning at a point on the West line of Section Thirty-four (34), Township Thirty-three (33) North, Range Twenty-one (21) West, distant 671 feet North of the West quarter corner thereof; thence run Northeasterly at an angle of 67 degrees 32 minutes with said West Section line for 388.6 feet; thence deflect to the left at an angle of 12 degrees 49 minutes for 4300 feet and there terminating; together with a strip of land 75 feet in width adjoining and northwesterly of the described strip; beginning opposite a point on the above described line, distant 190.3 feet Northeasterly of the South line of said Section Twenty-seven (27), (when measured along the above described line), and extending Northeasterly to the Westerly boundary of Temporary Trunk Highway No. 98; according to the Government Survey thereof, in the County of Chisago, State of Minnesota,

EXCEPT THEREFROM THE FOLLOWING DESCRIBED TRACT: Part of the Southeast Quarter (SE 1/4) of Section Twenty-seven (27), Township Thirty-three (33) North, Range Twenty-one (21) West, described as follows:

Commencing at the Southwest corner of the Southeast Quarter of said Section Twenty-seven (27); thence East along the South Section line thereof a distance of 100 feet; thence North, parallel with the North and South Quarter line, a distance of 1196 feet to the point of beginning; thence South 69 degrees 15 minutes East a distance of 100 feet; thence North parallel with said North and South Quarter line to the East-West Quarter line of said Section; thence West along the East-West Quarter line to a point 100 feet East of the North-South Quarter line; thence South parallel with the North-South Quarter line to the point of beginning.

EXCEPT THEREFROM THE FOLLOWING DESCRIBED TRACT: That part of the Southeast Quarter (SE 1/4) of Section Twenty-seven (27), Township Thirty-three (33) North, Range Twenty-one (21) West, Chisago County, Minnesota, described as follows:

Commencing at the South one Quarter of said Section Twenty-seven (27); thence East along the South Section line thereof a distance of 100 feet; thence North, parallel with the North and South Quarter line, a distance of 1196 feet; thence South 69 degrees 15 minutes East a distance of 100 feet; thence South 86 degrees 09 minutes East along the Northerly line of a public road a distance of 75 feet to the point of beginning; thence North, parallel with said North and South Quarter line, a distance of 126 feet to an iron pipe monument set at the top of the bank adjacent to the shore of Comfort Lake; thence continuing on same course a distance of 55 feet to the foot of said bank to an iron pipe monument set on proximity to the shore of said lake; thence continuing on same course over the water of said lake to the East and West Quarter line of said Section 27; Returning to the point of beginning; thence South 86 degrees 09 minutes East along said Northerly line of the public road a distance of 80 feet; thence North, parallel with said North and South Quarter line of Section 27, a distance of 118 feet to an iron pipe monument set at the top of the bank adjacent to the shore of Comfort Lake; thence continuing same course a distance of 40.4 feet to the foot of said bank to an iron pipe monument set in proximity to the shore of said lake; thence continuing on same course over the water of said lake to the East and West Quarter line of Section 27; thence West along said Quarter line to the termination of a previously described course on said line.

AND ALSO EXCEPTING THEREFROM THE FOLLOWING DESCRIBED TRACT: That certain part of the Southeast Quarter (SE 1/4) of Section Twenty-seven (27), Township Thirty-three (33), Range Twenty-one (21), described as follows, to-wit:

Beginning at the South Quarter corner of said Section Twenty-seven (27); thence East, along the Section line, for 100 feet; thence North, parallel with the North and South Quarter Section line, for 1196 feet; thence South 69 degrees 15 minutes East for 100 feet to the point of beginning of the tract hereby described; thence South 86 degrees 09 minutes East, along the Northerly line of a public road, for 75 feet; thence North, parallel with said North and South Quarter section line, for 126 feet to an iron pipe monument set at the top of the bank adjacent to the shore of Comfort Lake; and continuing said course for 55 feet to the foot of said bank, to an iron pipe set in proximity to the shore of said lake, and further continuing said course over the water of said lake, to the East and West Quarter Section line, Returning to the previous point of beginning; thence North, parallel to said North and South Quarter section line, for 136 feet to an iron pipe monument set at the top of the bank adjacent to the shore of Comfort Lake, and continuing same course for 55 feet to the foot of said bank, to an iron pipe monument set in the proximity to the shore of said lake, and further continuing same course over the water of said lake to the East and West Quarter line of said Section Twenty-seven (27); thence east along said line to the termination of a previously described course on said line.

