

**AGENDA
CITY COUNCIL
REGULAR MEETING
CITY OF WYOMING, MINNESOTA
JUNE 2, 2026
7:00 PM**

CALL TO ORDER:

CALL OF ROLL:

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM:

"An opportunity for members of the public to address the City Council on items on/or not on the current agenda. Items requiring Council action maybe deferred to staff or Boards and Commissions for research and future Council Agendas if appropriate. You will be limited to three (3) minutes and we ask that you conduct yourself in a professional, courteous manner, and refrain from the use of profanity. Failure to abide by this policy may result in the loss of your privilege to speak".

APPROVAL OF MINUTES:

1. Consider approving the minutes of the "Work Session" of the Wyoming, Minnesota City Council for May 19, 2026
2. Consider approving the minutes of the "Regular Meeting" of the Wyoming, Minnesota City Council for May 19, 2026
3. Consider approving the minutes of the "Work Session" of the Wyoming, Minnesota City Council for May 27, 2026

SCHEDULED BID LETTINGS:

SCHEDULED PUBLIC HEARINGS:

CONSENT AGENDA:

Items under the "Consent Agenda" will be adopted with one motion; however, council members may request individual items to be pulled from the consent agenda for discussion and action if they choose.

4. Consider authorizing the payment of recommended bills, payroll and journal entries for the period of May 20, 2026 to June 2, 2026
5. To consider **Resolution 26-06-57** a resolution accepting a donation from Meadows on Fairview

6. To consider **Resolution 26-06-58** a resolution authorizing payment for emergency water and sewer line repair services by Dirt Works in the amount of \$22,487.00

ACKNOWLEDGE RECEIPT OF REPORTS OF OFFICERS, BOARDS, COMMISSIONS AND DEPARTMENT HEADS:

7. Report of City Building Official, Fred Weck, IV for May 27, 2026.
8. Report of the City Attorney, Tom Loonan, for May 28, 2026
9. Report of City Engineer Mark Erichson, WSB for May 28, 2026
10. Report of the Public Works Superintendent, Steve Reeves, for May 26, 2026

COMMUNICATIONS:

OLD BUSINESS:

NEW BUSINESS:

11. To consider **Resolution 26-06-59** a resolution approving a Site Plan Review to allow the construction of a cold storage building: Location: 5201 260th Street. Applicant: Emily Nepp of ISG, on behalf of Rosenbauer Minnesota LLC. Property ID: 21.00468.32.
12. To consider approval and adoption of **Ordinance 2026-01** an ordinance amending the City of Wyoming Code of Ordinances, Chapter 16, Nuisances, Division 4 - Noise
13. To consider **Resolution 26-06-60** a resolution adopting and approving a summary publication for Ordinance 2026-01, an Ordinance amending the City of Wyoming Code of Ordinances, Chapter 16, Nuisances, Division 4 - Noise

COUNCIL REPORTS:

ADJOURN

**UNAPPROVED MINUTES
CITY COUNCIL
WORK SESSION
CITY OF WYOMING, MINNESOTA
MAY 19, 2026
5:30 PM**

CALL TO ORDER: *Mayor Lisa Iverson called the Work Session Meeting of the Wyoming City Council for May 19, 2026 to order at 5:30 PM*

CALL OF ROLL:

On a Call of the Roll the following members of the Wyoming City Council were present: Councilmembers Lisa Iverson, Linda Nanko Yeager, Claire Luger, Dennis Schilling, and Brett Ohnstad.

Absent: None

Also Present: Robb Linwood – City Administrator, Grant MacFarlane - Assistant City Administrator, Neil Bauer – Public Safety Director, and Jake Saufley - Attorney

DETERMINATION OF A QUORUM:

Mayor Iverson determined that a Quorum was present.

NEW BUSINESS

1. To discuss Midcontinent Franchise Agreement

City Administrator Linwood – Provided background on Franchise Agreements and information on how they benefit the City. Highlighted that Franchise Fees allow cities to establish right-of-way and operational requirements while collecting a fee for the business' operation in the community.

Attorney Saufley – Stated that the Franchise Agreement renewed the City's agreement with Midcontinent to continue operations in the community.

Councilmember Nanko Yeager – Asked why the agreement was now 10 years as opposed to 15 years.

Attorney Saufley – Stated that 10 years is the most common term length for these type of agreements.

Councilmember Nanko Yeager – Inquired as to if the City would activate Access Channels.

City Administrator Linwood – Shared that this was up to the City and that it had been left open due to the long duration of the agreement, but that there was no intention to do so from staff at this time.

The Council had general consensus to add the consideration of scheduling a public hearing for the Midcontinent Franchise Agreement on the Agenda at June 16, 2026 City Council meeting.

A MOTION WAS MADE BY COUNCILMEMBER LUGER, SECONDED BY COUNCILMEMBER OHNSTAD, TO ADJOURN THE MAY 5, 2026 WORK SESSION OF THE WYOMING, MINNESOTA CITY COUNCIL AT 6:12PM

**DRAFT MINUTES
CITY COUNCIL
REGULAR MEETING
CITY OF WYOMING, MINNESOTA
MAY 19, 2026
7:00 PM**

CALL TO ORDER:

Mayor Lisa Iverson called the Regular Meeting of the Wyoming City Council for May 19, 2026, to order at 7:00 PM.

CALL OF ROLL:

On a Call of the roll, the following members of the Wyoming City Council were present: Councilmembers Lisa Iverson, Linda Nanko Yeager, Dennis Schilling, Brett Ohnstad, and Claire Luger

ABSENT: None

Also Present: Tom Loonan - Eckberg Lammers, Robb Linwood - City Administrator, Grant MacFarlane - Assistant City Administrator, Mark Erichson - WSB, Neil Bauer - Public Safety Director, and Fred Weck - Zoning Administrator/Building Official.

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM:

Casey Lance, 4805 261st Street – Explained that he was here to discuss the Diamond Ridge development and silt fencing. Additionally, informed the Council of children using his yard to access a local park and asked about alternative ways for them to access it.

Carol Kenneally, 6740 Greenway Lane – Stated her opposition to the Happy Daze Dispensary near her property. Stated that she was also concerned with the Highway 8 project and its impact on their property.

City Engineer Erichson – Encouraged Ms. Kenneally to inform the County of her concerns as they are currently engaging in public feedback.

Steve Nelson – Stated that he lives a few homes down from Ms. Kenneally and was here in opposition to the marijuana store and would have rather had the previously proposed dog kennel go into this spot.

APPROVAL OF MINUTES:

- 1. Consider approving the minutes of the “Work Session Meeting” of the Wyoming, Minnesota City Council for April 28, 2026**

A MOTION WAS MADE BY COUNCILMEMBER SCHILLING, SECONDED BY COUNCILMEMBER OHNSTAD, TO APPROVE THE MINUTES OF THE “WORK SESSION MEETING” OF THE WYOMING, MINNESOTA CITY COUNCIL FOR APRIL 28, 2026, AS SUBMITTED.

*Voting Aye: Schilling, Nanko Yeager, Luger, Ohnstad, Iverson
Voting Nay: None
Abstain: None*

Absent: None

2. Consider approving the minutes of the “Work Session Meeting” of the Wyoming, Minnesota City Council for May 5, 2026

A MOTION WAS MADE BY COUNCILMEMBER LUGER, SECONDED BY COUNCILMEMBER OHNSTAD, TO APPROVE THE MINUTES OF THE “WORK SESSION MEETING” OF THE WYOMING, MINNESOTA CITY COUNCIL FOR MAY 5, 2026, AS SUBMITTED.

Voting Aye: Schilling, Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: None

3. Consider approving the minutes of the “Regular Meeting” of the Wyoming, Minnesota City Council for May 5, 2026

A MOTION WAS MADE BY COUNCILMEMBER SCHILLING, SECONDED BY COUNCILMEMBER OHNSTAD, TO APPROVE THE MINUTES OF THE “REGULAR MEETING” OF THE WYOMING, MINNESOTA CITY COUNCIL FOR MAY 5, 2026, AS SUBMITTED.

Voting Aye: Schilling, Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: None

SCHEDULED BID LETTINGS: NONE

SCHEDULED PUBLIC HEARINGS: NONE

CONSENT AGENDA:

Items under the “Consent Agenda” will be adopted with one motion; however, council members may request individual items to be pulled from the consent agenda for discussion and action if they choose.

4. To consider authorizing the payment of recommended bills, payroll, and journal entries for the period of May 6, 2026, to May 19, 2026
5. To consider **Resolution 26-05-51**, a resolution authorizing payment to Halverson Tree for tree removal, stump grinding, and tree replacement in the amount of \$27,672.00
6. To consider **Resolution 26-05-52**, a resolution authorizing payment to Blaine Brothers for Engine 3 repairs in the amount of \$53,838.97
7. To consider **Resolution 26-0-53**, a resolution approving payment to Wold Architects for Design Development in the amount of \$52,911.64

A MOTION WAS MADE BY COUNCILMEMBER SCHILLING, SECONDED BY COUNCILMEMBER OHNSTAD, TO APPROVE #4, #5, #6, and #7 OF THE WYOMING CITY COUNCIL CONSENT AGENDA.

Voting Aye: Schilling, Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: None

ACKNOWLEDGE RECEIPT OF REPORTS OF OFFICERS, BOARDS, COMMISSIONS, AND DEPARTMENT HEADS:

8. Report of the Public Safety Director, Neil Bauer, for May 14, 2026

9. Report of City Building Official, Fred Weck, IV, for May 14, 2026
10. Report of City Attorney Tom Loonan for May 12, 2026
11. Report of City Engineer March Erichson, WSB, for May 14, 2026
12. Report of Public Works Superintendent, Steve Reeves, for May 11, 2026

COMMUNICATIONS

OLD BUSINESS

NEW BUSINESS

13. To consider **Resolution 26-05-54**, a resolution approving:
Rezoning: Z-26-001: Commercial District © to the Mixed Use District (MXD)
Location: 268XX Kettle River Boulevard (adjacent to Blue Sky Animal Hospital)
Applicant: Richard Morris of NTD-COM, LLC
Property ID Number: 21.00012.20

Zoning Administrator/Building Official Weck – Gave an overview of the request to rezone the parcel from Commercial to Mixed Use. He stated that staff and the Planning Commission recommended approval subject to the conditions outlined in the staff report.

Council Member Nanko Yeager – Asked why they needed to rezone this since it would be aligned with other businesses in the Commercial District.

Zoning Administrator/Building Official Weck – Explained that they would replat everything, so this one will become part of the larger lot, and noted that you cannot have mixed zoning for that.

A MOTION WAS MADE BY COUNCILMEMBER LUGER, SECONDED BY COUNCILMEMBER OHNSTAD, TO APPROVE RESOLUTION 25-05-54 A RESOLUTION APPROVING REZONING: Z-26-001: COMMERCIAL DISTRICT (C) TO THE MIXED USE DISTRICT (MXD) LOCATED AT 268XX KETTLE RIVER BOULEVARD (ADJACENT TO BLUE SKY ANIMAL HOSPITAL) FOR RICHARD MORRIS OF NTD-COM, LLC, PROPERTY ID NUMBER: 21.00012.20.

Voting Aye: Schilling, Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: None

14. To consider **Resolution 26-05-55**, a resolution approving:
Interim Conditional Use Permit, I-26-002 for a Cannabis Retailer
Location: 6641 Lake Boulevard
Applicant: Marie Vannelli of Marie Vannelli Endeavors, LLC (DBA Happy Daze Dispensary)
Property ID Number: 21.11069.00

Mayor Iverson – Stated that she was disappointed that the applicant did not appear during the Planning Commission meeting and was not here tonight.

Zoning Administrator/Building Official Weck – He stated that this application was a new party to the property and gave a brief overview of this application. He stated that staff and the Planning Commission recommended approval subject to the conditions included in the staff report.

Mayor Iverson – Asked City Attorney Loonan to explain how the State regulates what cities can do in this situation.

City Attorney Loonan – Briefly outlined the State regulations related to cannabis businesses and explained that they left limited options for the cities to restrict or regulate this type of business.

Council Member Ohnstad – Stated that one of the residents had indicated that they would like to see fencing put in and asked if that was something that the City had control over.
ay.

City Attorney Loonan – Explained that the City can place reasonable conditions that bear a relation to the use. He emphasized that the Office of Cannabis Management has a lot of requirements that these businesses need to adhere to.

Council Member Nanko Yeager – Asked about the existing vegetation along the rear of the property. Asked if the City could also require that they augment the lot with some screening plantings, such as evergreens.

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City Attorney Loonan – Reiterated that the City can impose reasonable conditions that relate to the use.

Council Member Nanko Yeager – Noted that the additional screening didn't really relate to the use and would be more of a courtesy action for the neighbors, and asked if this requirement would be considered unreasonable.

City Attorney Loonan – Explained that the need for the screening seems to have arisen from the road construction project, which was unrelated to the cannabis operation.

Mayor Iverson – Stated that she would like to see the County help out in this situation.

City Engineer Erichson – Noted that there could be plantings within the right-of-way that would offer additional screening. He explained that the County had indicated that they want to hear about these kinds of concerns and should be discussed.

A MOTION WAS MADE BY COUNCILMEMBER SCHILLING, SECONDED BY COUNCILMEMBER LUGER, TO APPROVE RESOLUTION 26-05-55 A RESOLUTION APPROVING AN INTERIM CONDITIONAL USE PERMIT, I-26-002 FOR A CANNABIS RETAILER LOCATED AT 6641 LAKE BOULEVARD FOR MARIE VANNELLI OF MARIE VANNELLI ENDEAVORS, LLC (DBA HAPPY DAZE DISPENSARY, PROPERTY ID NUMBER: 21.11069.00

Voting Aye: Schilling, Nanko Yeager, Luger, Ohnstad, Iverson
Voting Nay: None
Abstain: None
Absent: None

- 15.** To continue **Resolution 26-05-56**, a resolution approving:
Interim Conditional Use Permit Amendment, I-26-003 for a Cannabis Microbusiness
Location: 7978 269th Street
Applicant: Matthew Klein of Kind Buds Cultivars
Owner: David Rondestvedt
Property ID Number: 21.10353.00

Zoning Administrator/Building Official Weck – Outlined a request for an amendment to the ICUP for a cannabis microbusiness at 7978 269th Street to allow additional greenhouse space and an outdoor growing space. He stated that staff and the Planning Commission recommended approval of the additional greenhouse space, but not the proposed outdoor growing area.

Mayor Iverson – Gave a brief overview of the concerns raised by the Planning Commission regarding odor, which cannot be controlled outdoors.

Council Member Nanko Yeager – Asked if the existing well would still be adequate if they added additional greenhouse space.

Matthew Klein, Kind Buds Cultivars – Stated that the well would still be adequate and they should be well under the 10,000-gallon limit required to get an extra permit from the DNR.

A MOTION WAS MADE BY COUNCILMEMBER SCHILLING, SECONDED BY COUNCILMEMBER LUGER, TO APPROVE RESOLUTION 25-05-56 A RESOLUTION APPROVING AN INTERIM CONDITIONAL USE PERMIT AMENDMENT, I-26-003 FOR A CANNABIS MICROBUSINESS LOCATED AT 7978 269TH STREET FOR MATTHEW KLEIN OF KIND BUDS CULTIVARS/OWNER: DAVID RONDESTVEDT AT PROPERTY ID NUMBER: 21.10353.00

Voting Aye: Schilling, Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: None

16. To consider hiring Benjamin James for the position of Community Service Officer (CSO) with the Wyoming Public Safety Department

Public Safety Director Bauer – Reviewed the proposed Community Service Officer position and expected duties throughout the City. He shared some education and experience of the top candidate, Benjamin James.

Council Member Nanko Yeager – Explained that she did not think it was a good idea to increase staff numbers when the City was about to commence a facilities project.

A MOTION WAS MADE BY MAYOR IVERSON, SECONDED BY COUNCILMEMBER LUGER, TO APPROVE HIRING BENJAMIN JAMES FOR THE POSITION OF COMMUNITY SERVICE OFFICER (CSO) WITH THE WYOMING PUBLIC SAFETY DEPARTMENT

Voting Aye: Schilling, Luger, Ohnstad, Iverson

Voting Nay: Nanko Yeager

Abstain: None

Absent: None

17 To consider adding the Mid-Continent Franchise Agreement public hearing to the June 16, 2026, City Council meeting

A MOTION WAS MADE BY COUNCILMEMBER SCHILLING, SECONDED BY COUNCILMEMBER LUGER, TO APPROVE SCHEDULING THE MID-CONTINENT FRANCHISE AGREEMENT PUBLIC HEARING TO THE JUNE 16, 2026, CITY COUNCIL MEETING.

Voting Aye: Schilling, Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: None

COUNCIL REPORTS:

Council Member Ohnstad – Attended the Council Work Session.

Council Member Nanko Yeager – Attended the Council Work Session.

Council Member Luger – Attended the Council Work Session and the Joint Sewer Commission meeting.

Council Member Schilling – Attended the Council Work Session.

Mayor Iverson – Attended the Council Work Session, Joint Sewer Commission meeting, and the Chamber of Commerce meeting.

Public Safety Director Bauer – Reminded residents that the Bike Rodeo would be held on June 5, 2026, at the new building and noted that the Touch-A-Truck event would happen on June 6, 2026.

A MOTION WAS MADE BY COUNCILMEMBER LUGER, SECONDED BY COUNCILMEMBER SCHILLING, TO ADJOURN THE MAY 19, 2026, “REGULAR MEETING” OF THE WYOMING, MINNESOTA CITY COUNCIL REGULAR MEETING AT 7:52 PM

Voting Aye: Schilling, Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: None

A portion of this public meeting may be closed to discuss “Labor Negotiation Strategies”; “Misconduct allegations or charges”; “Attorney-client privilege”; or “Performance evaluations” as per MN State Statute 13D.01-.05.

NEXT REGULAR MEETING:
JUNE 16, 2026
7:00 PM

**APPROVED MINUTES
CITY COUNCIL
WORK SESSION
CITY OF WYOMING, MINNESOTA
MAY 27, 2026
5:00PM**

Wyoming City Council members present: Councilmembers Lisa Iverson, Linda Nanko Yeager, Brett Ohnstad, Claire Luger, and Dennis Schilling

Absent:

Also Present: Robb Linwood - City Administrator, Grant MacFarlane - Assistant City Administrator, and Mark Erichson - WSB Engineer

1. 2026 Street and Project Tour

The purpose of the street and project tour is to view current road conditions, see areas that need improvements and to view current projects across the City. The road tour focused primarily on roads indicated in the CIP. Council reviewed the work on the roads from the 2024 and 2025 Street Improvement Project. Council also visited the location of the 2026 Street Improvement Project to review conditions of the road prior to project commencement. Additional stops of the tour included the Summerfields and Carlos Avery developments as well as Fireside and Railroad Park. Discussions also included pothole filling, general lifespan of roads, and continued strategies that the City utilizes to improve road conditions.

The Street and Project Tour ended at 6:35PM.



Request for Council Action

Date: May 26, 2026

Presented to: Mayor Iverson and City Council Members

Department: Administration

Reference: Authorize City Claims

Method: Consent

Background Information:

Minnesota law provides that the city council has full authority over the city's financial affairs, including the disbursement of public funds. All written instruments must be executed by the mayor and clerk/administrator, pursuant to authority granted by the council.

City Staff has prepared a list of recommended bills, payroll, and journal entries (claims) for Council consideration. Claims may be inspected by the public at the Wyoming City Hall Building (26885 Forest Blvd.) upon request.

Recommended action: Authorize payment of recommended bills, payroll, and journal entries for the period of May 20, 2026 to June 2, 2026.

