

**AGENDA
PLANNING COMMISSION
CITY OF WYOMING, MINNESOTA
JUNE 8, 2021
7:00 PM**

CALL TO ORDER:

CALL OF ROLL:

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM:

“An opportunity for members of the public to address the Planning Commission on items not on the current Agenda. Items requiring Planning Commission action may be deferred to staff for research and future Planning Commission Agendas if appropriate. You will be limited to two (2) minutes and we ask that you conduct yourself in a professional, courteous manner, and refrain from the use of profanity. Failure to abide by this policy may result in the loss of your privilege to speak.”

APPROVAL OF MINUTES:

1. Consider approving the minutes of the “Regular Meeting” of the Wyoming, Minnesota Planning Commission for May 25, 2021.

SCHEDULED PUBLIC HEARINGS:

2. None.

NEW BUSINESS:

3. Site Plan Review Sp-21-001 Widseth Smith and Nolting
Location: 5368 266th Street
Applicant: PMI Construction Services

OLD BUSINESS:

4. None.

COMMUNICATIONS:

5. None.

UPDATES:

6. Sunrise Riverbank: Rezoning, Preliminary Plat, and Conditional Use Permit were approved by the City Council on June 1, 2021

ADJOURN

UPCOMING:

7. Hallberg Self Storage Site Plan Review, Forest Boulevard.

**UNAPPROVED MINUTES
PLANNING COMMISSION
CITY OF WYOMING, MINNESOTA
MAY 25, 2021
7:00PM**

CALL TO ORDER:

Planning Commission Chairman Lobermeier called the Regular Meeting of the Wyoming Planning Commission for May 25, 2021 to order at 7:00 PM

CALL OF ROLL:

On a Call of the Roll the following members of the Wyoming Planning Commission were present: Mark Lobermeier, Kevin Teel, Bryan Murdock, Katie West and Roger Carr

ABSENT: None

Also Present: Fred Weck Zoning Administrator, Council Liaison Brett Ohnstad, Mayor Lisa Iverson, City Engineer Mark Erichson, City Planner Tom Ramler-Olson, WSB Engineer John Christianson

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM: NONE

APPROVAL OF MINUTES:

1. Consider approving the minutes of the “Regular Meeting” of the Wyoming, Minnesota Planning Commission for May 11, 2021

A MOTION WAS MADE BY COMMISSIONER CARR, SECONDED BY COMMISSIONER MURDOCK, TO APPROVE THE MINUTES OF THE “REGULAR MEETING” OF THE WYOMING, MINNESOTA PLANNING COMMISSION FOR MAY 11, 2021 AS SUBMITTED.

Roll Call Vote:

Voting Aye: Murdock, West, Teel, and Carr

Voting Nay: None

Abstain: Lobermeier

Absent: None

SCHEDULED PUBLIC HEARINGS:

2. Rezoning: Z-21-002 Sunrise River Bank – R1 and R3 to Agricultural (A)
Location: East Viking Boulevard, Greenwood Golf Course Site
Applicant: Northern Tier Development, LLC; Richard Morris
Property ID Numbers: 21.00009.30, 21.10298.30, 21.10298.40, 21.10302.00, 21.10320.10, 21.10320.20, and 21.10320.30
3. Preliminary Plat: D-21-006 Sunrise River Bank
Location: East Viking Boulevard, Greenwood Golf Course Site
Applicant: Northern Tier Development, LLC; Richard Morris

Property ID Numbers: 21.00009.30, 21.10298.30, 21.10298.40, 21.10302.00, 21.10320.10, 21.10320.20, and 21.10320.30

- 4. Conditional Use Permit: C-21-002 Wetland Mitigation Bank, Sunrise River Bank**
Location: East Viking Boulevard, Greenwood Golf Course Site
Applicant: Northern Tier Development, LLC; Richard Morris
Property ID Numbers: 21.00009.30, 21.10298.30, 21.10298.40, 21.10302.00, 21.10320.10, 21.10320.20, and 21.10320.30

Chair Lobermeier explained that there are three public hearings tonight on the same proposed project.

Zoning Administrator Weck noted that the Commission could hold the public hearings all at the same time since they are the same project and he suspects the same questions will be raised for each.

City Planner Ramler-Olson stated that this project is in relation to what is generally known as the Greenwood Golf Course near East Viking Boulevard and I-35. The requests are for a rezoning, Preliminary Plat, and a Conditional Use Permit. He gave an overview of the rezoning request and configuration. He noted that the sketch plan for this property was reviewed in early April and explained that the plan is for private well and septic which conflicts with the Comprehensive Plan which has this area being served by municipal water. He stated that in mid-April the Senior City Planner, Eric Zweber, reviewed this property, particularly Lot 1, Block 1 to determine how it should be treated because of the overwhelming presence of wetlands. Mr. Zweber recommended that it be rezoned to agriculture which would be the most compatible zoning with the proposed land use of a wetland mitigation bank. Staff has reviewed the requests from the applicant and in their opinion, the criteria were all satisfied and they are recommending approval with the conditions as included in the staff report.

Zoning Administrator Weck asked for clarification on Outlot A, that has a home on it.