EXCEPT THEREFROM THE FOLLOWING DESCRIBED TRACT: The plat of SOUTH COMFORT SHORES, Chisago County, Minnesota.

Has caused the same to be surveyed and platted as MASTELL ADDITION and does hereby donate and dedicate to the public for public use forever the public ways and drainage and utility easements as shown on this plat.

In witness whereof said JKI Property Management Company, LLC, a Minnesota limited liability company, has caused these presents to be signed by its _____ this _____ day of _____, 20____.

JKI Property Management Company, LLC

(Print), _____ (Title)

STATE OF MINNESOTA
COUNTY OF _____

This foregoing Instrument was acknowledged before me by _____ of JKI Property Management Company, LLC, a Minnesota limited liability company, on behalf of the company this _____ day of _____, 20____.

Notary Public, _____ County, Minnesota
My Commission Expires _____

I, Jason E. Rud do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on this plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat; and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20____.

Jason E. Rud, Licensed Land Surveyor
Minnesota License No. 41578

STATE OF MINNESOTA
COUNTY OF _____

This Instrument was acknowledged before me this _____ day of _____, 20____ by Jason E. Rud, Minnesota License No. 41578.

Notary Public, _____ County, Minnesota
My Commission Expires _____

Approved by the City Council of the City of Wyoming, Minnesota, this _____ day of _____, 20____, and is in compliance with the provisions of Chapter 505.03, Subdivision 2, Minnesota Statutes.

Signed _____ Mayor

Signed _____ Clerk

This plat was approved as to form and execution this _____ day of _____, 20____.

City of Wyoming Attorney

Pursuant to Chisago County Subdivision Ordinance Number 99-2, I hereby certify that this plat has been checked and approved as to compliance with Chapter 505, Minnesota Statutes this _____ day of _____, 20____.

Chisago County Surveyor

No delinquent taxes and transfer entered this _____ day of _____, 20____.

Chisago County Auditor

I hereby certify that the taxes for the year _____ on the property described herein are paid this _____ day of _____, 20____.

Chisago County Treasurer

This plat was recommended for approval this _____ day of _____, 20____.

Chisago County Engineer

Document No. _____

I hereby certify that this Instrument was filed in the office of the County Recorder for record on this _____ day of _____, 20____, at _____ o'clock _____M. and was duly recorded in Chisago County Records.