RESOLUTION NO. 26-06-57

**A RESOLUTION ACCEPTING THE DONATION TO THE CITY OF WYOMING FROM
MEADOWS ON FAIRVIEW**

WHEREAS, the City of Wyoming is generally authorized to accept donations of real and personal property pursuant to Minnesota Statutes Section 465.03 for the benefit of its citizens, and is specifically authorized to accept gifts.

WHEREAS, the following persons and entities have offered to donate an elliptical cross-trainer to the City of Wyoming.

<u>Name of Donor</u>	<u>Value</u>
Meadows on Fairview	\$600.00

WHEREAS, the City Council finds it appropriate to accept the donations offered.

THEREFORE, BE IT RESOLVED, the City of Wyoming accepts the donation from Meadows on Fairview and acknowledge the value of the donation at \$600.00.

**ADOPTED BY THE CITY COUNCIL OF THE CITY OF WYOMING THIS 2ND DAY OF
JUNE, 2026**

By: _____
Lisa Iverson, Mayor

ATTEST:

Robb Linwood, City Administrator



Date: May 27, 2026

Presented to: Mayor Iverson and City Council Members
Presented by: Steve Reeves, Public Works Superintendent
Department: Public Works
Reference: DW Emergency Repairs
Method: Consent

Background Information:

City Staff received notice of standing water in a resident's basement on April 15, 2026. Public Works crew dispatched to investigate the incident and learned that the curb-stop to the residence was frozen. Dirt Works were brought onto the scene to perform an emergency dig for this issue, including dewatering of ground water and water/sewer service line repair. Upon further inspection, it was also noted that the sewer line also required repairs.

Dirt Works successfully conducted the site work and repairs for the emergency dig and has provided the City with an invoice in the amount of \$22,487.00 for their services.

Recommendation:

To approve **Resolution 26-06-58** a resolution approving payment to Dirt Works for emergency water and sewer line repairs in the amount of \$22,487.00.

PUBLIC WORKS

Phone: 651-462-0580 • Fax: 651-462-0581

PO Box 188 • 26490 Faxton Avenue • Wyoming, MN 55092

RESOLUTION NO. 26-06-58

**A RESOLUTION TO AUTHORIZE PAYMENT FOR EMERGENCY WATER AND
SEWER LINE REPAIR SERVICES BY DIRT WORKS FOR THE WYOMING
PUBLIC WORKS DEPARTMENT IN THE AMOUNT OF \$22,487.00**

WHEREAS, the Public Works Department received a report of standing water in a residential home; and

WHEREAS, inspections of the home revealed damage to a water and sewer line; and

WHEREAS, Dirt Works was contacted by the City to perform emergency maintenance work on the project including water and sewer line repairs as well as dewatering; and

WHEREAS, Dirt Works was able to perform the emergency repairs in the amount of \$22,487.00.

THEREFORE BE IT RESOLVED, the City of Wyoming authorizes payment to Dirt Works for emergency water and sewer line repair services for the Wyoming Department of Public Works in the amount of \$22,487.00.

**ADOPTED BY THE CITY COUNCIL OF THE CITY OF WYOMING THIS 2ND
DAY OF JUNE, 2026.**

CITY OF WYOMING

By: _____
Lisa Iverson, Mayor

ATTEST:

Robb Linwood, City Administrator/Clerk



May 27, 2026
Honorable Mayor and City Council
City of Wyoming
26885 Forest Boulevard
Wyoming, MN 55092

RE: JUNE 2, 2026 CITY COUNCIL MEETING

Dear Mayor and Council Members:

This letter is intended to summarize on-going commercial building projects and zoning issues within the City. Some of these items may be separate agenda matters, while others are for informational purposes only.

Wyoming Elementary School

The permits have been issued. Work will commence at the end of the school year. Applications have been submitted to remodel areas of the school that were not remodeled in 2018. Work areas include the gymnasium, restrooms, class rooms, and mechanical systems.

Sunrise Flour Mill Phase 2

The interior flour mill room has been constructed. Plumbing rough-in, framing and fireblocking inspections have been approved. Building permits have been issued to complete phase 2 to remodel the existing 24,000 square foot building located at 26327 Fallbrook Avenue into a flour mill for Sunrise Four Mill.

Planning Commission

The Planning Commission held a public meeting for site plan review for the construction of a cold storage building at 5601 260th. This is a separate agenda item.

Sincerely,

Frederick E. Weck, IV
Zoning Administrator
Building Official #1825
Advanced Septic Inspector, MPCA #C5199
City of Wyoming



**ECKBERG
LAMMERS**
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May 28, 2026

Robb Linwood
City of Wyoming
26885 Forest Boulevard
Wyoming, MN 55092

Delivered via Email

Re: *City of Wyoming*
 Status Update for the Period of – May 13th – May 28th

Dear Robb:

Our office continues our role as general counsel, answering questions, addressing legal concerns and reviewing items for the City as requested. We are working to resolve the situation involving the Letson variance dispute, and have a motion hearing scheduled for June 9 to argue the legal merits of the Letsons' claims.

Please contact me directly if you have any questions regarding this correspondence. Thank you for allowing us to serve the City of Wyoming.

Very Truly Yours,

s/ Thomas R. Loonan

Thomas R. Loonan
City Attorney

Stillwater Office
1809 Northwestern Avenue
Stillwater, MN 55082
Phone: 651-439-2878
Fax: 651-439-2923

Hudson Office
430 Second Street
Hudson, WI 54016
Phone: 715-386-3733
Fax: 715-386-6456



Engineer's Report

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May 28, 2026

Honorable Mayor and City Council
City of Wyoming, MN
26885 Forest Boulevard
Wyoming, MN 55092

Re: June 2, 2026, City Council Meeting
WSB Project No. 027762-000

Dear Mayor and Council Members:

This engineer's report is intended to update you on engineering activities within the city since the last council meeting. Some of the items below may be on the agenda with more detailed information provided, while the other items below are for informational purposes only.

2027 Street Improvement Project

Staff will bring an agenda item to the second meeting in June requesting authorization to prepare a feasibility study for the 2027 Street Improvement Project. Staff will verify the CIP priorities and financial model in advance of the June 16th meeting.

2026 Street Improvement Project

Project bids were received on April 8, 2026. A total of 6 bids were received ranging from \$1,358,926.33 to \$1,644,148.00 with the low bidder being North Valley, Inc. Bid results are excellent with assessments expected to be less than what was identified in the feasibility study. Assessment amounts will be determined based on actual project costs later this fall. Construction is to start once school is out for summer break. WSB has worked extensively with North Valley Inc. in the past.

After City Council awarded a contract to North Valley, WSB issued the notice of award and sent contracts to North Valley. A preconstruction meeting was held on Monday, May 19th. Minor work is scheduled to start the week of June 1, 2026, on storm sewer repairs and minor sanitary sewer manhole top section adjustments. A newsletter has been mailed to property owners with detailed information about the project and schedule. Removals for the project are currently being marked in the field.

Coordination with the US Postal Service, private utilities, school district, and residents will be ongoing. More neighborhood engagement will occur regarding off-street trails this summer.

2025 Street Improvement Project

The project is substantially complete. A second and final pay voucher with corresponding contract closeout documents will be brought to the City when punch list items are complete. Project closeout is expected to take place in the coming weeks as the contractor plans to complete remaining punch list items in the next two weeks.

Summer Fields Development

The project is on hold until the end of June. The developer will be contacting me at the end of June to let us know if they will be able to move forward with this project in 2026 or have to wait for a future year.

Sunrise Riverbank Development (residential and commercial)

Staff continue to work with the applicant on both the residential and commercial portions of the overall development. Multiple meetings were held in March and April to discuss their concept plan submitted to the city for the commercial portion of the overall development to discuss traffic study needs, shared driveway, utility layout and wetland impacts. The applicant submitted a preliminary plat for the commercial area on April 20th. In previous discussions with the developer, they needed to submit a traffic study as the previous study was outdated, had different geometric layouts, and land uses had changed. Since WSB had been working on layouts with Chisago County and MNDOT, they asked if we could complete a traffic study and use their escrow to pay for our preparation of the study. This is an efficient approach for all parties (City, Developer, MNDOT, County). Data collection has been completed (previous data was 5 years old and it needs to be 2 years or less). The application is incomplete until this study is finalized. The traffic study has been completed on time and pending another developer submittal scheduled for 5/29/2026 the application will be complete and will be scheduled for the June 23rd Planning Commission meeting and the July 7th City Council meeting.

Katies Glen

Staff have reviewed the work completed to date and authorized the reduction in the letter of credit to 125% of the remaining value of work to be completed. The final lift of pavement has been completed. Once punch list items are all complete (it appears work has been completed and we will inspect once vegetation is growing along the pond perimeter), we will ask the City Council to accept the improvements and release escrows and the letter of credit. I met with the developer and contractor, and we identified the remaining work and how to correct.

Diamond Ridge Development

No new update.

Remaining punch list work has been completed, and we are waiting for the as-builts to be submitted. We expect final acceptance of the improvements will take place this fall. Jesse Moxness will be submitting building permits for these three lots soon.

Public Facilities

Staff have worked with Wold Architecture to prepare project plans related to site improvements at both the Fire Department and City Hall sites. Survey, soil borings and site design are completed and included in the overall bid package.

TH 8

No new update.

We have provided multiple reviews of the TH 8 plans provided by Chisago County and provided feedback so they can incorporate into their final design.

Frontier Communications/MasTec High Speed Fiber

No new update. Staff are in receipt of two large utility projects that will provide high speed fiberoptic installations within Wyoming. We have provided extensive review and provided these comments to update their proposed plans. We have received 1 of the 2 plans back and provided additional comments. More details will be provided with the project expected to start this spring once road restrictions are removed.

A preconstruction meeting is expected to be coordinated in the near future.

Arvig -

This work project has been completed.

Pavement Preservation Project –

Public works and Engineering are working to receive quotes to perform a test area utilizing two separate products that would be applied to roadways in the 1–5-year-old range to maximize pavement life expectancy. Like Wyoming, many communities have stopped the use of chip seals and are utilizing these rejuvenator products instead.

Public works will also be making arrangements for crack filling various roadways including those in the 2024 and 2025 improvement project areas.

Thank you for the opportunity to update the Council on current matters in the city.

Sincerely,

WSB and Associates, Inc.

Mark Erichson, P.E., City Engineer



May 22, 2026

Honorable Mayor Iverson and City Council Members Nanko Yeager, Luger, Ohnstad, and Schilling.

RE: June 2, 2026 City Council Meeting

Public Works Department Activity

- 2 operators and department leadership gave a presentation at Linwood Elementary School on the role Public Works play in the community including public service as an occupation. We brought a plow truck and mowing tractor; the 4th & 5th graders loved it!
- All department staff received First Aid, CPR, & AED training
- Gravel road maintenance is 80% complete
- Citywide Spring Hydrant Flush Program began Monday May 4th. We are roughly halfway through the city
- Coordinated with Northern Salt on Calcium Chloride treatment of Kettle River Blvd and Elmcrest gravel roads
- Street sweeping is underway in enhanced route in coordination with the watershed district
- Tree maintenance at Blue Spruce Park removing dead and diseased trees
- Repairs to turf damage in plow routes
- Irrigation turn on appointments with contractors have increased to meet the season
- Seasonal staff have begun working on locating and marking water system infrastructure and building a tie card system showing sketches and measurements
- With the lack of rain, we have been watering trees
- Building maintenance at our Faxton Shop
- Coordinating with engineering and contractors ahead of 2026 construction season related to Right of Way permitting
- Responded to resident contacts
- Ongoing work order completion
- Routine safety checks were conducted throughout the department including eye wash stations, fire extinguishers and climbing equipment

Streets:

- Pothole patching has begun.

Utilities:

The crew completed utility locates in the city. Meter installs as they come through.

PUBLIC WORKS

Phone: 651-462-0580 • Fax: 651-462-0581

PO Box 188 • 26490 Faxton Avenue • Wyoming, MN 55092

- **Sanitary Sewer**

Staff continue to check lift stations & generators during daily rounds. Lift station equipment inspections and maintenance is ongoing. Maintenance at Lift Station #6 coolant system performed by Kodiak Power Solutions.

- **Water:**

Continued water testing and monitoring the city's water distribution system. Sustained exercising of Well 3. MN Dept of Health and Dept of Natural Resources reporting are complete. Fluoride report was completed and submitted. Bacterial testing has been completed. Renner Well performed rehab work on Well 2. All subsequent tests with Minnesota Department of Health were conducted and passed. Working with Minnesota Department of Health and WSB on our lead copper service replacement which will occur later this year. Curb stop repair on 262nd St. is complete

Surface/Storm Water:

Disposal of street sweepings. Finalized agreement with Comfort Lake Forest Lake Watershed District on an Enhanced Street Sweeping program for 2026. Received a full grant payment from the CLFLWD for our enhanced street sweeping plan in 2025.

Parks:

Trash pick-up is becoming more regular now that spring is upon us. Dog park is operational and going smoothly. Tree planting at Tolzman & Goodview.

Fleet:

Regular maintenance of vehicles is ongoing. All vehicles & equipment are receiving regularly scheduled maintenance at manufacturers' recommended intervals. Truck 26930, 2025 Ford F-150 had recall work completed. Brush chipper in for annual maintenance. Street Sweeper moderations per rate study are complete and is a very nice improvement.

Chisago County Projects in Wyoming in 2026:

Chisago County Public Works is planning to mill and overlay County Road 22 (Wyoming Trail) in advance of the HWY 8 project & concrete repair on County Road 30. This work is slated to go to bid later this spring.

Respectfully submitted,
Steve Reeves
Public Works Superintendent

**CITY OF WYOMING
PLANNING AND ZONING**

TO:	City Council
DATE:	June 2, 2026
FROM:	Kim Lindquist, City Planner
	Fred Weck
RE:	Site Plan Review
APPLICANT:	Emily Nepp, ISG for the property owner
	Rosenbauer Minnesota, LLC
PROPERTY:	5201 260th Street, R.21.00468.32
FILE NO.:	SP-26-001

OVERVIEW

Rosenbauer Minnesota, LLC (the “Applicant”) is requesting review and approval of a site plan to allow construction of a new accessory building to store finished parts, extrusions, and raw sheet metal indoors. The proposal also includes designated outdoor storage areas with pallet racking to improve material organization and workflow, installation of a new scale and tilt table for quality assurance and testing, and construction of an asphalt drive and parking areas to support site access and vehicle circulation.

In 2022, the applicant received site plan approval and variances for stormwater improvements on the property and for a proposed temporary fabric storage structure. To accommodate the stormwater work, the City approved a variance allowing impervious surface coverage of up to 80%. The variance for the fabric structure was in relation to the exterior material standards, which does not allow fabric as an acceptable building material. The stormwater improvements have since been completed, but the temporary fabric structure was never installed.

In 2024, the applicant received a variance from the City’s exterior material standards to allow metal siding and exposed-fastener formed metal panels on a limited portion of the principal building damaged by ice. The principal building is a pole barn structure with fabricated metal and exposed fasteners. The variance allowed the applicants to fix the portion of the structure impacted by ice rather than demolishing and reconstructing the entire structure to meet the architectural standards of the ordinance.

The site is currently zoned as I-Industrial and Comprehensive Plan designates the land for Industrial and General Business. The plan must meet I – Industrial Ordinance zoning standards.

STAFF RECOMMENDATION

Based upon the requirements of Article V, Division 4 “Site Plan Review”, staff finds the project complies with ordinance standards and recommends approval of the site plan for the proposed new accessory building, outdoor storage areas, new scale and tilt table and asphalt drive and parking areas based subject to the following conditions:

1. All required local, state and/or federal permitting must be obtained.

2. The applicant submit final grading and drainage plans for staff review and approval which include calculations for impervious surfaces on the site. The property shall comply with the 80% impervious surface calculations previously approved in 2022.
3. Construction and use of the property shall comply with the ISG plans signed on 4/2/2026.
4. The color of the proposed accessory building shall be consistent with the color of the existing principal building.
5. The applicant shall submit a landscape plan for staff review and approval consistent with ordinance screening requirements and Article 26 Division 14, prior to issuance of a building permit.

STAFF REVIEW

Comprehensive Plan and Zoning Review

The subject property is currently zoned I- Industrial, and it is guided as Industrial and General Business in the City of Wyoming's Comprehensive Plan. The site changes being proposed are consistent with the permitted manufacturing use of the site. The zoning and surrounding uses are as follows:

North – I - Industrial; Industrial & General Business

South – OHC – Office and Health Care; Fairview Health Clinic

East – I – Industrial and OHC – Office and Health Care; Industrial and Fairview Health Clinic

West – I – Industrial; Industrial and General Business

This parcel is not located within either the Shoreland Management Overlay or a FEMA-designated floodplain area. In addition, there are no wetlands located on the parcel. The following table summarizes the regulations associated with the site, outlining the standards for property zoned as I - Industrial.

Zoning District	<u>I-Industrial</u>	<u>Proposed</u>
Lot Width	115 feet	222 feet
Lot Size	20,000 sq. ft.	215,357 sq. ft.
Front Yard Setback	Corner Lot Standards: Address Road - 25 feet Non-Address Road – 20 feet Parking Setback—10 feet	Accessory Bldg– 92 feet from west and 270 feet from south New Parking Area -- 10 feet from west and 18 feet from south
Side Yard Setback (east)	Accessory – 3 feet Parking Area – 15 feet	Accessory Bldg – 75 feet New Parking Area – 15 feet

Rear Yard Setback (north)	Accessory – 3 feet Parking Area – 15 feet	Accessory Bldg – over 500 feet N/A
Height	Accessory – 25 feet	Accessory (Proposed) – 21 feet
Impervious Surface Coverage	75%	80%* *variance granted in 2022

Proposed Site Details

The applicant proposes a new 2,500-square-foot storage building south of the main building. The building will include four overhead doors on the east side. An existing stormwater basin is located east of the proposed accessory building. A surrounding concrete pad will accommodate outdoor pallet racking and storage for water tanks, pump, and extrusions.

The proposed scale pit, modular block retaining wall for pit access, and tilt table will be located in the southern portion of the site, south of both the main building and the proposed accessory building. The tilt table will be placed in the southwest corner, with an equipment pad between it and the west property line.

It appears there is fencing on the east, south and a portion of the west side of the entire site. The western fencing is in the area proposed for improvements. All proposed improvements will be located within the fenced areas.

The applicant also proposes bituminous pavement at the south end of the site to replace the existing Class V surface. The parking area will be striped for 57 stalls, including 33 stalls measuring 9 feet by 21 feet and 24 stalls measuring 17 feet by 34 feet. Manufacturing uses require 1 space for each employee on the major shift or 1 space for each 400 square feet whichever is greater.

No new landscaping is proposed on the site. The applicant should submit a landscape plan consistent with ordinance requirements for staff review and approval prior to issuance of a building permit.

Roads and Traffic

There are no new public roads proposed as part of this site plan. The current access onto the parcel is from Fallbrook Avenue which will remain. With the site plan consisting solely of a new storage facility and tilt table and scale, it is not anticipated that there will be an increase in traffic.

Drainage/Natural Resource/Wetlands

The stormwater basin expansion approved and constructed in 2022 on the Rosenbauer site was sized to provide stormwater management for the site with up to 80% impervious coverage. Once impervious coverage onsite is confirmed to be at or below 80% when accounting for the proposed improvements, stormwater management requirements will be assumed to be met by the existing onsite basins.

The site is not located within the Comfort Lake Forest Lake Watershed District, meaning that a CLFLWD permit is not required for this proposal. There is no floodplain in the area, so no floodplain permitting is required.

Utilities

Municipal sanitary sewer and watermain services are currently available on this site.

Architecture

Section 40-458(5) requires that at least 75% of exterior wall surfaces on buildings in the Industrial District consist of Class I, II, or III materials. The remaining 25% may be any material, subject to final approval by the Planning Commission and City Council. In addition, accessory buildings must match the principal structure's exterior materials and appearance as closely as possible. The building in site is a metal. The proposed building will be finished with LP SmartSide lap siding and board-and-batten siding, which are Class II materials. Because the proposed building materials are an improvement to the existing principal structure, and the new construction is an accessory structure and significantly smaller than the principal building, staff can support the request.

Site Plan Review Standards

In accordance with Sec. 40-86, the following criteria shall be considered during the Site Plan review application process:

- (1) Consistency with the various elements and objectives of the City's long range plans, including, but not limited to, the Comprehensive Plan;
- (2) Consistency with the purposes of this Code;
- (3) Preservation of the site in its natural state, insofar as practicable, by minimizing tree and soil removal, and designing any grade changes so as to be in keeping with the general appearance of neighboring developed or developing areas;
- (4) Creation of a harmonious relationship of buildings and open spaces with the terrain and with existing and future buildings having a visual relationship to the proposed development;
- (5) Creation of a functional and harmonious design for structures and site features including:
 - (a) Creation of an internal sense of order for the various functions and buildings on the site and provision of a desirable environment for occupants, visitors and the general community;
 - (b) Appropriateness of the amount and arrangement of open space and landscaping to the design and function of the development;
 - (c) Appropriateness of the materials, textures, colors and details of construction as an expression the design concept of the project and the compatibility of the same with the adjacent and neighboring structures and functions; and
 - (d) Adequacy of vehicular, cycling and pedestrian circulation, including walkways, interior drives and parking, in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation,

separation of pedestrian, cycling and vehicular traffic and arrangement and amount of parking so as to be safe, convenient and, insofar as practicable, compatible with the design of proposed buildings, structures and neighboring properties.

(6) Creation of an energy-conserving design through design, location, orientation and elevation of structures, the use and location of glass in structures, and the use of landscape materials and site grading;

(7) Protection of adjacent and neighboring properties through reasonable provisions for such matters as surface water drainage, sound and sight buffers, preservation of views, light and air, and those aspects of design, not adequately covered by other regulations, which may have substantial effects on neighboring land uses.

These criteria are met.

Planning Commission Recommendation

On May 26, 2026⁷ the Planning Commission publicly heard the petitioner's Site Plan Review request. After hearing testimony and discussion, the Planning Commission voted unanimously to recommend approval of the request with the following conditions:

1. All required local, state and/or federal permitting must be obtained.
2. The applicant submit final grading and drainage plans for staff review and approval which include calculations for impervious surfaces on the site. The property shall comply with the 80% impervious surface calculations previously approved in 2022.
3. Construction and use of the property shall comply with the ISG plans signed on 4/2/2026.
4. The color of the proposed accessory building shall be consistent with the color of the existing principal building.
5. The applicant shall submit a landscape plan for staff review and approval consistent with ordinance screening requirements and Article 26 Division 14, prior to issuance of a building permit.



City Of Wyoming
26885 Forest Blvd, PO Box 188
Wyoming, MN 55092
Phone (651) 462-4947
permits@wyomingmn.org

LAND USE APPLICATION: SITE PLAN REVIEW

A site plan review application requests a use permitted in a particular zoning district, but regulated and controlled through conditions placed upon it by the City Council after review by the Planning Commission.

Property Address: 5201 260th Street, Wyoming, MN 55092

Applicant(s): Name(s) Emily Nepp - ISG on behalf of owner

Address 115 East Hickory Street + Suite 300

City Mankato State MN Zip 56001

Phone Number [REDACTED] Email [REDACTED]

Owner(s) - If other than Applicant(s):

Name(s) Rosenbauer America, LLC - Dustin Willert

Address 5181 260th Street

City Wyoming State MN Zip 55092

Phone Number [REDACTED] Email [REDACTED]

Owners(s) Signature(s) [Signature] Date 4/23/26

Legal description of property: HALLBERGS WYO INDUSTRIAL PARK

Property Identification Number: R.21. 0046832 Present Zoning: I- Industrial

Present use of property: Manufacturing facility for custom public safety vehicles

Proposed use of property: Manufacturing facility for custom public safety vehicles

This application and the following attachments must be submitted to be considered a complete application:

1. A detailed site plan showing the information listed in Section 40 - 82, 1-6 as well as the following:
 - a. The grading and drainage plan must be designed in accordance with Article VII, Division 21 of the Zoning Ordinance and the City of Wyoming Surface Water Resource Guidance Document
 - b. Elevation drawings of all sides of the proposed building to show compliance with the architectural standards of the zoning district the use will be located in
 - c. Landscaping and Screening in accordance with Article VII, Divisions 14 & 26
 - d. Lighting Plan in accordance with Article VII, Division 15
2. A letter explaining the proposed use and how it will be operated
3. Applications for uses described in Article VI, Divisions 7, 18, & 19 and Article VII, Divisions 2, 8, 10, 17-20, and 25 of the Zoning Ordinance must include the information necessary to show compliance with the applicable section of the ordinance
4. Applications for uses that are within the Highway 8 Overlay District or that utilize Highway 8 for access must include the information necessary to show compliance with Article VI, Division 14 of the Zoning Ordinance.
5. The application fee and escrow must be paid at the time of application - The fee is not refundable and the unused portion of the escrow will be returned to the applicant
6. Any other information deemed necessary by the Zoning Administrator or Planning Commission

Applicant(s) Signature(s) Emily Nepp Date 04/21/2026

As the applicant for this request, I agree to reimburse the City for all expenses incurred by the City in employing planning, engineering, legal and other professional consultants in reviewing this application. This may include the replenishment of any escrow funds as required as part of this application. Such costs shall be paid by me, the applicant, regardless of the outcome of the review and prior to commencing any work on the project. Article V, Division 4, Site Plan Review, is attached to this application. By signing this application, the applicant acknowledges that it has been read and understood.

A public meeting can be scheduled only after a complete application has been received.

OFFICE USE ONLY

Application # SP26-001

Date Complete Application Received 4/29/26

Fee: \$220.00 + Escrow \$1,000.00

Revised 01/24/23

Date Application Received 4/10/26

60 Days 6/28/26

Date Paid 4/29/26

By: [Signature]
Official

Check # _____

April 28, 2026

Fred Weck
Zoning Administrator
Building Official #MN1825
Advanced Septic Inspector #C5199
City of Wyoming
26885 Forest Boulevard
P.O. Box 188
Wyoming, MN. 55092
fweck@wyomingmn.org



**RE: Site Plan Review Request
Rosenbauer America – 5201 260th Street, Wyoming, MN 55092**

Fred,

On behalf of Rosenbauer America, LLC, we respectfully submit this narrative in support of a Site Plan Review Request at the Rosenbauer site in Wyoming, MN. Rosenbauer looks forward to enhancing their site to continue producing powerful and reliable custom public safety vehicles worldwide and providing a quality workplace for their staff.

PROJECT DESCRIPTION

Started in 1866, Rosenbauer is a family-owned business, and is the world's largest manufacturer of fire safety equipment and a global leader in firefighting technology. They produce more than 2,000 vehicles annually worldwide, including more than 700 in North America. Rosenbauer stands by their core values of family, ethics, teamwork, accountability, and passion. At the Wyoming, Minnesota location, Rosenbauer provides jobs for 650 employees and operates from 5AM-5PM.

The proposed project consists of the construction of a new building intended for interior storage of finished parts, extrusions, and raw sheet metal. In addition to enclosed storage, the site will include designated exterior storage areas with pallet racking to support efficient material organization and workflow. The project also includes the installation of a new scale and tilt table, which are essential components of the company's quality assurance and testing processes, as well as the construction of associated asphalt drive and parking areas to accommodate vehicle circulation and site access.

Operations associated with the proposed improvements will be consistent with the existing industrial use of the property. Hours of operation, staffing levels, and overall site activity are not expected to significantly change as a result of this project. The improvements are intended to increase operational efficiency and storage capacity. The proposed project will include appropriate site design measures to ensure long-term functionality and compatibility with surrounding uses. All activities will be conducted in compliance with applicable local, state, and federal regulations.

Thank you again for reviewing this request. Please contact me at 507.387.6651 or via email with any questions or if there is any additional information we can provide in support of this project.

Sincerely,

A handwritten signature in black ink that reads "Emily Nepp". The signature is fluid and cursive, with the first letters of the first and last names being capitalized and prominent.

Emily Nepp
Development Services Coordinator
Emily.Nepp@ISGInc.com

ROSENBAUER TILT TABLE + SCALE

ISG

WYOMING, MN

ISG PROJECT # 25-33445



LOCATION MAP

SHEET INDEX

- 1 TITLE SHEET
- 2 DETAILS
- 3 OVERALL SITE PLAN
- 4 SITE, UTILITY + GRADING PLAN

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

REESE A. SUTTELGTGE

DATE 4/2/26 LIC NO. 54243

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PROJECT

ROSENBAUER TILT TABLE + SCALE

WYOMING MN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 25-33445
FILE NAME 33445 TITLE
DRAWN BY RAS
DESIGNED BY RAS
REVIEWED BY RAS
ORIGINAL ISSUE DATE 3/3/2026
CLIENT PROJECT NO. -

PROJECT GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE, BUT ARE NOT LIMITED TO, THE OWNER - CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH INCLUDES GENERAL SUPPLEMENTARY CONDITIONS AND SPECIFICATIONS), DRAWINGS OF ALL DISCIPLINES AND ALL ADDENDA, MODIFICATIONS, AND CLARIFICATIONS ISSUED BY ARCHITECT/ENGINEER.
2. CONTRACT DOCUMENTS SHALL BE ISSUED TO ALL SUBCONTRACTORS BY THE GENERAL CONTRACTOR IN COMPLETE SETS IN ORDER TO ACHIEVE THE FULL EXTENT AND COMPLETE COORDINATION OF ALL WORK.
3. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
4. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES OR CONDITIONS REQUIRING INFORMATION OR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
5. DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPE OF DETAILING REQUIRED THROUGHOUT THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO DETAILS SHOWN, WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED. NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
6. ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED ACCORDING TO MANUFACTURERS' INSTRUCTIONS. IN CASE OF DISCREPANCIES BETWEEN MANUFACTURERS' INSTRUCTIONS AND THE CONTRACT DOCUMENTS, NOTIFY ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
7. ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO AVOID GALVANIC CORROSION.
8. THE LOCATION AND TYPE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY AND ARE ACCURATE AND COMPLETE TO THE BEST OF THE KNOWLEDGE OF I & S GROUP, INC. (ISG). NO WARRANTY OR GUARANTEE IS IMPLIED. THE CONTRACTOR SHALL VERIFY THE SIZES, LOCATIONS, AND ELEVATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM PLAN.
9. THE CONTRACTOR IS TO CONTACT "GOPHER STATE ONE CALL" FOR UTILITY LOCATIONS A MINIMUM OF 2 BUSINESS DAYS PRIOR TO ANY EXCAVATION / CONSTRUCTION (1-800-252-1166).

PROJECT INDEX:

OWNER:

ROSENBAUER AMERICA, LLC
DUSTIN WILLERT
5181 260TH ST
WYOMING, MN 55092
PHONE: (651) 462-7589

PROJECT ADDRESS / LOCATION:

SECTION 30/TOWNSHIP 033/RANGE 21

5201 260TH ST
WYOMING, MINNESOTA

MANAGING OFFICE: I & S GROUP, INC. (ISG)

ST. LOUIS PARK OFFICE
6465 WAYZATA BOULEVARD
SUITE 970
ST. LOUIS PARK, MN 55426
PHONE: 952.426.0699

PROJECT MANAGER: REESE SUTTELGTGE, PE
EMAIL: REESE.SUTTELGTGE@ISGINC.COM

ISG

SPECIFICATIONS REFERENCE

ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF WYOMING REQUIREMENTS AND M-DOT STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2025 EDITION, THE STANDARD SPECIFICATIONS FOR SANITARY SEWER, STORM DRAIN AND WATERMAIN AS PROPOSED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA, 2025 EDITION, AND THE CURRENT VERSION OF THE MINNESOTA STATE PLUMBING CODE UNLESS DIRECTED OTHERWISE.

PROJECT DATUM

HORIZONTAL COORDINATES HAVE BEEN REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), 1996 ADJUSTMENT (NAD83/1996) ON THE CHISAGO COUNTY COORDINATE SYSTEM, IN U.S. SURVEY FEET.

ELEVATIONS HAVE BEEN REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
RTK GPS METHODS WERE USED TO ESTABLISH HORIZONTAL AND VERTICAL COORDINATES FOR THIS PROJECT.

TOPOGRAPHIC SURVEY

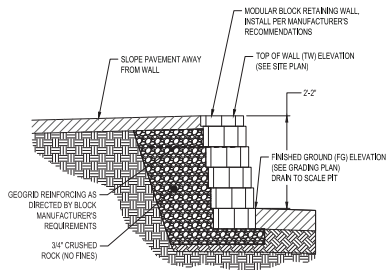
THIS PROJECT'S TOPOGRAPHIC SURVEY CONSISTS OF DATA COLLECTED IN OCTOBER 2022 BY ISG.

TITLE

TITLE SHEET

SHEET

1



MODULAR BLOCK
RETAINING WALL SECTION
NTS

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

REESE A. SUTDELGTE

DATE 4/2/26 LIC. NO. 54243

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PROJECT

**ROSENBAUER
TILT TABLE +
SCALE**

WYOMING MN

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FILE NAME 33445 DETAILS
DRAWN BY RAS
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REVIEWED BY RAS
ORIGINAL ISSUE DATE 3/3/2026
CLIENT PROJECT NO. -

TITLE

DETAILS

SHEET

2

ISG

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

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PROJECT

**ROSENBAUER
TILT TABLE +
SCALE**

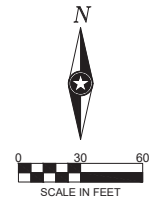
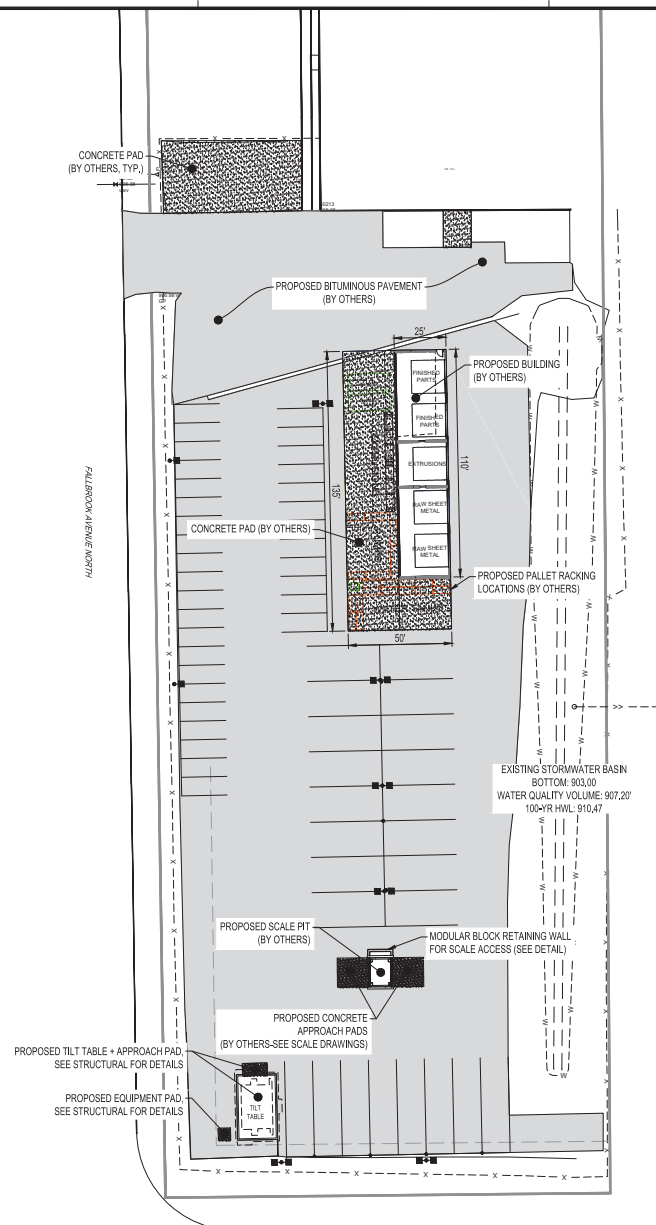
WYOMING MN

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO.	25-33445
FILE NAME	33445 PLAN
DRAWN BY	RAS
DESIGNED BY	RAS
REVIEWED BY	RAS
ORIGINAL ISSUE DATE	3/3/2026
CLIENT PROJECT NO.	-

TITLE
OVERALL SITE PLAN

SHEET
3



ISG

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

REESE A. SUDTELGTE

DATE: 4/2/26 LIC. NO. 54243

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PROJECT

ROSENBAUER

TILT TABLE +
SCALE

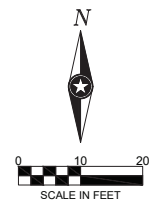
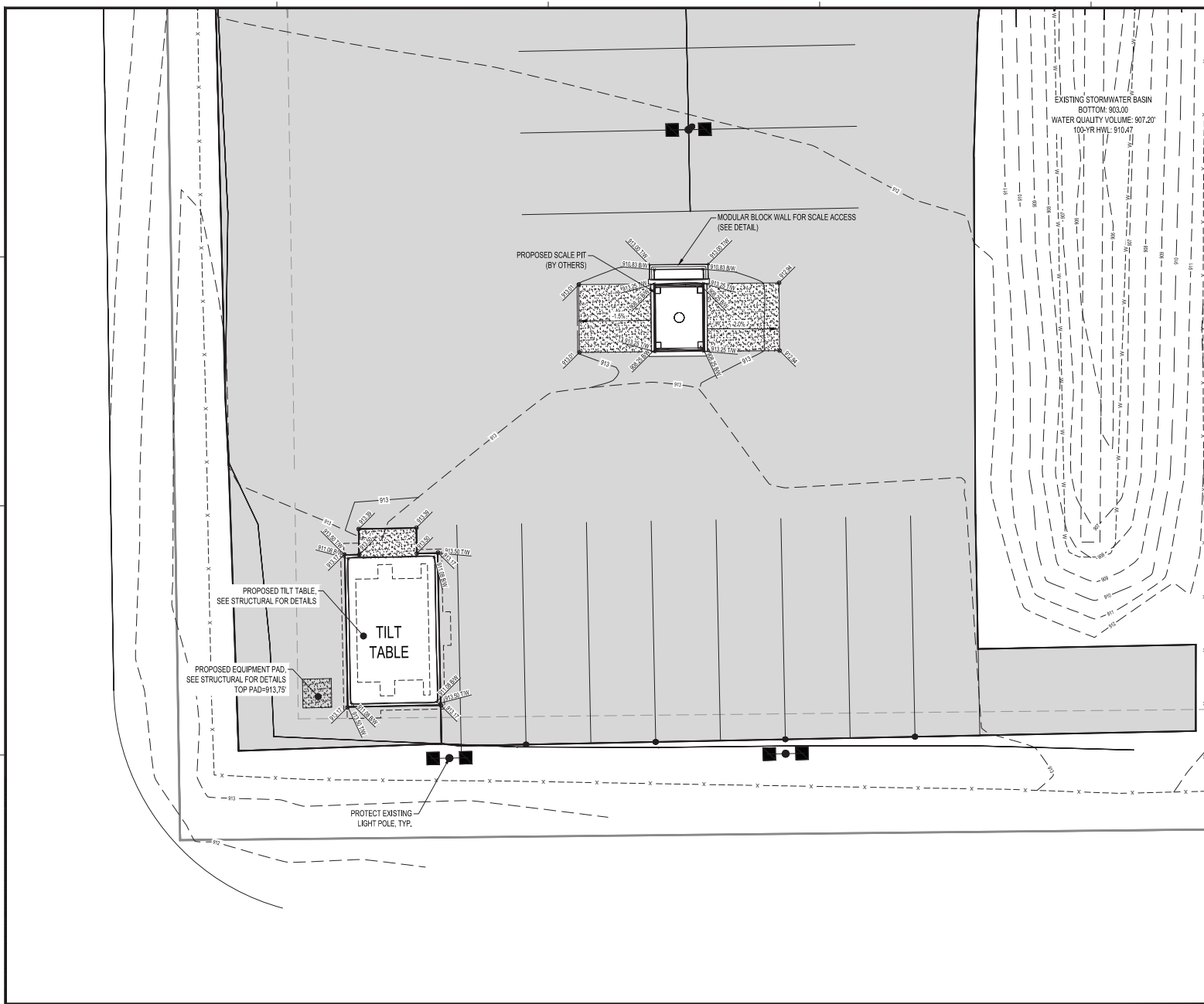
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TITLE
**SITE, UTILITY +
GRADING PLAN**

SHEET
4



GENERAL NOTES

A. NOTES AND DETAILS ON THE STRUCTURAL DRAWINGS TAKE PRECEDENCE OVER THESE STANDARD STRUCTURAL NOTES. TYPICAL DETAILS SHALL BE USED WHENEVER APPLICABLE.

B. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS BEFORE STARTING WORK, AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED, IN WRITING, OF ANY DISCREPANCIES.

C. IN NO CASE SHALL DIMENSIONS BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON THE STRUCTURAL DRAWINGS.

D. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF UTILITY SERVICES IN THE AREA TO BE EXCAVATED BEFORE BEGINNING EXCAVATION.

E. NO PIPES, DUCTS, SLEEVES, CHASES, ETC. SHALL BE PLACED IN SLABS OR WALLS, NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DUCTS, ETC.

F. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TEMPORARY SHORING AND BRACING OF EXISTING STRUCTURAL ELEMENTS DURING CONSTRUCTION. ALL SHORING SHALL BE ADEQUATE TO SUPPORT ALL STRUCTURAL LOADS DURING THE REMOVAL OF THE EXISTING STRUCTURE. TEMPORARY SHORING MUST REMAIN IN PLACE UNTIL ALL NEW STRUCTURAL ELEMENTS ARE SECURED INTO PLACE PER CONSTRUCTION DOCUMENTS.

G. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE FOLLOWING CODES AND MANUALS (LATEST ADOPTED EDITION):

1. STATE BUILDING CODE, WHEN APPLICABLE.
2. INTERNATIONAL BUILDING CODE (IBC).
3. AMERICAN CONCRETE INSTITUTE (ACI).
4. CONCRETE REINFORCING STEEL INSTITUTE (CRSI) MANUAL OF STANDARD PRACTICE (FOR PLACING AND DETAILING OF ALL REINFORCING).

DESIGN LOADS CRITERIA

- A. CODES USED:
1. 2018 INTERNATIONAL BUILDING CODE
 2. 2018 AMERICAN SOCIETY OF CIVIL ENGINEERS STANDARD 7 (ASCE 7-16)
- B. RISK CATEGORY: II
- C. WIND LOAD CRITERIA:
1. ALLOWABLE DESIGN WIND SPEED, $V = 108$ MPH (3 SECOND GUST)
 2. ALLOWABLE STRESS DESIGN WIND SPEED, $V_{std} = 87$ MPH (3 SECOND GUST)
 3. WIND LOAD EXPOSURE: C
 4. WIND TOPOGRAPHIC FACTOR: $K_{zt} = 1.0$
- D. DESIGN VEHICLE LOAD CRITERIA:
1. LOADED VEHICLE WEIGHT = 108,000lb
- E. EARTHQUAKE LOAD CRITERIA:
1. SEISMIC IMPORTANCE FACTOR: $I_e = 1.0$
 2. MAPPED SPECTRAL RESPONSE ACCELERATIONS:
 - $S_s = 0.49g$
 - $S_1 = 2.4\%$
 3. SOIL SITE CLASS: D (ASSUMED)
 4. SPECTRAL RESPONSE COEFFICIENT:
 - $S_{DS} = 0.049$
 - $S_{D1} = 0.039$
 5. SEISMIC DESIGN CATEGORY = A

SHOP DRAWINGS

- A. SUBMIT SHOP DRAWINGS AND CALCULATIONS FOR APPROVAL, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER RESPONSIBLE FOR ITS PREPARATION, WHO IS REGISTERED IN THE STATE WHICH THE PROJECT IS LOCATED.
- B. PRIOR TO SUBMITTAL, THE CONTRACTOR SHALL REVIEW THE SHOP DRAWINGS AND MAKE ANY CORRECTIONS REQUIRED. THE CONTRACTOR SHALL STAMP AND SIGN THE SHOP DRAWINGS PRIOR TO SUBMITTAL TO THE ENGINEER.
- C. THE ENGINEER'S REVIEW OF SHOP DRAWINGS IS FOR GENERAL CONFORMANCE OF THE DESIGN CONCEPT. CONTRACTOR SHALL SUBMIT A SCHEDULE OF SHOP DRAWING SUBMITTALS THAT IS ACCEPTABLE TO BOTH CONTRACTOR AND ENGINEER. AFTER THE CONTRACTOR HAS REVIEWED THE SHOP DRAWINGS, PROMPT REVIEW BY THE ENGINEER WILL BE MADE OF ALL SUBMITTALS.
- D. FOR LARGE SUBMITTALS, REASONABLE REVIEW TIME SHALL BE ALLOWED AND MAY EXCEED TWO WEEKS. THE CONTRACTOR SHALL SUBMIT NECESSARY REQUEST FOR INFORMATION (RFIs) DURING THE DETAILING PROCESS TO AVOID SUBMITTALS THAT ARE INCOMPLETE OR NEED SIGNIFICANT VERIFICATIONS. THE CONCURRENT SUBMITTAL OF MULTIPLE SHOP DRAWINGS (POUNCHED) WILL FURTHER EXTEND THE REVIEW PROCESS AND TIME FRAME NECESSARY TO PROPERLY REVIEW EACH SUBMITTAL.
- E. UNLESS INDICATED OTHERWISE, THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE FOLLOWING ITEMS FOR STRUCTURAL REVIEW. REFER TO SPECIFIC SECTION OF STRUCTURAL NOTES FOR ANY ADDITIONAL CRITERIA:
1. CONCRETE MIX DESIGNS
- F. A COPY OF ALL SHOP DRAWINGS SHALL BE MAINTAINED ON SITE AT ALL TIMES.
- G. SHOP DRAWINGS SHALL INCLUDE COMPLETE DETAIL, SCHEDULES, PROCEDURES, AND DIAGRAMS FOR FABRICATION AND ASSEMBLY OF STRUCTURAL MEMBERS AND SUBMIT PRIOR TO FABRICATION.
- H. ERECTION PLANS ARE THE RESPONSIBILITY OF THE FABRICATOR.

FOOTINGS AND FOUNDATIONS

- A. SOIL BEARING DESIGN VALUE:
1. 1500 PSF (PRESUMED)
 2. BEARING VALUE TO BE VERIFIED IN FIELD BY GEOTECHNICAL ENGINEER.
- B. PROTECT FOUNDATION EXCAVATIONS FROM FROST. DO NOT PLACE CONCRETE ON FROZEN GROUND.
- C. FOUNDATION EXCAVATIONS SHALL BE KEPT FREE OF LOOSE MATERIAL AND STANDING WATER AND SHALL BE CHECKED AND APPROVED BY THE ENGINEER BEFORE THE PLACEMENT OF ANY CONCRETE.
- D. DESIGN FROST PENETRATION DEPTH: 42 INCHES (HEATED) OR 60 INCHES (UNHEATED)
- E. MINIMUM OF 6" COMPACTED GRANULAR SUBGRADE BELOW SLABS.

MATERIAL COMPACTION CRITERIA	
LOCATION	MINIMUM RELATIVE COMPACTION PERCENTAGE (ASTM D698 STANDARD PROCTOR DENSITY (SPD))
1'-0" BELOW FOUNDATION AND SLAB SUBGRADE ELEVATIONS	98%
ABOVE BOTTOM OF FOUNDATIONS AND BELOW SLAB SUBGRADE ELEVATIONS	95%
BELOW EXTERIOR SLAB, WITHIN 1'-0" OF SUBGRADE ELEVATIONS	98%
BELOW EXTERIOR SLAB, MORE THAN 1'-0" BELOW SUBGRADE ELEVATIONS	95%

CONCRETE

- A. CONCRETE SHALL BE STANDARD WEIGHT MIX UNLESS NOTED OTHERWISE AND MEET THE FOLLOWING CRITERIA:
- | LOCATIONS | f_c @ 28 DAYS | AIR ENTRAINMENT | MAX W/C RATIO | COMMENTS |
|--------------------------|-----------------|-----------------|---------------|--------------|
| FOOTINGS | 4000 PSI | | 0.50 | |
| FOUNDATION WALLS / PIERS | 5000 PSI | 6% ± 1.5% | 0.45 | |
| EXTERIOR SLABS ON GRADE | 5000 PSI | 6% ± 1.5% | 0.40 | GRANITE AGG. |
- B. CEMENT SHALL CONFORM TO ASTM C150, TYPE I / II OR ASTM C595 TYPE II.
- C. READY-MIX CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE WITH ASTM C94.
- D. CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301 (LATEST EDITION) "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS," EXCEPT AS MODIFIED BY THESE NOTES.
- E. ADMIXTURES MAY BE USED WITH PRIOR APPROVAL OF THE ENGINEER. ADMIXTURES SHALL COMPLY WITH ASTM C494 AND BE OF A TYPE THAT INCREASES THE WORKABILITY OF THE CONCRETE, BUT SHALL NOT BE CONSIDERED TO REDUCE THE SPECIFIED MINIMUM CEMENT CONTENT (CALCIUM CHLORIDE SHALL NOT BE USED).
- F. CONTRACTOR SHALL SUBMIT MIX DESIGNS FOR APPROVAL 10 DAYS PRIOR TO FABRICATION AND INSTALLATION. ALL CONCRETE MIXES SHALL BE DESIGNED AND CERTIFIED BY A MATERIALS TESTING COMPANY.
- G. PROJECTING CORNERS OF SLABS, BEAMS, WALLS, COLUMNS, ETC. SHALL BE FORMED WITH A 3/4" CHAMFER UNLESS DETAILED OR NOTED OTHERWISE.
- H. PLACE VAPOR RETARDER OR VAPOR BARRIER DIRECTLY BELOW FLOOR SLAB.
- I. CONCRETE FLOOR SHALL BE CURED IN ACCORDANCE WITH ASTM C309. CONCRETE FLOOR SHALL BE PROTECTED FROM MOISTURE LOSS FOR A MINIMUM OF 14 DAYS, USING AN APPROVED SHEET MEMBRANE IN ACCORDANCE WITH C171.
- J. FLOOR FLATNESS AND LEVELNESS TOLERANCES:
1. UNLESS NOTED OTHERWISE, FLOORS SHALL CONFORM TO THE FOLLOWING SURFACE PROFILE TOLERANCES:
 - a. FLOOR FLATNESS NUMBER (F) = 20
 - MINIMUM LOCAL VALUE = 15
 - b. FLOOR LEVELNESS NUMBER (FL) = 20
 - SPECIFIED OVERALL VALUE = 20
 - MINIMUM LOCAL VALUE = 15
 2. FLOOR TOLERANCE (F) AND (FL) MEASUREMENTS SHALL BE TESTED IN ACCORDANCE WITH ASTM E 1155, ACTUAL OVERALL F-NUMBERS SHALL BE CALCULATED USING THE INFERIOR / SUPERIOR AREA METHOD.
 3. CORRECT DEFECTIVE SLABS BY GRINDING OR REMOVING AND REPLACING DEFECTIVE WORK. RE-MEASURE CORRECTED AREAS BY THE SAME PROCESS.

ANCHOR BOLTS

- A. ALL ANCHOR RODS SHALL BE SUPPLIED AND INSTALLED BY THE CONCRETE CONTRACTOR, UNLESS NOTED OTHERWISE.
- B. ALL ANCHOR RODS SHALL BE ASTM F1554 GRADE 36 HEX HEAD, UNLESS NOTED OTHERWISE. NUTS SHALL BE ASTM A563 GRADE A HEAVY HEX. OVER-SIZED PLATE WASHERS SHALL BE ASTM A36.
- C. ALL ANCHOR RODS SHALL BE SET WITH TEMPLATES.
- D. POST-INSTALLED ANCHORS SHALL BE ADHESIVE ANCHORING SYSTEM PROVIDED AND INSTALLED BY TRAINING CONTRACTOR. ADHESIVE ANCHORS SHALL BE "HIT-IT-HIT-IT" 200 ADHESIVE ANCHOR SYSTEM OR APPROVED ALTERNATE. ANCHORS SHALL BE "HIT-IT" HAS "E" TREADED ROD CONFORMING TO ISO 8881 CLASS 1.8 OR SHALL BE MADE FROM ALL-THEADED ROD CONFORMING TO ASTM A575 GRADE 60, OR APPROVED ALTERNATE, UNLESS NOTED OTHERWISE.

REINFORCING STEEL

- A. BAR REINFORCEMENT SHALL BE ASTM A615, GRADE 60.
- B. MINIMUM DEVELOPMENT LENGTH OF REINFORCING BARS SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE
- | MINIMUM LENGTH FOR STANDARD UNCOATED BARS IN NORMAL WEIGHT CONCRETE | |
|---|---------------------------|
| DEVELOPMENT LENGTH (l_d) FOR STRAIGHT BARS (MIN. OF 12 INCHES) | FOR 90 DEGREE HOOKED BARS |
| TENSION CLASS A | TENSION CLASS B |
| #5 AND SMALLER | #7 TO #11 |
| #16, #18, & #21 AND SMALLER | |
| 3000 | 44 Db |
| 3500 | 41 Db |
| 4000 | 38 Db |
| 4500 | 36 Db |
| 5000 | 34 Db |
- NOTE: Db = DIAMETER OF REINFORCEMENT; l_d = DEVELOPMENT LENGTH
- C. TYPICAL SPACING: CLASS B AS DEFINED IN ACI 318, UNLESS NOTED OTHERWISE
- D. ADJUSTMENT FACTORS FOR STRAIGHT BARS IN TENSION
1. LIGHTWEIGHT CONCRETE = 1.3
 2. EPOXY COATED = 1.2
 3. EPOXY COATED WITH COVER LESS THAN 30B OR CLEAR SPACING LESS THAN 6 Db = 1.5
 4. HORIZONTAL "TOP" BARS WITH 12" OF CONCRETE CAST BELOW = 1.3
 5. EPOXY COATED HORIZONTAL "TOP" BARS WITH 12" OF CONCRETE CAST BELOW = NOT GREATER THAN 1.7
- E. ADJUSTMENT FACTORS FOR STRAIGHT HOOKS IN TENSION
1. LIGHTWEIGHT CONCRETE = 1.3
 2. EPOXY COATED = 1.2
- F. REINFORCING STEEL SHALL BE PROVIDED WITH THE FOLLOWING AMOUNTS OF COVER FOR CAST-IN-PLACE CONCRETE UNLESS NOTED OTHERWISE:
- | MINIMUM CLEAR CONCRETE COVER FOR REINFORCING STEEL | |
|---|----------|
| CONCRETE ON SOIL (DIRECT CONTACT) | CENTERED |
| SLAB ON GRADE | 2" |
| #6 TO #14 REBAR | 2" |
| #5 AND SMALLER REBAR | 1 1/2" |
| WALLS, STRUCTURAL SLABS EXPOSED TO SOIL OR WEATHER | 3 1/2" |
| WALLS, STRUCTURAL SLABS NOT EXPOSED TO EARTH OR WEATHER | 3 1/2" |
| COLUMNS AND PIERS COVER TO STIRRUPS AND TIES | 1 1/2" |
- G. ALL REINFORCING STEEL, ANCHOR BOLTS, DOWELS, AND INSERTS SHALL BE SECURED IN POSITION WITH WIRE POSITIONERS, OR EQUAL, BEFORE PLACING CONCRETE OR GROUT.
- H. DOWELS BETWEEN FOOTINGS AND WALLS SHALL BE THE SAME GRADE, SIZE, AND SPACING AS VERTICAL WALL REINFORCING.
- I. CONTRACTOR SHALL SUBMIT REINFORCING STEEL SHOP DRAWINGS FOR APPROVAL A MINIMUM OF 10 DAYS PRIOR TO FABRICATION AND INSTALLATION.
- J. BARS TO BE WELDED SHALL BE ASTM A706, GRADE 60. WELDING OF REINFORCING BARS SHALL CONFORM TO AWS D1.4.

SPECIAL INSPECTIONS

1. SPECIAL INSPECTION PROGRAM SHALL CONFORM TO CHAPTER 17 OF THE IBC.
2. THE OWNER SHALL EMPLOY A SPECIAL INSPECTOR TO PERFORM THE REQUIRED TESTS AND SPECIAL INSPECTIONS WITH QUALIFICATIONS DESCRIBED PER IBC CHAPTER 17 AND THE PROJECT SPECIFICATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING INSPECTIONS AND TESTS. SUFFICIENT NOTICE AND LEAD TIME MUST BE ALLOWED FOR THE INSPECTION AND TESTING TO BE PERFORMED WITHOUT IMPEDING CONSTRUCTION OPERATIONS.
4. SPECIAL INSPECTION REPORTS SHALL BE FURNISHED TO BUILDING OFFICIAL, OWNER, ARCHITECT, STRUCTURAL ENGINEER, AND CONTRACTOR.
5. WHEN DEFICIENCIES ARE IDENTIFIED, THE CONTRACTOR MUST TAKE CORRECTIVE ACTIONS TO COMPLY WITH THE CONTRACT DOCUMENTS OR REMEDY THE DEFICIENCIES AS DIRECTED BY THE REGISTERED DESIGN PROFESSIONAL.
6. THE SPECIAL INSPECTION AND QUALITY ASSURANCE PROGRAM DOES NOT RELIEVE THE CONTRACTOR OF HIS OR HER RESPONSIBILITY TO PERFORM QUALITY CONTROL.
7. THE CONTRACTOR IS RESPONSIBLE FOR TESTING SERVICES THAT ARE REQUIRED FOR MATERIAL SUBMITTALS AND THAT ARE NOT PART OF THE SPECIAL INSPECTION PROGRAM (E.G. AGGREGATE TESTS, CONCRETE MIX DESIGNS, TESTING OF CONTROLLED FILL MATERIALS, ETC.).
8. SPECIAL INSPECTOR SHALL SUBMIT A FINAL REPORT STATING THAT THE STRUCTURAL WORK WAS, TO THE BEST OF THE SPECIAL INSPECTOR'S KNOWLEDGE, PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.