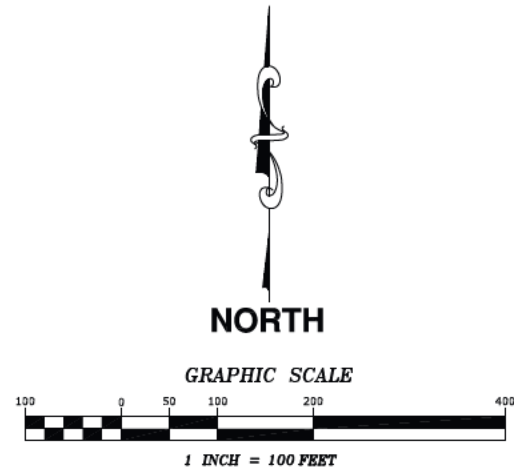
Chisago County Recorder



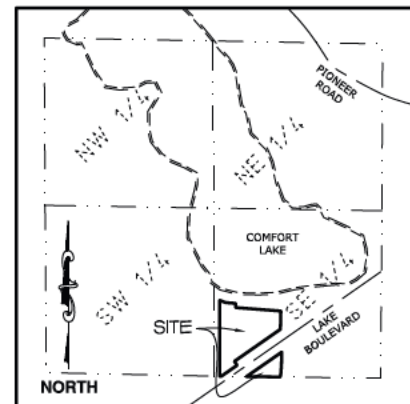
PRELIMINARY COPY

LAST SAVED BY: CBASSETT on Tuesday, May 19, 2026 at 12:50:08 PM
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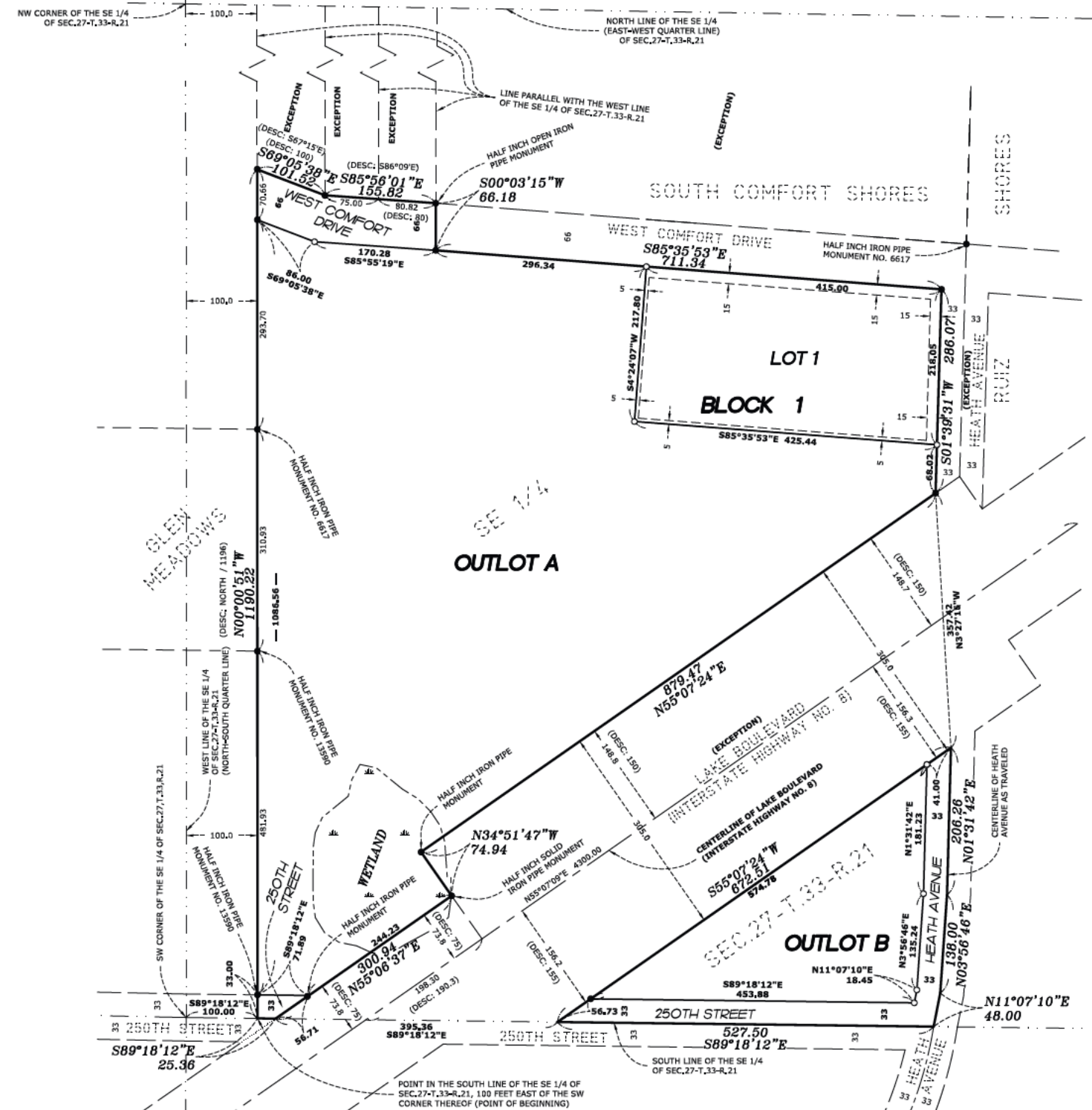
MASTELL ADDITION



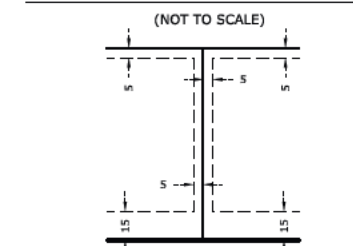
VICINITY MAP
PART OF SEC. 27, TWP. 33, RNG. 21



CHISAGO COUNTY, MINNESOTA
(NO SCALE)