CAST-IN-PLACE CONCRETE (IBC 1705.3)

SPECIAL INSPECTION TYPE	FREQUENCY
INSPECT REINFORCEMENT, INCLUDING PRESTRESSING TENDONS, AND VERIFY PLACEMENT.	PERIODIC
REINFORCING BAR WELDING:	
VERIFY WELDABILITY OF REINFORCING BARS OTHER THAN ASTM A706.	PERIODIC
INSPECT SINGLE-PASS FILET WELDS, MAXIMUM 5/16".	PERIODIC
INSPECT ALL OTHER WELDS.	CONTINUOUS
INSPECT ANCHORS CAST IN CONCRETE.	PERIODIC
INSPECT ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERS.	CONTINUOUS
ADHESIVE ANCHORS INSTALLED IN HORIZONTALLY OR UPWARDLY INCLINED ORIENTATIONS TO RESIST SUSTAINED TENSION LOADS.	PERIODIC
MECHANICAL ANCHORS AND ADHESIVE ANCHORS NOT DEFINED ABOVE.	PERIODIC
VERIFY USE OF REQUIRED DESIGN MIX.	PERIODIC
INSPECT CONCRETE AND SHOTCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES.	CONTINUOUS
VERIFY MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.	PERIODIC
INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED.	PERIODIC
FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.	CONTINUOUS AT TIME OF TESTING
SAMPLE FOR STRENGTH TESTS OF EACH CLASS OF CONCRETE PLACED EACH DAY SHALL BE TAKEN NOT LESS THAN ONCE A DAY, NOR LESS THAN ONCE FOR EACH 150 CUBIC YARDS OF CONCRETE, NOR LESS THAN ONCE FOR EACH 5,000 SQUARE FEET OF SURFACE AREA FOR SLABS OR WALLS. A MINIMUM OF FIVE STRENGTH TESTS SHOULD BE MADE FOR A GIVEN PROJECT.	

SOILS (IBC 1705.6)

SPECIAL INSPECTION TYPE	FREQUENCY
VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.	PERIODIC
VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	PERIODIC
PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS.	PERIODIC
VERIFY USE OF PROPER MATERIALS, DENSITIES, AND LIFT THICKNESS DURING PLACEMENT AND COMPACTION OF COMPACTED FILL.	CONTINUOUS
PRIOR TO PLACEMENT OF COMPACTED FILL, INSPECT SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.	PERIODIC

FOOTING SCHEDULE					
MARK	LENGTH	WIDTH	THICKNESS	REINFORCEMENT	COMMENTS
FB	6'-0"	6'-0"	6'-0"	(6) #6 BOTTOM BARS, EW	
FF	7'-0"	7'-0"	7'-0"	(7) #6 BOTTOM BARS, EW	
WFS	3'-0"	3'-0"	3'-0"	(3) #6 BARS CONTINUOUS IN BARS @ 16" cc TRANSVERSE	

FOUNDATION WALL SCHEDULE			
MARK	WIDTH	REINFORCEMENT	COMMENTS
FDN1	0'-8"	#4 BARS @ 12" c/cw	

PIER AND PILASTER SCHEDULE					
MARK	LENGTH	WIDTH	DIAMETER	REINFORCEMENT	COMMENTS
P1	2'-8"	2'-0"	2'-0"	(10) #6 VERTICAL BARS; #4 TIES @ 12" cc W/ (2) #4 TIES IN UPPER 5'	



THESEY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

BRANDON WILAND

DATE: 03/06/2026 LIC. NO. 53688

THESEY CERTIFY THAT THIS PLAN, SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: _____ LIC. NO. _____

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PROJECT

**ROSENBAUER
TILT TABLE**

WYOMING MINNESOTA

REVISION SCHEDULE		
DATE	DESCRIPTION	BY

PROJECT NO. 25-33445

FILE NAME 33445 STRUCT 24

DRAWN BY NDE / BOV

DESIGNED BY NDE

REVIEWED BY BOV

ORIGINAL ISSUE DATE: 03/06/2026

CLIENT PROJECT NO.

TITLE

**STRUCTURAL
NOTES & SPECIAL
INSPECTIONS**

SHEET

S1-00

ROSENBAUER COLD STORAGE

5201 Fallbrook Ave. Wyoming, MN 55092

PROJECT

ROSENBAUER COLD
STORAGE

REVISIONS

PROJECT ADDRESS

5201 Fallbrook Ave
Wyoming, MN 55092

CUSTOMER INFORMATION

Image Contracting
Brent Johnstone
651-674-5530



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OF THE STATE OF MINNESOTA.

William A. Becklin
William A. Becklin, P.E. License # 18494
Date: December 18, 2025

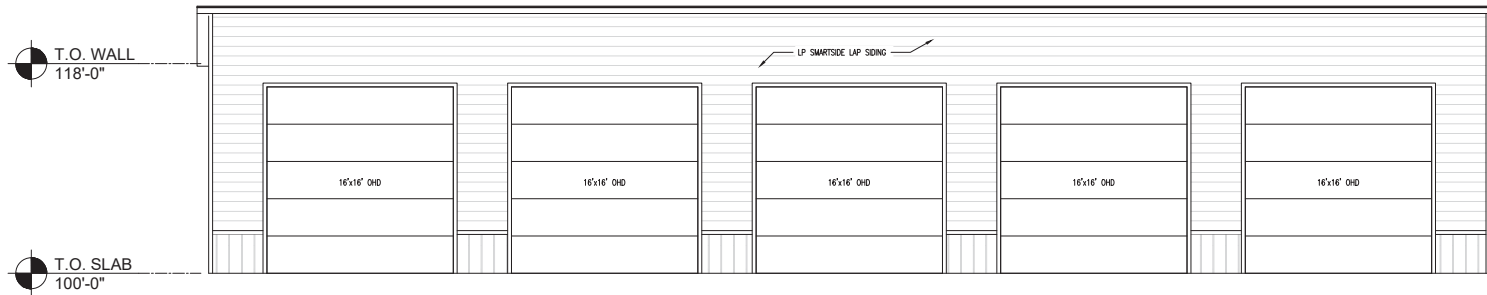
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ELEVATIONS

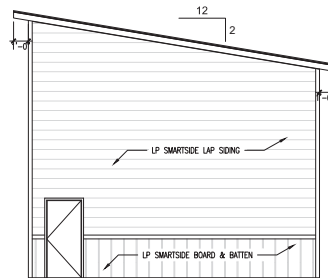
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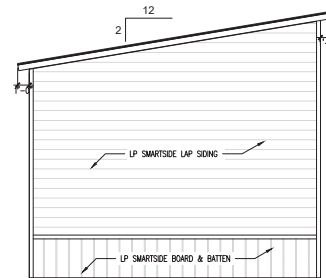
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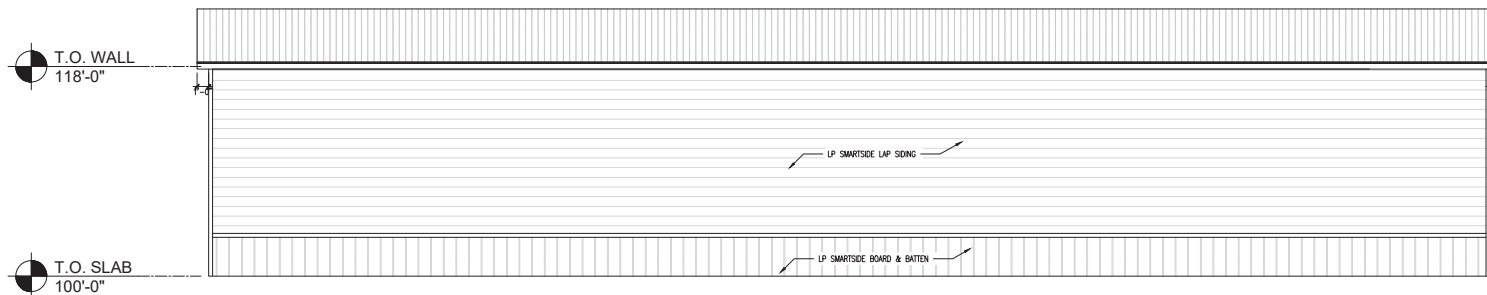
1 FRONT ELEVATION
S1 Scale: 3/16" = 1'-0"



2 RIGHT ELEVATION
S1 Scale: 3/16" = 1'-0"



3 LEFT ELEVATION
S1 Scale: 3/16" = 1'-0"



4 REAR ELEVATION
S1 Scale: 3/16" = 1'-0"

SHEET INDEX	
S1	ELEVATIONS
S2	FOUNDATION & FLOOR PLAN
S3	BUILDING SECTIONS
S4	STRUCTURAL NOTES

PROJECT
ROSENBAUER COLD
STORAGE

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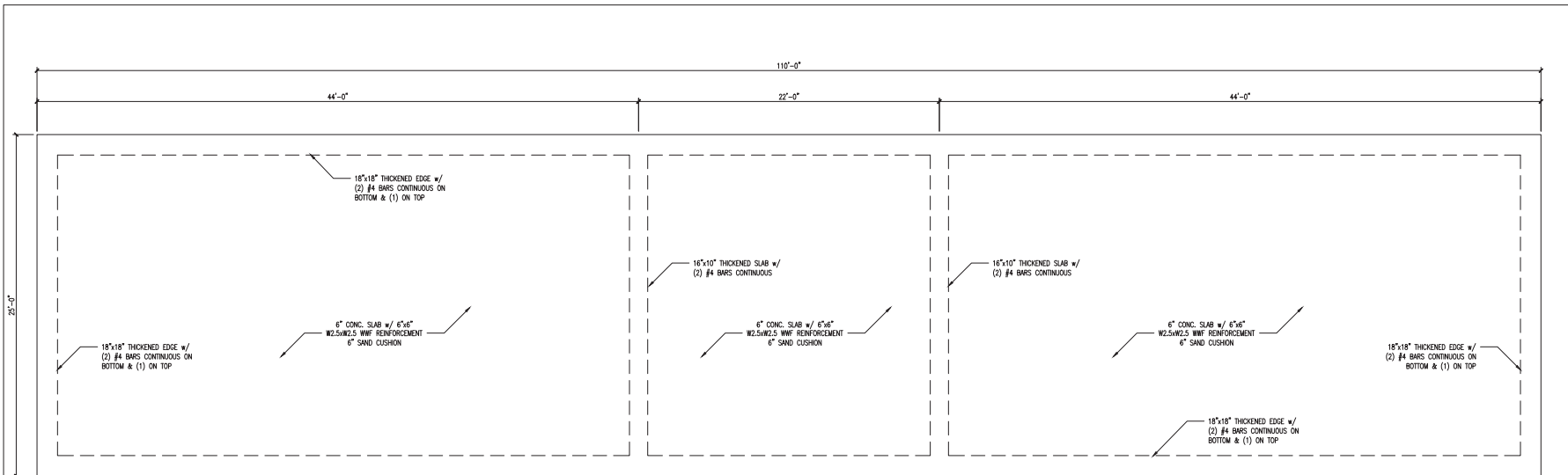
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FLOOR PLAN
FRAMING PLAN

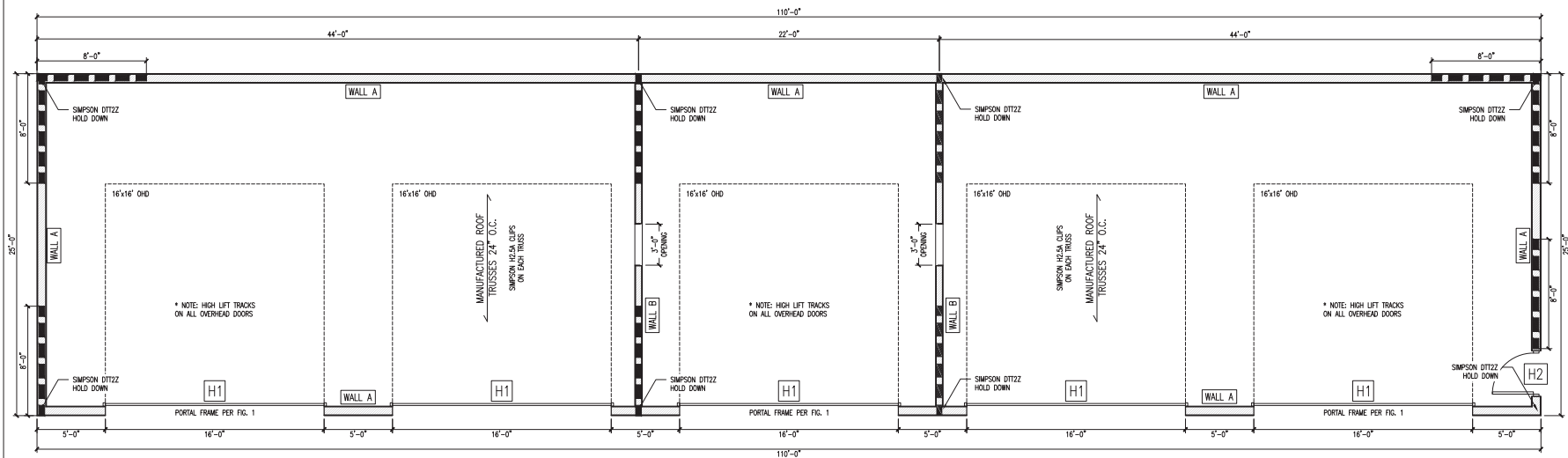
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S2

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1
S2 FOUNDATION PLAN
Scale: 1/4" = 1'-0"

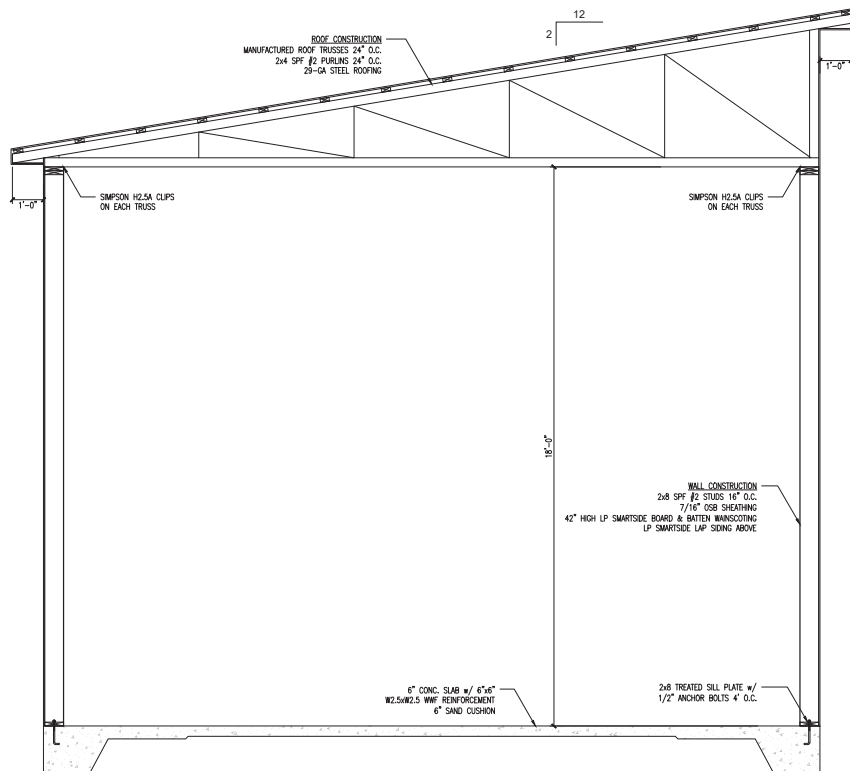


2
S2 FLOOR PLAN
Scale: 1/4" = 1'-0"

WSP: 7/16" OSB sheathing braced
wall panel w/ Bd nails 6" O.C. @
all edges and 12" in the field.

HEADER SCHEDULE		
MARK	HEADER	SUPPORTS
H1	(2) 1.75x14" 1.9E LVL	(2) 2x8 SPF #2 TRIMMER & (3) KINGS EACH SIDE
H2	(2) 2x10 SPF #2	(1) 2x8 SPF #2 TRIMMER & (1) KING EACH SIDE

WALL FRAMING SCHEDULE		
MARK	STUDS	ANCHORS
WALL A	2x8 SPF #2 STUDS 16" O.C.	2x8 TREATED SILL PLATE w/ 1/2" ANCHOR BOLTS 4' O.C.
WALL B	2x6 SPF #2 STUDS 16" O.C.	2x6 TREATED SILL PLATE w/ 1/2" ANCHOR BOLTS 4' O.C.



BUILDING SECTION
S3 Scale: 1/2" = 1'-0"

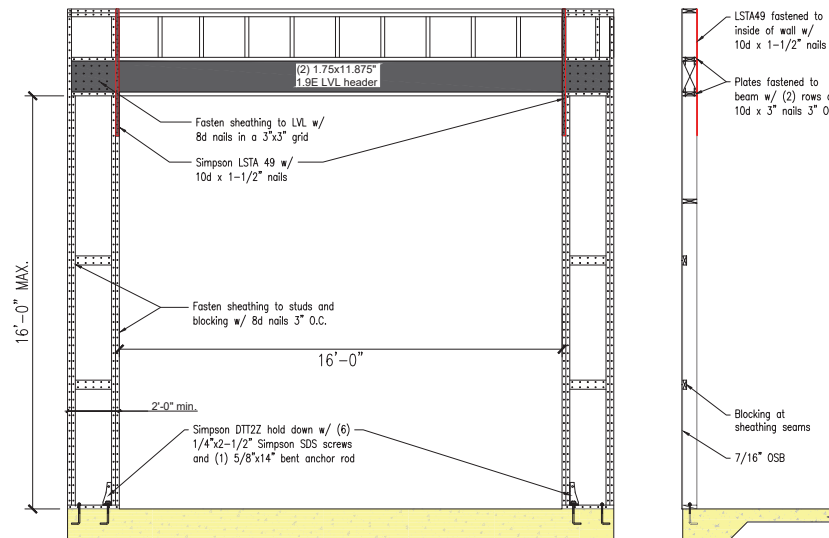
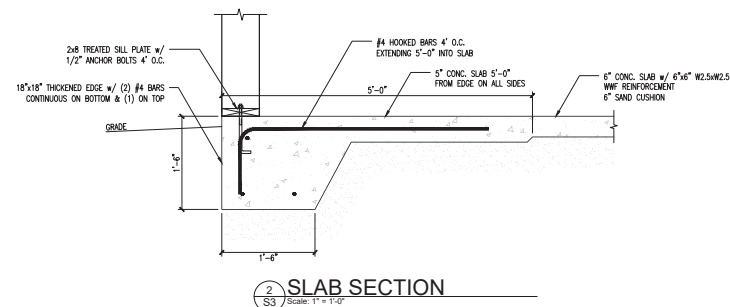


Figure 1: Modified Portal Frame

Section



SLAB SECTION
S3 Scale: 1" = 1'-0"

PROJECT

ROSENBAUER COLD
STORAGE

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William A. Becklin
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Date: December 18, 2025

SHEET NAME

BUILDING SECTIONS

SHEET NUMBER

S3

Page Size: 22 x 34

of 01

DESIGN CODES USED FOR DESIGN
a. 2020 Minnesota State Building Code, 2018 International Building Code.

2. FOUNDATION
a. All foundations shall bear on natural undisturbed soil or on compacted fill. All footings are designed using a soil bearing capacity of 2,000 PSF. Recommendations for cut-ting soils in the footing areas referred to in the soil reports mentioned shall be strictly followed.
b. If at the bottom of the footings as detailed is of questionable bearing value, the Architect's or Engineer's office shall be notified at once.
c. Wall footing elevation changes shall be stepped at a ratio of 1 (vertical) to 2 (horizontal). The maximum vertical step shall be 1'-4" unless otherwise noted.
d. All exterior wall footings shall have minimum soil cover of 3'-8" measured from the bottom of footing unless otherwise noted.
e. See soil report for anticipated settlement values. The Structural Engineer shall verify that the settlement criteria will not be detrimental to the building and its operations.

3. DESIGN LOADS
a. Live Loads
Residential Areas *40 PSF
**35 PSF
c. Wind Loads ***115 MPH
d. Dead Loads Material Self Weight

- plus 50 PLF Partition Loads
- ** plus drifting snow and unbalanced loads
- ***2 second gust, Exposure C

4. Design Structures
a. Concrete
28 day strength Type Mix Location
3500 psi Std. Weight Interior slabs & walls
4000 psi Std. Weight Exterior slabs & walls
Air Entrained
3000 psi Std. Weight Footings
3000 psi Std. Weight Interior Topping
fin = 1,500 psi
b. Masonry
Reinforcement Fy = 60 kpsi ASTM A615
c. Structural Steel Fy = 36 kpsi ASTM A36
d. Structural Tubing Fy = 46 kpsi ASTM A500, Grade B
e. Std. Steel Pipe Fy = 36 kpsi ASTM A53, Grade B
f. g. Plates Fy = 36 kpsi ASTM A36
h. Bolts Fy = 120 kpsi ASTM A325
i. Anchor Bolts Fy = 60 kpsi ASTM A307
j. Weld Electrode Fy = 70 kpsi
k. Welded Wire Fabric ASTM A185

5. CONCRETE COVERAGE FOR REINFORCEMENT
Footings 3"
Exterior Concrete 2"
Slab on Grade Center of Slab
Poured Walls Center of Wall

6. MASONRY COVERAGE FOR REINFORCEMENT
Walls Centerline (unless otherwise noted)
Pilasters 3" to ties

7. REINFORCING STEEL
a. The reinforcing steel contractor shall fabricate all reinforcement and furnish all accessories, chairs, spacer bars and supports necessary to secure the reinforcement unless shown otherwise on plans and details.
b. Concrete reinforcement shall be placed according to the CRSI "Recommended Practices for Placing Reinforcing Steel in Concrete".
c. Compression and tension lap splices for cast-in-place concrete shall be 36 bar diameters minimum unless noted otherwise.
d. Tension lap splices for reinforced masonry shall be 40 bar diameters minimum, unless noted otherwise.
e. Horizontal reinforcing steel in footings and concrete walls shall be continuous around corners.
f. Bars in WRF shall be one mesh plus two inches (g) splices.
g. Provide two #5 reinforcing bars on each side around openings in concrete walls and slabs. Bars shall extend "24" beyond the corners of the openings. Also provide two #5 diagonal bars @ each corner of the opening.
h. Reinforcing bars shall not be welded without the approval of the structural engineer. Field welding of reinforcing steel shall be performed by welders specifically certified for reinforcing steel. Prior to welding the "carbon equivalent" (CE) of steel shall be determined. Reinforcing steel whose "CE" cannot be identified or whose "CE" exceeds 0.75% shall not be welded. Criteria for reinforcing steel conforming to ASTM A-706, reinforcing steel shall be preheated a shown in table I WGA 3-7.7. In addition, steel with a "CE" between 0.66% and 0.75% shall be welded only when prior qualification tests verify acceptable weldability.

8. PRE-ENGINEERED WOOD TRUSSES
a. All lumber for wood trusses shall be in accordance with manufacturers written recommendations.
b. Wood trusses shall have bridging and bracing in accordance with manufacturers requirements.
c. Wood trusses shall be designed for a top chord live load as noted under Design Live Loads plus snow load, drifting, and unbalanced loads as per building code requirements. Minimum top chord and bottom chord dead loads shall be 10 psf.
d. Live load deflection limitation for roof trusses shall be less than L/240.
e. Submit complete shop drawings for approval showing the erection plan, all bearing conditions and connections. Calculations certified by a Minnesota Licensed Engineer will be required for all wood trusses, connections and bearing attachments. Submit shop drawings to the Building Official.
f. Wood truss supplier shall detail end bearings of trusses so as not to exceed perpendicular to grain loading of wood plates that support the trusses.

ROSENBAUER COLD
STORAGE

PROJECT ADDRESS

5201 Fallbrook Ave
Wyoming, MN 55092

CUSTOMER INFORMATION

Image Contracting
Brent Johnstone
651-674-5530



DRAWN BY: TL

Becklin & Whitney
Consulting Engineers, Inc.
523 Main St. N Suite 1
Cambridge, MN 55008
Ph: 763-689-5631
office.becklinwhitney@gmail.com

I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION, OR REPORT WAS PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MINNESOTA.

William A. Becklin, P.E. License # 18494
Date: December 18, 2025

SHEET NAME

STRUCTURAL NOTES

SHEET NUMBER

S I

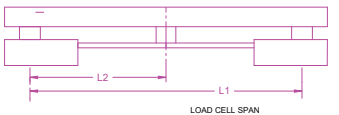
Page Size: 22 x 34 of 01

IMPORTANT! IF YOUR SCALE IS EQUIPPED WITH SIDE RAILS, THE RAILS WILL PROVIDE A VISUAL INDICATION OF THE EDGE OF THE SCALE AND GIVE A SENSATION OF CONTACT IF ACCIDENTALLY CONTACTED, BUT ARE NOT EQUIVALENT TO MSHA APPROVED GUARD RAILS.

IMPORTANT! IF YOUR SCALE IS EQUIPPED WITH ACCESS WAYS, SUCH AS MANHOLES, IT IS THE USER'S RESPONSIBILITY TO PROVIDE PROPER PROTECTION, SUCH AS BARRIERS DURING THE TIME THEY ARE OPEN OR REMOVED.

REVISION RECORD				
LT#	DESCRIPTION	DATE	ECO	BY
AA	RELEASED FOR APPROVAL	3/17/2024	-	CEJ

- NOTES:
- CAUTION: DO NOT WELD ON SCALE WHILE THE LOAD CELLS ARE IN PLACE. REFER TO DRAWING 3502-0671-GS FOR PROPER ELECTRICAL GROUNDING SPECIFICATIONS.
 - THE WEIGHBRIDGE IS SUPPLIED IN ONE MODULE. REFER TO THE CALCULATED WEIGHTS GIVEN IN THE BILL OF MATERIAL TO AID IN DETERMINING THE LIFT CAPACITY REQUIREMENT. WEIGHTS SHOWN DO NOT INCLUDE DECK CONCRETE.
 - PLACE SCALE MODULES WITH PRE-INSTALLED LOAD CELL STANDS ON FOUNDATION AS SHOWN. **DO NOT REMOVE SHIPPING ASSY.** SEE NOTE 10.
 - THE WEIGHT INDICATOR IS SHOWN ON A SEPARATE DRAWING.
 - SAFETY BARRIERS ARE A USER/OWNER RESPONSIBILITY TO PREVENT VEHICLES FROM RUNNING OFF THE SIDES OF THE SCALE. FOR THE SAFETY OF THE VEHICLES USING THE SCALE, SIDE RAILS AND/OR PROTECTIVE POSTS ARE AVAILABLE AS OPTIONAL EQUIPMENT.
 - SHIM BETWEEN THE LOAD CELL BLOCK AND THE HARDENED PLATE AS NECESSARY TO OBTAIN A PROPER DEAD LOAD.
 - CARDINAL SCALE MFG. CO. RECOMMENDS THAT THE CUSTOMER INSTALL PROTECTIVE CONDUIT/COVER FOR THE LOAD CELL CABLES WHENEVER THE CONDITION IS PRESENT THAT CAN RESULT IN DAMAGE OR ABRASION TO THE LOAD CELL CABLES.
 - INTERCONNECTS ARE ORDER SPECIFIC. REFER TO THE INFORMATION PACKAGE FOR SPECIFIC INTERCONNECT.
 - DO NOT REMOVE THE SHIPPING ASSEMBLY UNTIL THE LOAD CELL STANDS ARE SECURELY BOLTED TO THE FOUNDATION.**
 - IF LOAD CELL STANDS ARE TALLER THAN 7" THEY WILL BE PLACED IN PACK OUT BOX AND ASSEMBLY WILL BE NEEDED. SEE LOAD CELL STAND AND PARTS DETAIL.
 - CONCRETE IS NOT SUPPLIED BY CARDINAL SCALE MFG. CO.
 - THE SCALE SHOULD NOT BE LOADED FOR 28 DAYS TO ALLOW THE CONCRETE TO CURE ADEQUATELY.
 - CONCRETE SHALL BE A MINIMUM OF 4500 PSI AT 28 DAYS.
 - APPROXIMATELY 3.1 CUBIC YARDS OF CONCRETE IS REQUIRED FOR THE SCALE DECK. CUBIC YARDS OF CONCRETE ARE REQUIRED FOR THE SCALE DECK.
 - REFER TO SPECIFICATION FOR CONCRETE SCALE DECKS FOR CONCRETE PLACEMENT. DEVIATIONS FROM THE SPECIFICATIONS WILL VOID ALL WARRANTIES.
 - NOTE:** SHORE WEIGHBRIDGES AS NEEDED LATERALLY ACROSS WEIGHBRIDGE AT OR NEAR THE MID-SPAN (L/2) PRIOR TO POURING CONCRETE. USE SUFFICIENT SHORING AT OR NEAR MANHOLES TO ASSURE THAT LIDS ARE FLUSH TO SLIGHTLY ABOVE THE SIDES OF SCALE AS MEASURED WITH A STRING PULLED TAUT ACROSS THE SCALE.



MODEL **ARMOR**
NOMINAL CAPACITY 50,000 LBS
CONCENTRATED LOAD CAPACITY 5,000 LBS

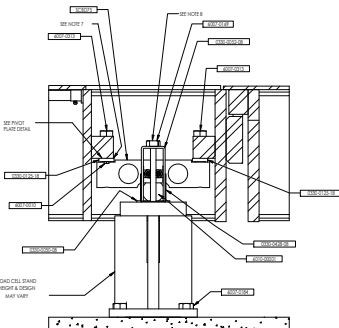
NOMINAL CAPACITY IS THE GROSS CAPACITY AS

ASSIGNED BY THE MANUFACTURER.
CONCENTRATED LOAD CAPACITY (L/C) AS
ASSIGNED BY THE MANUFACTURER, IS THE LOAD
WHICH CAN BE PLACED ANYWHERE
ON THE SCALE PLATFORM IN THE PRESCRIBED
TEST PATTERN.

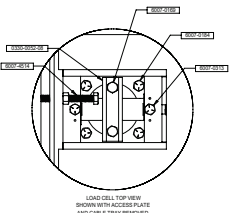
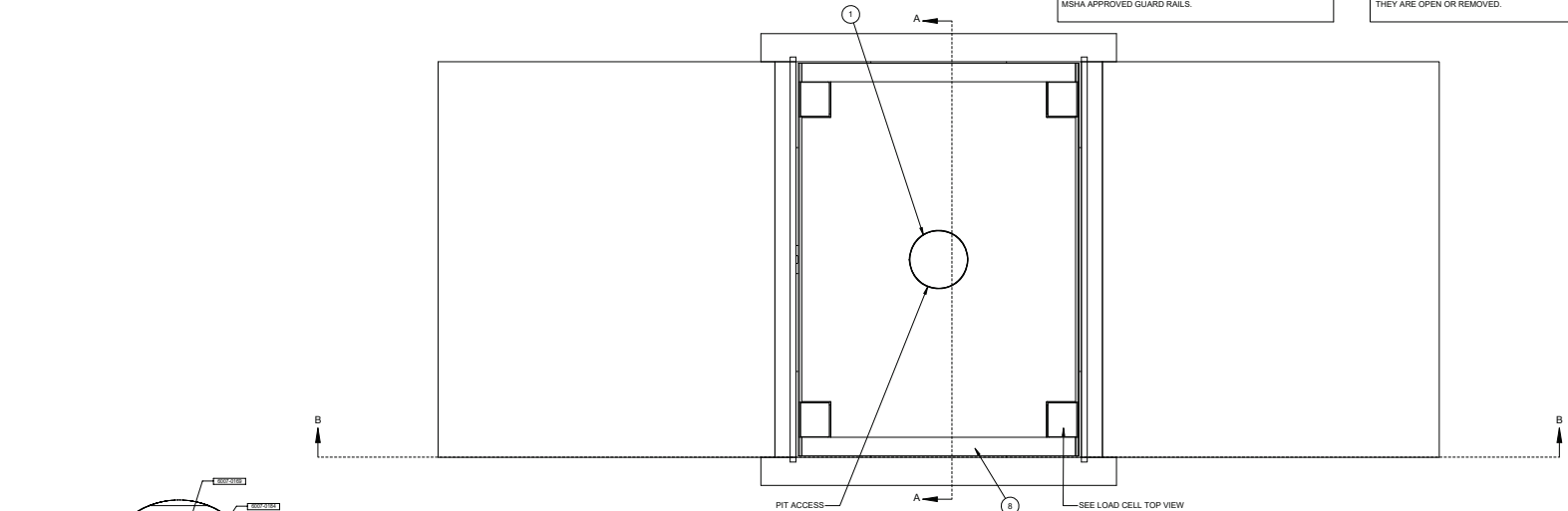
ITEM NO.	QTY	PART NUMBER	DESCRIPTION	WEIGHT
1	1	0104-C291-0A	LD ASSEMBLY	45.1
2	1	0145-8392-1B	DECAL SECTION 1	
3	1	0145-8392-2B	DECAL SECTION 2	0.317
4	2	0145-8393-0B	DECAL "CAUTION DO NOT WELD..."	
5	2	0145-8453-0B	DECAL "REMOVE SHIPPING ASSEMBLY"	0.318
6	4	0330-0148-0B	7 GA. LOAD CELL SHIM	0.0
7	4	0330-0149-0B	10 GA. LOAD CELL SHIM	0.0
8	1	0331-12479-0A	Bridge, 117 X 148, W/10033 CONCRETE DECK END FIT	4275.9
9	1	3502-0475-0A	INTERCONNECT	0.0
10	2	5930-0091-0B	CARDINAL NAME PLATE, 0.063 ALUMINUM	4.1
11	1	4540-2030	PART, RAL 101.5, SPRAY CAN 12 OZ	0.0
TOTAL				4456.4

TOLERANCES ON DIMENSIONS ARE: ANGLES INTERFERENCES DECIMALS (IN) DECIMALS (XX) NOTE: WHOLE NUMBERS MUST BE WRITTEN IN ALL DIMENSIONS TO AVOID DECIMAL TOLERANCES		CARDINAL DIRECTED FULLER WEIGHING SYSTEMS	
THIS DRAWING IS THE PROPERTY OF THE CARDINAL SCALE MFG. CO. AND SHALL NOT BE USED FOR REPRODUCTION EITHER WHOLLY OR IN PART EXCEPT WITH WRITTEN AUTHORIZATION. ALL RIGHTS OF DESIGN OR INVENTION ARE RESERVED.		TITLE Thick Scale, Armor, 120" X 168" (10' 0" X 14' 0"), Concrete, Pt	
SCALE	N.T.S.	0303252045	0303252045
DR.	CEJ	DATE	3/17/2024
CH.		DATE	
ITEM	1003714	DWG. NO.	0331-12478-0A
		SHEET	1 OF 1
		REV.	AA

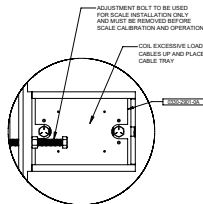
☐ APPROVED AS SHOWN
☐ APPROVED AS NOTED
☐ RESUBMIT
BY _____ DATE _____
RETAIN ONE COPY AND RETURN ONE
COPY TO: CARDINAL SCALE MFG. CO.



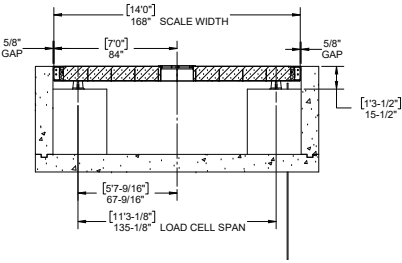
LOAD CELL STAND & PARTS DETAIL
LC STAND WELDMENT (0331-0107-0A)



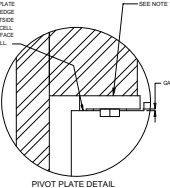
LOAD CELL TOP VIEW
SHOWN WITH ACCESS PLATE
AND CABLE TRAY REMOVED



LOAD CELL TOP VIEW
SHOWN WITH ACCESS PLATE
REMOVED AND CABLE TRAY
INSTALLED



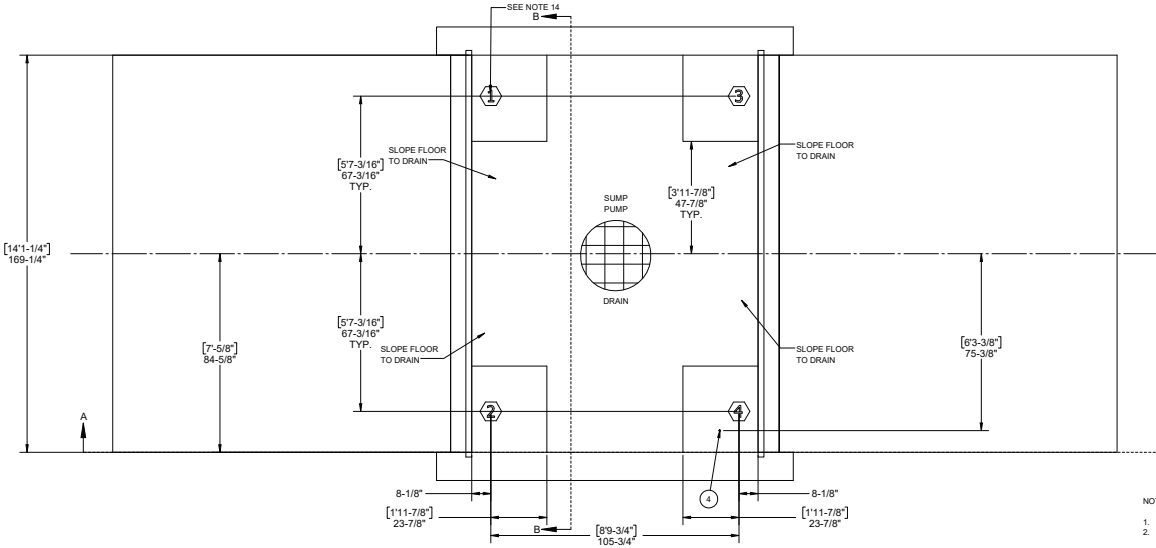
SECTION A-A



PIVOT PLATE DETAIL

PIER LOADINGS AT 50 TON CLC	
LOAD CELL	LOADING
1	55.0 KIPS
2	55.0 KIPS
3	55.0 KIPS
4	55.0 KIPS

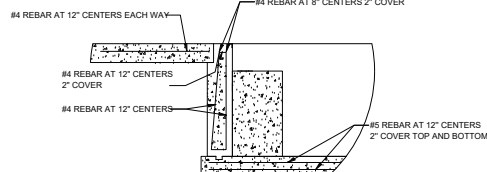
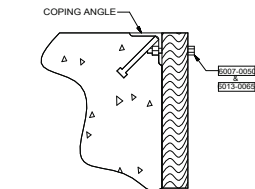
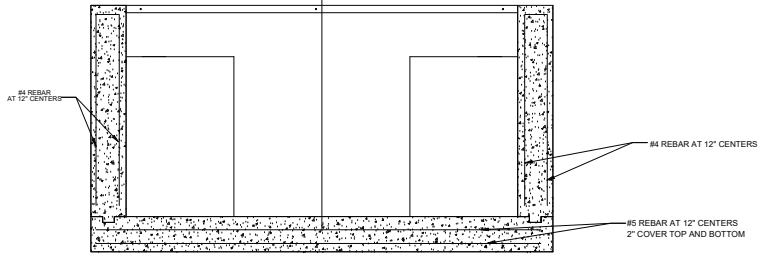
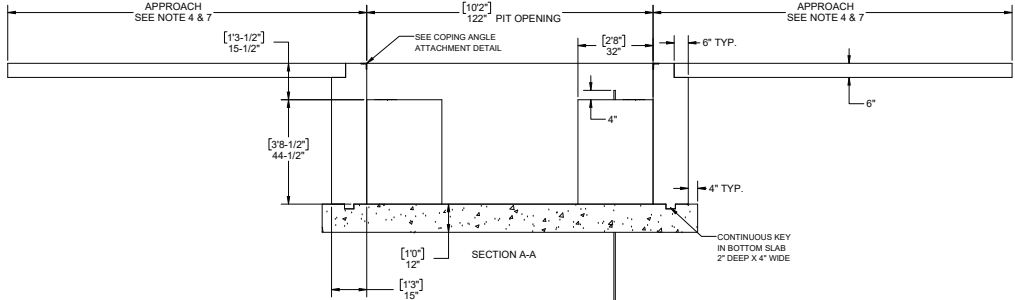
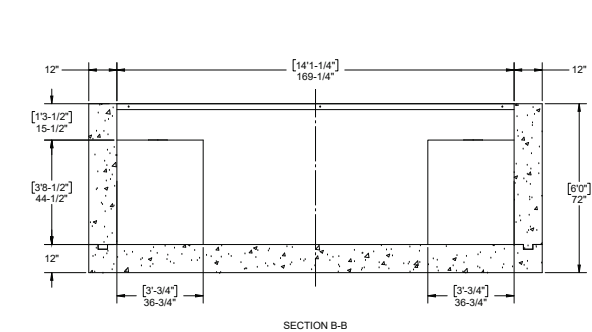
REVISION RECORD					
LT#	DESCRIPTION	DATE	ECO	BY	
AA	RELEASED FOR APPROVAL	3/18/2026		CEJ	



- ☐ APPROVED AS SHOWN
- ☐ APPROVED AS NOTED
- ☐ RESUBMIT

BY _____ DATE _____
 RETAIN ONE COPY AND RETURN ONE
 COPY TO: CARDINAL SCALE MFG. CO.