TYPICAL EASEMENT DETAIL



DRAINAGE AND UTILITY EASEMENTS ARE SHOWN THIS BEING 15 FEET IN WIDTH AND ADJOINING RIGHT-OF-WAY LINES, AND BEING 5 FEET IN WIDTH AND ADJOINING SIDE AND REAR LOT LINES

THE ORIENTATION OF THIS BEARING SYSTEM IS BASED ON THE CHISAGO COUNTY COORDINATE SYSTEM NAD83_1996 ADJUSTMENT

- DENOTES FOUND 1/2 INCH IRON PIPE MARKED BY RLS NO. 42648 UNLESS OTHERWISE NOTED
- DENOTES SET 1/2 INCH BY 14 INCH IRON PIPE MARKED BY RLS NO. 41578, THAT WILL BE SET WITHIN ONE YEAR AFTER RECORDING OR SOONER AS SPECIFIED BY THE APPROVING LOCAL GOVERNMENT UNIT
- ⊕ DENOTES CHISAGO COUNTY CAST IRON MONUMENT
- ⊞ DENOTES WETLAND AS SHOWN PER NWI MAPPING
- (DESC: 123,45) DENOTES DISTANCE AS DESCRIBED

Cannabis Questions and Attorney Responses

1. Since we (the Planning Commission) were stopped last year from rezoning all of the properties whose zoning map designation does not match the comp plan land use map can we use that as a requirement for a cannabis application? The first standard that the city ordinance requires when it is considering a CUP is *“The use is in conformity with the Comprehensive Plan and development policies of the City.”*

Example: The property is currently zoned Agricultural, and is guided by the land use map to be zoned Commercial. The A district allows cultivation, the C district does not.

- Can the cannabis ordinance be written to require the property to be (re)zoned to match the comp plan land use map as a part of the cannabis IUP application?
 - You can require that if there is a change in the land use that the change be in compliance with the comprehensive plan. If the planning commission wants to pursue this, staff should be directed to prepare a rational basis for requiring this of cannabis/hemp uses and not other like uses; for example, requiring this for a cannabis cultivator but not another agricultural cultivation.
- If that can't be done; can a cannabis application be denied if the current zoning would allow the cannabis use, but the land use zoning would not allow it?
 - Same answer as above.

2. Up until the latest application the cultivation requests have been inside greenhouses and odor control has been taken care of by mechanical ventilation and filtration. That is not possible with outdoor growing.

- Can the city ban outdoor growing outright?
 - Yes. Most of Eckberg's clients have.
- Can the city require a substantial buffer between the outdoor plants and a property line in order to mitigate odor?
 - Yes. Your code does already mitigate odor *“cannabis businesses and hemp businesses shall be ventilated so that all odors cannot be detected by a person with a normal sense of smell at the exterior of the facility or at any adjoining use or property.”*
- If we can, is there an industry agreed upon distance that could be used?
 - No. The *“standard”* used in Minnesota is the Minnesota Pollution Control Agency's statute for regulating odors which is regulation of the odor not the distance.

3. The city placed a buffer around parks with the following language: *The City of Wyoming shall prohibit the operation of a cannabis business within 500 feet of an attraction within a public park that is regularly used by minors, including a playground or athletic field.*

The *Sunrise Prairie Trail* parallels Highway 61 and a cultivation application for a building in the industrial park adjacent to the trail was approved. The cannabis cultivator couldn't come to terms with the property owner for the sale of the property so they have backed out of the sale. This situation prompted the question:

- Can we put a buffer along a trail, because children could be walking on the trail?
 - Statute says *“an attraction within a public park that is regularly used by minors, including a playground or athletic field.”* A conservative statutory interpretation would be that a trail is not *“an attraction within a public park.”* However, there is not case law or rulemaking clarifying this specific point.
- The *Swedish Immigrant Trail* parallels Highway 8, and would be included in the buffer if allowed. The trail buffers and Highway 8 prohibition would not completely *“outlaw”* cannabis uses in the city, but would severely restrict where they could be located, especially in the Central Business and Commercial Districts.
 - Given the trail is not an option, an option the city does have is requiring a buffer distance between other cannabis and/or hemp uses.

Christina Benson
Attorney



1809 Northwestern Avenue | Stillwater, MN 55082
June 9, 2026 PC Meeting