- NOTES:
- ITEMS 1 THROUGH 4 ARE FURNISHED BY CARDINAL SCALE MFG. CO. AS NOTED. THE SCALE FOUNDATION AS SHOWN IS SUFFICIENT FOR FIRM SOIL AND GOOD CONCRETE. THE MINIMUM SOIL BEARING SHALL BE 3,000 POUNDS PER SQUARE FOOT AND THE MINIMUM CONCRETE STRENGTH SHALL BE 3,000 POUNDS PER SQUARE INCH AT 28 DAYS. FOR UNUSUAL SOIL CONDITIONS OR DEEP FROST PENETRATION, ALTER THE FOUNDATION AS REQUIRED. THE FOOTING SHALL BE BELOW THE FROST LINE. REBAR TO SUIT LOCAL SOIL CONDITIONS.
 - CARDINAL SCALE MFG. SHALL NOT BE RESPONSIBLE FOR THE STABILITY OF THE FOUNDATION.
 - THE FOUNDATION CONTRACTOR SHALL CONTACT THE STATE WEIGHT AND MEASURES DIVISION FOR STATE FOUNDATION REQUIREMENTS.
 - WORK FROM THE CENTER LINES WHEN ERECTING FORMS AND SETTING BOLTS. ON THE APPROACH END OR ENDS OF A VEHICLE SCALE INSTALLED IN ANY ONE LOCATION FOR A PERIOD OF SIX MONTHS OR MORE, THERE SHALL BE A STRAIGHT APPROACH AS FOLLOWS:
 - AT LEAST THE WIDTH OF THE PLATFORM AND
 - AT LEAST ONE-HALF THE LENGTH OF THE PLATFORM BUT NOT REQUIRED TO BE MORE THAN 40 FEET; AND
 - NOT LESS THAN 10 FEET OF ANY APPROACH ADJACENT TO THE PLATFORM SHALL BE CONSTRUCTED OF CONCRETE OR SIMILAR DURABLE MATERIAL TO INSURE THAT THIS PORTION REMAINS SMOOTH AND LEVEL AND IN THE SAME PLANE AS THE PLATFORM. HOWEVER, GRATING OF SUFFICIENT STRENGTH TO WITHSTAND ALL LOADS MAY BE INSTALLED IN THIS PORTION; AND FURTHER WHERE DEEMED NECESSARY FOR DRAINAGE PURPOSES, THE REMAINING PORTION OF THE APPROACH MAY SLOPE SLIGHTLY.
 - CONCRETE REQUIRED FOR SCALE FOUNDATION AS SHOWN:
 EXCAVATION: 407.8 CU YARDS
 CONCRETE: 134.8 CU YARDS
 APPROACHES (15' 0" EACH END): 12.2 CU YARDS EXCAVATION; 12.2 CU YARDS CONCRETE
 - TRANSMISSION CABLE FROM LOAD CELL TO INDICATOR SHALL BE IN 1" MINIMUM SIZE CONDUIT AT LEAST 24" FROM THE CLOSEST ELECTRICAL LINE. THEY MAY CROSS AT 90° ONLY.
 - CAUTION:** DO NOT WELD ON THE STRUCTURE WHILE THE LOAD CELLS ARE IN THE SYSTEM. REFER TO DRAWING 3502-0671-GS FOR PROPER ELECTRICAL GROUNDING SPECIFICATIONS.
 - REINFORCING ROD AND WELDED WIRE MESH ARE NOT FURNISHED BY CARDINAL SCALE MFG. CO. THE REBAR SHALL CONFORM TO ASTM-A-185.
 - TOP OF PIERS ARE TO BE SMOOTH AND LEVEL WITHIN ±1/8" (ALL PIERS ARE TO BE WITHIN 1/4").
 - IT IS RECOMMENDED THAT A DRAIN OR SUMP PUMP BE PROVIDED IN THE SCALE PIT. THE LOCATION OF THIS ITEM SHOULD BE IN CLOSE PROXIMITY TO THE PIT (ENTRANCES).
 - DO NOT PLACE REBAR IN LOAD CELL CHECK STAND AREA APPROX. 6in IN DIAMETER WITH A MINIMUM OF 9in DEEP TO CLEAR STAND ANCHORS.



ITEM NO.	QTY.	PART NUMBER	DESCRIPTION
1	2	0331-7181-0A	COPING ANGLE, END PIT 14' 5-1/4"
2	6	6007-0050	BLT HEX HD 3/8-16x1 1/2" TAP BOLT G2 Z/P
3	6	6013-0005	NUT 3/8-16 HEX Z/P
4	1	6980-0054	GROUND ROD 625" DIA X 16 FT.

TOLERANCES ON DIMENSIONS ARE:
 ANGLES ± 1/2°
 FINISH SURFACES ± 1/16 IN.
 DECIMALS (.X) ± .03 IN.
 DECIMALS (.XX) ± .01 IN.
 DECIMALS (.XXX) ± .005 IN.
 NOTE: WHOLE NUMBERS MUST BE WRITTEN XXXX00 TO INVOLVE DECIMAL TOLERANCES.

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CARDINAL
 CARDINAL
 DETROIT
 4821-4447

TITLE
 PIT FOUNDATION PLAN (120 X 148; 50 TON CLC)

SCALE	N.T.S.	3/18/2026	DATE	3/18/2026	REV.	AA
DR.	CEJ	DATE	3/18/2026	MODEL	N/A	
CH.		DATE		D	SHEET 1 OF 1	
ITEM		DWG. NO.	0331-12482-0A	REV.	AA	

RESOLUTION NO. 26-6-59

**RESOLUTION APPROVING A SITE PLAN REVIEW APPLICATION TO CONSTRUCT A
COLD STORAGE BUILDING WITH A TILT TABLE AND SCALE**

AT

5201 260th STREET

PROPERTY ID NUMBER: 21.00468.32

WHEREAS, the City of Wyoming is a political subdivision, organized and existing under the laws of the State of Minnesota; and,

WHEREAS, the City Council of the City of Wyoming has adopted zoning and subdivision regulations, per Ordinances 2009-4 and 2010-08, including subsequent amendments, to promote the orderly, economic and safe development and utilization of land within the City; and,

WHEREAS, Emily Nepp of ISG, on behalf of Rosenbauer Minnesota LLC has requested Site Plan Review approval to construct a cold storage building with a tilt table and scale on property legally described as:

Outlot B, Hallberg's Wyoming Industrial Park

WHEREAS, on May 26, 2026 the Planning Commission held a public meeting in accordance with the Ordinance and laws of the State of Minnesota; and,

WHEREAS, the City Council and Planning Commission have reviewed the Site Plan Review application, as submitted, and have made the following findings of fact:

1. The Site Plan is consistent with the various elements and objectives of the City's long range plans, including, but not limited to, the Comprehensive Plan;
2. The Site Plan is consistent with the purposes of this Code;
3. The Site Plan preserves the site in its natural state, insofar as practicable, by minimizing tree and soil removal, and designing any grade changes so as to be in keeping with the general appearance of neighboring developed or developing areas;
4. The Site Plan is has a harmonious relationship of buildings and open spaces with the terrain and with existing and future buildings having a visual relationship to the proposed development;
5. The Site Plan creates a functional and harmonious design for structures and site features including;
 - a. Creation of an internal sense of order for the various functions and buildings on the site and provision of a desirable environment for occupants, visitors and the general community;
 - b. Appropriateness of the amount and arrangement of open space and landscaping to the design and function of the development;
 - c. Appropriateness of the materials, textures, colors and details of construction as an expression of the design concept of the project and the compatibility of the same with the adjacent and neighboring structures and functions; and
 - d. Adequacy of vehicular, cycling and pedestrian circulation, including walkways, interior drives and parking, in terms of location and number of

access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian, cycling and vehicular traffic and arrangement and amount of parking so as to be safe, convenient and, insofar as practicable, compatible with the design of proposed buildings, structures and neighboring properties.

6. The Site Plan protects adjacent and neighboring properties through reasonable provisions for such matters as surface water drainage, sound and sight buffers, preservation of views, light, and air, and those aspects of design, not adequately covered by other regulations, which may have substantial effects on neighboring land uses.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Wyoming hereby **APPROVES** the Site Plan Review, as requested by the applicant with the following conditions:

1. All required local, state and/or federal permitting must be obtained.
2. The applicant submit final grading and drainage plans for staff review and approval which include calculations for impervious surfaces on the site. The property shall comply with the 80% impervious surface calculations previously approved in 2022.
3. Construction and use of the property shall comply with the ISG plans signed on 4/2/2026.
4. The color of the proposed accessory building shall be consistent with the color of the existing principal building.
5. The applicant shall submit a landscape plan for staff review and approval consistent with ordinance screening requirements and Article 26 Division 14, prior to issuance of a building permit.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF WYOMING THIS 2nd DAY OF JUNE, 2026.

Lisa Iverson, Mayor

ATTEST:

This Document Drafted by:
The City of Wyoming
26885 Forest Boulevard
Wyoming, Minnesota 55092

Robb Linwood, City Administrator

**UNAPPROVED MINUTES
PLANNING COMMISSION
CITY OF WYOMING, MINNESOTA
MAY 26, 2026
7:00 PM**

CALL TO ORDER:

Planning Commission Chairman Lobermeier called the Regular Meeting of the Wyoming Planning Commission for May 26, 2026, to order at 7:00 PM

CALL OF ROLL:

On a Call of the Roll, the following members of the Wyoming Planning Commission were present: Mark Lobermeier, Dan Iverson, and Ken Rutford

ABSENT: Commissioners Katie West and Mark Holl

Also Present: Fred Weck, Zoning Administrator, City Planner Kim Lindquist, and Mayor Lisa Iverson

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM: NONE

APPROVAL OF MINUTES:

1. Consider approving the minutes of the “Regular Meeting” of the Wyoming, Minnesota Planning Commission for May 12, 2026

A MOTION WAS MADE BY COMMISSIONER IVERSON, SECONDED BY COMMISSIONER RUTFORD, TO APPROVE THE MINUTES OF THE “REGULAR MEETING” OF THE WYOMING, MINNESOTA PLANNING COMMISSION FOR MAY 12, 2026, AS SUBMITTED.

Voting Aye: Rutford, Iverson, and Lobermeier

Voting Nay: None

Abstain: None

Absent: West and Holl

SCHEDULED PUBLIC HEARINGS: NONE

NEW BUSINESS:

2. **Site Plan Review: SP-26-001**
Location: 5201 260th Street
Applicant: Emily Nepp of ISG
Owner: Rosenbauer Minnesota LLC
Property ID Number: 21.00468.32

City Planner Lindquist gave an overview of the request for Site Plan Review at 5201 260th Street

for an accessory structure to store finished parts, extrusions, and raw sheet metal indoors. She noted that staff was recommending approval subject to the conditions outlined in the staff report.

Commissioner Rutford asked about water runoff and storage.

City Planner Lindquist clarified that this was not within the bounds of the watershed district, which meant it did not require additional approval from them. She explained that the drainage will go to the regional pond.

Don Anderson, Rosenbauer, explained that the building is for cold storage for their aluminum materials, so it wasn't sitting outside getting corroded. He stated that it will also hold finished truck parts that they make ahead of time. He explained that they were trying to condense everything down so their water tanks would be stored on vertical shelving, which is how they gain room for parking. He noted that the color matches the siding on the building they redid last year.

Chair Lobermeier asked if it would be open storage or if there would be doors on the building.

Mr. Anderson answered that there would be doors to keep the snow from blowing inside. He stated that they are planning for cement floors and for electricity in the building.

Commissioner Rutford stated that he liked the idea of things being stored inside to help the area look nicer.

Mr. Anderson gave a brief description of the use of a tilt table and explained that it is used for things like fire trucks to ensure they don't tip over.

Chair Lobermeier asked if there would be exterior lighting.

Mr. Anderson stated that they have all new lights on the building and in the parking lot. He explained that they will probably add a bit more lighting on the exterior of the building to light up where the extrusions, pumps, and water tanks are located.

Chair Lobermeier encouraged Mr. Anderson to work with staff on the type of lights and ways to make sure they have enough lighting without having too much.

A MOTION WAS MADE BY COMMISSIONER RUTFORD, SECONDED BY COMMISSIONER IVERSON, TO RECOMMEND APPROVAL OF SITE PLAN REVIEW: SP-26-001AT 5201 260TH STREET, FOR EMILY NEPP OF ISG, OWNER: ROSENBAUER MINNESOTA LLC, PROPERTY ID NUMBER: 21.00468.32, SUBJECT TO THE SIX CONDITIONS INCLUDED IN THE STAFF REPORT.

<i>Voting Aye:</i>	<i>Rutford, Iverson, and Lobermeier</i>
<i>Voting Nay:</i>	<i>None</i>
<i>Abstain:</i>	<i>None</i>
<i>Absent:</i>	<i>West and Holl</i>

OLD BUSINESS:

3. City of Wyoming Cannabis Ordinance

Zoning Administrator Weck explained that he had sent questions to the City Attorney asking how the City may be able to protect the Highway 8 corridor. He noted that Wosika Farm is having trouble getting licensing through the State because the business name they have at the State is different than the one they use here, and had also asked the City Attorney about that situation as well. He explained that he had not heard back from the City Attorney yet with answers to the

questions he had submitted.

Chair Lobermeier stated that this situation has shown him that there have been a lot of false starts and no one really has this all down yet. He noted that he was less concerned about the Highway 8 location, but had concerns about what he had read in the guidance, the model ordinance, and the City's ordinance. He stated that the State allows the City to limit the places, and in the model ordinance seemed to be referred to as zoning. He stated that as long as the City doesn't prevent cannabis businesses, then they would comply. He noted that Section 12-422 is labeled zoning and land use, and when this came up a few months ago, an issue was raised regarding consistency with the Comprehensive Plan. He stated that he found the City Attorney's response to that interesting because it seemed to be written in a way to remind them that Wyoming was not in the metro area, so he didn't really find it very helpful. He explained that he would like to propose that the City amend the language in the ordinance and briefly explained his suggested changes to the existing language. He stated that he would like it to read that they would be permitted in the areas of the City that are both zoned and guided in the Comprehensive Plan, before receipt of the request for registration. He stated that he did not believe the response from the City Attorney would prohibit the City from having a both-and situation. He would like to know if that approach would work or if anyone had other ideas of language that may work better. He stated that he felt this would give the City some actual control over where these types of businesses can be located in the City. He noted that Commissioner Iverson has repeatedly raised concerns about potential odors and suggested that the City also have a stipulation that there would be no outdoor growing, because if it happens indoors, they have ways of controlling the odors. He stated that he also felt they should take a look at finding a way to include a buffer area for a trail, such as the regional trail, so they can protect people walking or riding a bike in the area.

City Planner Lindquist stated that she wasn't sure what the goal of Chair Lobermeier's first suggestion was. She noted that initially, the City had the thought that there were too many parcels that were available for this use, and what he proposed didn't have anything to do with availability, but was a message to the City that they should make their zoning ordinance and Comprehensive Plan comply.

Chair Lobermeier explained that while he would like to see that happen, he felt it was more about trying to have greater control over where this goes and where they want it within their community. He noted that the last meeting agenda seemed to be all cannabis related, and if that was going to be the new normal, he wanted to have some certainty about what they were able to control.

City Planner Lindquist explained that for the other communities she has worked with, most of them put this use in the Industrial District, which would also be where you put sexually oriented businesses as well, because that is where there is less risk of having people around.

Chair Lobermeier stated that if the City doesn't have some control over what happens beyond how it was zoned and the Comprehensive Plan doesn't mean much when it comes to approvals, then the things that they want to see in the community, such as wanting a downtown area, will never happen because that business will be there. He stated that if the City has areas that are industrial today and there is a strong feeling that they would also be industrial in 30 years, that would be the first place they should go.

City Planner Lindquist explained that her concern was that if you had a cannabis user or a light industrial user going into a building, it would have the same effect, but agreed with Chair Lobermeier regarding a situation where it was vacant land and not an existing building. She explained that most of the sites are developed, so it was essentially just swapping out tenants.

Chair Lobermeier stated that he was less confident in the City's ability down the road to be able to control this. He noted that the level of interest this seemed to be generating in the City shows

him that the City needed to find a way to drag an anchor and slow things down a bit. He stated that they would really prefer to see this in industrial areas that aren't so close to parks or things that were guided towards something completely different.

City Planner Lindquist stated that she understood the concerns Chair Lobermeier was sharing and stated that if the City were to pick where they wanted this type of business to go, and define the space. She noted that this was also what communities had done for the sexually oriented businesses and even created a new district.

Chair Lobermeier stated that he was open to looking at different ways to handle this and explained that he also didn't want it to be something that was difficult for property owners. He explained that he just didn't want to have something that was attracting a whole lot of interest coming in and looking at a lot of properties that he didn't think the City had ever envisioned for this use.

Commissioner Rutford stated that putting this out in the country also makes him look at the safety of the people in the City and asked if they wanted this type of use going in right next to a development with a lot of houses.

Chair Lobermeier agreed and noted that when they had first done this, Agriculture seemed like an easy choice, and they are seeing that perhaps it isn't quite that easy. He reiterated that he was open to looking at this in different ways and having staff take a look at options on how and what the City Attorney had to say about what the City can do.

Commissioner Iverson stated that he felt Chair Lobermeier had brought up some good points. He stated that a general summary of what he had said was that the City has a Comprehensive Plan that shows what they would like the City to become over the next 10-30 years, and how the City can organically help see that become a reality.

Chair Lobermeier stated that he has been amazed that there seems to be a cannabis business on every agenda now and asked if Wyoming had someone gotten onto a map of options for people to select.

COMMUNICATIONS:

Chair Lobermeier reminded the Commission that he would not be at the June 9, 2026, meeting.

UPDATES:

Rezoning of parcel 21.00012.20, the IUP for cannabis retail at 6641 Lake Boulevard, and the amended IUP at 7978 269th Street were all approved by the City Council.

A MOTION WAS MADE BY COMMISSIONER IVERSON, SECONDED BY COMMISSIONER RUTFORD, TO ADJOURN THE MAY 26, 2026 "REGULAR MEETING" OF THE WYOMING, MINNESOTA PLANNING COMMISSION AT 7:38 PM.

<i>Voting Aye:</i>	<i>Rutford, Iverson, and Lobermeier</i>
<i>Voting Nay:</i>	<i>None</i>
<i>Abstain:</i>	<i>None</i>
<i>Absent:</i>	<i>West and Holl</i>



Request for Council Action

Date: May 27, 2026

Presented to: Mayor Iverson and City Council Members

Presented by: Grant MacFarlane, Assistant City Administrator

Department: Administration

Reference: Noise Ordinance Amendment

Method: New Business

Background Information:

Within the request for action is an amended version of the City's existing noise ordinance. The proposed amended ordinance is intended to modernize and clarify existing regulations related to excessive and disruptive noise. The current ordinance lacked specificity in several areas, which can create inconsistencies in interpretation and enforcement.

The proposed revisions are designed to align the City's ordinance more closely with the standards and practices utilized by surrounded and similarly situated municipalities. The updates provide clearer definitions, establish more subjective standards regarding allowable noise and hours of operation, and clarify exceptions related to permitted special events. In addition, the revised language is intended to improve the enforceability of the ordinance by providing clearer parameters and guidelines to law enforcement personnel and City staff when responding to complaints.

A redline version and finalized version of Ordinance 2026-01 can be viewed at the end of this report.

The following is a brief synopsis of the sections of the amended ordinance:

Division 4. Noise - Sec. 16-90.

Noises Prohibited – Establishes general prohibitions against unreasonable and disruptive noise. Identifies specific types of activities and noise sources that may constitute violations.

Hourly Restrictions on Certain Operations – Establishes allowable hours for certain noise-generating activities, including domestic power equipment and construction activities.

Exceptions – Identifies circumstances under which certain noise-related activities may be exempt from certain ordinance requirements, including emergency work and City-approved permitted events.

Enforcement – Outlines the authority and responsibilities for enforcing the noise ordinance, including civil remedies and criminal penalties for violations.



CITY OF WYOMING

P.O. Box 188, 26885 Forest Blvd., Wyoming, MN 55092
Phone: 651-462-0575 Fax: 651-462-0576

Recommendation: To approve and adopt **Ordinance 2026-01** an ordinance amending the City of Wyoming Code of Ordinances, Chapter 16, Nuisances, Division 4 – Noise and to approve **Resolution 26-06-60** a resolution adopting and approving a summary publication for Ordinance 2026-01, an Ordinance amending the City of Wyoming Code of Ordinances, Chapter 16, Nuisances, Division 4 – Noise.



PUBLIC SAFETY

P.O. Box 188, 7665 Wyoming Trl., Wyoming, MN 55092
Phone: 651-462-0577 Fax: 651-462-0506

DIVISION 4. NOISE

Sec. 16 - 90. Noises Prohibited

- (1) **General Prohibition.** No person shall make or cause to be made any distinctly and loudly audible noise that unreasonably annoys, disturbs, injures, or endangers the comfort, repose, health, peace, safety and welfare of any person or precludes their enjoyment of property or affects their property's value. This general prohibition is not limited by the specific restriction of the following subdivisions.
- (2) **Radios, amplifiers and other electronic devices.** No person shall use or operate or permit the use or operation of any radio receiving set, musical instrument, phonograph, paging system, machine or other device for the production or reproduction of sound in such a manner as to unreasonably disturb the peace, quiet and comfort of any person nearby. Operation of any such set, instrument, phonograph, system, machine or other device between the hours of 9:00 p.m. and 8:00 a.m. on any weekday and 10:00 p.m. and 8:00 a.m. on any weekend or holiday in such a manner as to be plainly audible at the property line of the structure or building in which it is located, in the hallway or apartment adjacent, or at a distance of 50 feet from the source if the source is located outside a structure or building, shall be prima facie evidence of a violation of this Section. Establishments may request City permission to extend their events until midnight and will be allowed a total of three approved extensions a year. Request must be filed through a Special Event Permit.
- (3) **Horns, Audible Signaling Devices.** No person shall sound any audible signaling device on any vehicle except as a warning of danger. This Subdivision and Subdivision 8 of this section shall not apply to vehicles driven through residential districts from which ice cream or other treats are sold.
- (4) **Exhaust.** No person shall discharge the exhaust or permit the discharge of the exhaust of any steam engine, stationary internal combustion engine, motorboat, motor vehicle, or snowmobile except through a muffler or other device that effectively prevents loud or explosive noises therefrom and complies with all applicable state laws and regulations.
- (5) **Defective Vehicles or Loads.** No person shall use any vehicle so out of repair or so loaded as to create loud and unnecessary grating, grinding, rattling or other noise.
- (6) **Loading, Unloading, Unpacking.** No person shall create loud and excessive noise in loading, unloading or unpacking any vehicle.
- (7) **Participation in Noisy Parties or Gatherings.** No person shall participate in any party or other gathering of people giving rise to noise which unreasonably disturbs the peace, quiet or repose of another person. When a police officer determines that a gathering is creating such a noise disturbance, the officer may order all persons present, other than any owner or tenant of the premises where the disturbance is occurring, to disperse immediately. No person shall refuse to leave after being ordered by a police officer to do so. Every owner or tenant of such premises who has knowledge of the disturbance shall make every reasonable effort to see that the disturbance is stopped.
- (8) **Loudspeakers, Amplifiers for Advertising.** No person shall operate or permit the use or operation of any loudspeaker, sound amplifier or other device for the production or reproduction of sound on a street or other public place for the purpose of commercial advertisement or attracting the attention of the public to any commercial establishment or vehicle.
- (9) **Animals.** The keeping of any animal which by causing frequent or long continued noise shall disturb the comfort and repose of any person in the vicinity.
- (10) **Schools, Churches, Hospitals, Etc.** No person shall create any excessive noise on a street, alley or public grounds adjacent to any school, institution of learning, church, hospital or senior housing facility when the noise unreasonably interferes with the working of the institution or disturbs or unduly annoys its occupants or residents.

Sec. 16 - 91. Hourly Restrictions on Certain Operations.

- (1) **Domestic Power Equipment.** No person shall operate a power lawn mower, power hedge clipper, chain saw, mulcher, garden tiller, edger, drill or other similar domestic power maintenance equipment except between the hours of 7:00 a.m. and 9:00 p.m. on any weekday or between the hours of 8:00 a.m. and 9:00 p.m. on any weekend or holiday. Equipment being used to remove snow is exempt from this provision.
- (2) **Construction Activities.** No person shall engage in or permit construction activities involving the use of any kind of electric, diesel or gas-powered machine or other power equipment except between the hours of 7:00 a.m. and 9:00 p.m. on any weekday or between the hours of 8:00 a.m. and 9:00 p.m. on any weekend or holiday.

Sec. 16 - 92. Exceptions

- (1) **Emergency Work.** Noise created exclusively in the performance of emergency work to preserve the public health, safety or welfare, or in the performance of emergency work necessary to restore a public service or eliminate a public hazard shall be exempt from the provisions of this section for a period not to exceed 24 hours after the work commenced. Persons responsible for such work shall inform the City of the need to initiate such work or, if the work is commenced during non-business hours of the City, at the beginning of business hours of the first business day thereafter. Any person responsible for such emergency work shall take all reasonable actions to minimize the amount of noise.
- (2) **Operations and Acts Under City Permit.** Operations and acts performed pursuant to a permit granted by the City Council may be exempted from some or all of the prohibitions of this division. This exemption applies only to permits issued for events and does not extend to other types of City permits, including but not limited to construction, business, or solicitation permits.

Sec. 16 - 93. Enforcement

- (1) **Enforcement Duties.** The police department shall enforce the provisions of this Section. The police department or its members may inspect private premises other than private residences and shall make all reasonable efforts to prevent violations of this Section.
- (2) **Civil Remedies.** This section may be enforced by injunction, action for abatement or other appropriate civil remedy.
- (3) **Criminal Penalties.** Every person who violates any provision of this section is guilty of a misdemeanor. Each act of violation and each day of violation occurs or continues constitutes a separate offense.

Sec. 16 – 94–99. Reserved.

~~Sec. 16 – 90. Unreasonable loud noise prohibited.~~

~~It shall be unlawful for any person, firm, or corporation to create or assist in creating, permit, continue, or permit the continuance of any unreasonably loud, disturbing, and unnecessary noise in the city.~~

~~Sec. 16 – 91. Noises expressly prohibited.~~

~~The following acts, among others, are declared to be loud, disturbing, and unnecessary noises in violation of this section, but said enumeration shall not deem to be exclusive, namely:~~

- ~~(1) — The sounding of any horn or signal device or any device on any automobile, motorcycle, bus, or other vehicle while not in motion, except as a danger signal if another vehicle is approaching apparently out of control; or if in motion only as a danger signal after or as brakes are being applied and deceleration of the vehicle is intended; the creation by means of any such signal device of any unreasonably loud or harsh sound; and the sounding of such device for an unnecessary and unreasonable period of time.~~
- ~~(2) — The use of any gong or siren upon any vehicle, other than police, fire, or other emergency vehicle.~~
- ~~(3) — The keeping of any animal which by causing frequent or long continued noise shall disturb the comfort and repose of any person in the vicinity.~~
- ~~(4) — The use or operation of any piano (manual or automatic), phonograph, radio, loud speaker, or any other instrument, or sound amplifying devices so loudly as to disturb persons in the vicinity thereof, or in such a manner as renders the same a public nuisance.~~
- ~~(5) — The use of any automobile, motorcycle or other vehicle so out of repair, so loaded or in such manner as to create loud or unnecessary grating, grinding, rattling, or other noise.~~
- ~~(6) — The blowing of any steam whistle attached to any stationary boiler except to give notice of the time to begin or stop work or as a warning of danger.~~
- ~~(7) — The discharge into the open air of the exhaust of any steam engine, stationary internal combustion engine or a motor vehicle except through a muffler or other device which will effectively prevent loud or explosive noises therefrom.~~
- ~~(8) — The use of any mechanical device operated by compressed air unless the noise created thereby is effectively muffled and reduced.~~
- ~~(9) — The erection (including excavation), demolition, alteration or repair of any building in a residential or business district other than between the hours of 7:00 a.m. and 9:00 p.m., except in the case of urgent necessity in the interest of public safety and then only with a permit from the city clerk, which may be renewed for a period of three days or less while the emergency continues.~~
- ~~(10) — The creation of any excessive noise during hours of worship and services on any street adjacent to any church.~~
- ~~(11) — The creation of loud and excessive noise in connection with loading or unloading any vehicle, of the opening and destruction of bales, boxes, crates, and containers.~~
- ~~(12) — The sounding of any bell or gong attached to any building or premises which disturbs the quiet or repose of persons in the vicinity thereof.~~
- ~~(13) — The shouting and crying of peddlers, barkers, hawkers, and vendors which disturbs the quiet and peace of the neighborhood.~~
- ~~(14) — The use of any drum, loud speaker or other instrument or device for the purpose of attracting attention by creation of noise to any performance, show, sale or display of merchandise.~~
- ~~(15) — The use of any mechanical loudspeakers or amplifiers on trucks or other moving vehicles for advertising purposes or other purposes except where specific license is received from the city.~~
- ~~(16) — The conducting, operating, or maintaining of any garage or filling station in any residential district so as to cause loud or offensive noises to be emitted therefrom between the hours of 11:00 p.m. to 7:00 a.m.~~
- ~~(17) — The firing or discharging of squibs, crackers, gunpowder, or other combustible substances in the streets or elsewhere for the purpose of making noise or disturbance.~~
- ~~(18) — Any person participating in any party or other gathering that causes the unreasonable disturbing of the peace, quiet, or repose of another person.~~

Sec. 16 – 92. Quiet zone.

~~The creation of any excessive noise on any street adjacent to any school, institution of learning, library, or sanitarium, or court while the same is in session, or within one hundred fifty (150) feet of any hospital, which unreasonably interferes with the working of such institutions, without receiving a permit for the same, and notification of the city, shall be deemed a violation of this Division.~~

~~Secs. 16—93—16—99. Reserved.~~

STATE OF MINNESOTA
COUNTY OF CHISAGO
CITY OF WYOMING

ORDINANCE NO. 2026-01

AN ORDINANCE AMENDING THE CITY OF WYOMING CODE OF ORDINANCES, CHAPTER 16, ARTICLE
II, NUISANCES; DIVISION 4 - NOISE

NOW THEREFORE, it is hereby ordained by the City Council of the City of Wyoming, Chisago County, Minnesota, that Article 2, Division 2 of the Wyoming City Code be amended as follows

ARTICLE 2 NUISANCE

DIVISION 4. NOISE

Sec. 16 - 90. Noises Prohibited

- (1) **General Prohibition.** No person shall make or cause to be made any distinctly and loudly audible noise that unreasonably annoys, disturbs, injures, or endangers the comfort, repose, health, peace, safety and welfare of any person or precludes their enjoyment of property or affects their property's value. This general prohibition is not limited by the specific restriction of the following subdivisions.
- (2) **Radios, amplifiers and other electronic devices.** No person shall use or operate or permit the use or operation of any radio receiving set, musical instrument, phonograph, paging system, machine or other device for the production or reproduction of sound in such a manner as to unreasonably disturb the peace, quiet and comfort of any person nearby. Operation of any such set, instrument, phonograph, system, machine or other device between the hours of 9:00 p.m. and 8:00 a.m. on any weekday and 10:00 p.m. and 8:00 a.m. on any weekend or holiday in such a manner as to be plainly audible at the property line of the structure or building in which it is located, in the hallway or apartment adjacent, or at a distance of 50 feet from the source if the source is located outside a structure or building, shall be prima facie evidence of a violation of this Section. Establishments may request City permission to extend their events until midnight and will be allowed a total of three approved extensions a year. Request must be filed through a Special Event Permit.
- (3) **Horns, Audible Signaling Devices.** No person shall sound any audible signaling device on any vehicle except as a warning of danger. This Subdivision and Subdivision 8 of this section shall not apply to vehicles driven through residential districts from which ice cream or other treats are sold.
- (4) **Exhaust.** No person shall discharge the exhaust or permit the discharge of the exhaust of any steam engine, stationary internal combustion engine, motorboat, motor vehicle, or snowmobile except through a muffler or other device that effectively prevents loud or explosive noises therefrom and complies with all applicable state laws and regulations.
- (5) **Defective Vehicles or Loads.** No person shall use any vehicle so out of repair or so loaded as to create loud and unnecessary grating, grinding, rattling or other noise.
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- (7) **Participation in Noisy Parties or Gatherings.** No person shall participate in any party or other gathering of people giving rise to noise which unreasonably disturbs the peace, quiet or repose of another person. When a police officer determines that a gathering is creating such a noise disturbance, the officer may order all persons present, other than any owner or tenant of the premises where the disturbance is occurring, to disperse immediately. No person shall refuse to leave after being ordered by a police officer to do so. Every owner or tenant of such premises who has knowledge of the disturbance shall make every reasonable effort to see that the disturbance is stopped.

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Sec. 16 - 91. Hourly Restrictions on Certain Operations.

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- (1) **Emergency Work.** Noise created exclusively in the performance of emergency work to preserve the public health, safety or welfare, or in the performance of emergency work necessary to restore a public service or eliminate a public hazard shall be exempt from the provisions of this section for a period not to exceed 24 hours after the work commenced. Persons responsible for such work shall inform the City of the need to initiate such work or, if the work is commenced during non-business hours of the City, at the beginning of business hours of the first business day thereafter. Any person responsible for such emergency work shall take all reasonable actions to minimize the amount of noise.
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- (2) **Civil Remedies.** This section may be enforced by injunction, action for abatement or other appropriate civil remedy.
- (3) **Criminal Penalties.** Every person who violates any provision of this section is guilty of a misdemeanor. Each act of violation and each day of violation occurs or continues constitutes a separate offense.

Sec. 16 – 94–99. Reserved.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF WYOMING THIS 2ND DAY OF JUNE, 2026.

Lisa Iverson, Mayor

ATTEST:

Robb Linwood, City Clerk

This Document Drafted by:
The City of Wyoming
26885 Forest Boulevard
Wyoming, Minnesota 55092

RESOLUTION NO. 26-06-60

**A RESOLUTION ADOPTING AND APPROVING A SUMMARY PUBLICATION FOR
ORDINANCE 2026-02, AN ORDINANCE AMENDING THE CITY OF WYOMING
CODE OF ORDINANCES, CHAPTER 16 ENVIRONMENT, ARTICLE II, NUISANCES,
DIVISION 4 - NOISE**

WHEREAS, the City of Wyoming is a political subdivision, organized and existing under the laws of the State of Minnesota; and,

WHEREAS, the City has adopted the City of Wyoming Ordinance No. 2026-01 an ordinance amending Chapter 16, Article 2, Division 4 of the City Code; and

WHEREAS, the City Council has determined that publication of the title of the ordinance and a summary of the ordinance would clearly inform the public of the intent and effect of the ordinance.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Wyoming hereby directs the City Clerk to cause to be published in the Chisago County Press the following notice:

**NOTICE OF ADOPTION OF THE CITY OF WYOMING ORDINANCE NO. 2026-01 AN
ORDINANCE AMENDING THE CITY OF WYOMING CODE OF ORDINANCES
CHAPTER 16 ENVIRONMENT, ARTICLE 2, DIVISION 4 - NOISE**

PURPOSE

TO WHOM IT MAY CONCERN:

NOTICE IS HEREBY GIVEN that on the 2nd day of June, 2026, the City Council of the City of Wyoming adopted an Ordinance amending Chapter 16 of the City Code. The new Ordinance is entitled:

**ORDINANCE NO. 2026-01
AN ORDINANCE AMENDING THE CITY OF WYOMING CODE OF ORDINANCES,
CHAPTER 16 ENVIRONMENT, ARTICLE 2, DIVISION 4 - NOISE**

NOTICE IS FURTHER GIVEN that the ordinance amends the City's Noise Ordinance

NOTICE IS FURTHER GIVEN that a printed copy of the entire ordinance is available for inspection by any person during the City Clerk's regular office hours in the City Hall located at 26885 Forest Boulevard, Wyoming, Minnesota. Furthermore, proof of publication of the title and summary shall be recorded in the ordinance book of the City Wyoming within 10 days of publication of the title and summary.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF WYOMING THIS 2ND DAY OF JUNE, 2026.

Lisa Iverson, Mayor

ATTEST:

Robb Linwood, City Clerk

This Document Drafted by:
The City of Wyoming
26885 Forest Boulevard
Wyoming, Minnesota 55092