City Planner Ramler-Olson explained that there is an existing structure on Outlot A and the definition of an outlot is that it is not buildable, which would conflict with the purpose and the intent. He explained that they have included a condition that the Preliminary Plat be revised to recognize the existing structure and create another block that includes it or to redesignate the entire outlot as a block as part of the Preliminary Plat proposal.

Richard Morris explained that tonight they are just really looking to deal primarily with the wetland portion because if they develop one or both of the outlots, there are a multitude of questions that will have to be worked through. He stated that they think the wetland project is the best use for the property and will serve the public and the City well. He noted that staff has been very helpful to them as they have worked through the process of trying to develop this parcel.

Chair Lobermeier asked if Mr. Morris was comfortable with the recommendations presented in the staff report.

Mr. Morris confirmed that he was very comfortable with the recommendations from staff.

Commissioner Murdock asked for more details on the outlot and if the words "not buildable" were really used. He stated that he just wanted to have a more clear understanding of this point.

City Planner Ramler-Olson explained that an outlot is described as a remnant or any parcel of land which may be used for open space or is otherwise unsuitable for development, which doesn't necessarily mean that it cannot be built upon. He stated that the strategy for the Preliminary Plat is to designate those as outlots and wait for proposals to come forward that would subdivide those parcels to then undergo subdivision review which is also happening with Lot 1, Block 1 of the proposal.

Zoning Administrator Weck reminded the Commission of the Hunter Hill/Aadland West development who developed one lot and then put all the others into an outlot to be developed later when they had the money to do the street. The Summerfields development has a house on the far west side that is part of the outlot, which was missed, so when they go to their second phase, the City will be addressing that one as well, because that means it is in an unbuildable, non-conforming state. He stated that it is a buildable lot, it just needs to go through the platting process to become buildable. He clarified that there is nothing wrong with the land itself, it is just a legal designation.

Commissioner Teel asked if the rezoning request was only for Lot 1, Block 1 or also Outlot A and B.

Zoning Administrator Weck explained that the legal description for the rezoning is a metes and bounds description of Lot 1, Block 1. Once it has been platted the long legal description will turn into Lot 1, Block 1.

MOTION BY COMMISSIONER CARR, SECONDED BY COMMISSIONER WEST, TO OPEN THE PUBLIC HEARING FOR REZONING, PRELIMINARY PLAT, AND CONDITIONAL USE PERMIT FOR THE GREENWOOD GOLF COURSE SITE, PROPERTY ID NUMBERS: 21.00009.30, 21.10298.30, 21.10298.40, 21.10302.00, 21.10320.10, 21.10320.20, and 21.10320.30

Roll Call Vote:

Voting Aye: Lobermeier, Murdock, West, Teel, and Carr

Voting Nay: None

Abstain: None

Absent: None

Zoning Administrator Weck noted that he had included one written comment in the packet.

There were no additional public comments.

MOTION BY COMMISSIONER WEST, SECONDED BY COMMISSIONER TEEL, TO CLOSE THE PUBLIC HEARING FOR REZONING, PRELIMINARY PLAT, AND CONDITIONAL USE PERMIT FOR THE GREENWOOD GOLF COURSE SITE, PROPERTY ID NUMBERS: 21.00009.30, 21.10298.30, 21.10298.40, 21.10302.00, 21.10320.10, 21.10320.20, and 21.10320.30

Roll Call Vote:

Voting Aye: Murdock, Teel, Carr, West and Lobermeier

Voting Nay: None

Abstain: None

Absent: None

5. **MOTION BY COMMISSIONER MURDOCK, SECONDED BY COMMISSIONER WEST, TO APPROVE REZONING: Z-21-002 SUNRISE RIVER BANK – R1 AND R3 TO AGRICULTURAL (A); PRELIMINARY PLAT: D-21-006 SUNRISE RIVER BANK; AND CONDITIONAL USE PERMIT: C-21-002 WETLAND MITIGATION BANK, SUNRISE RIVER BANK FOR PROPERTY LOCATED ON EAST VIKING BOULEVARD, GREENWOOD GOLF COURSE SITE, FOR NORTHERN TIER DEVELOPMENT, LLC, RICHARD MORRIS FOR PROPERTY ID NUMBERS: 21.00009.30, 21.10298.30, 21.10298.40, 21.10302.00, 21.10320.10, 21.10320.20, AND 21.10320.30**

Roll Call Vote:

Voting Aye: Lobermeier, Murdock, West, Teel, and Carr

Voting Nay: None

Abstain: None

Absent: None

Chair Lobermeier noted that this will be on the City Council agenda for June 1, 2021 which is when the meetings go back to being held in person.

NEW BUSINESS: NONE

OLD BUSINESS:

6. Comprehensive Plan Update – Plan Maps, Chapter 9 and 10

Chair Lobermeier explained that WSB will take the Commission through the sections on roads and utilities and noted that they have also updated the map figures that they will review.

City Engineer Erichson suggested that the discussion begin with utilities and introduced John Christianson who will cover that section. He apologized that the marked-up version of the document did not make it to the Commission and explained that they will work out their technical difficulties and get that version sent to the Commission.

John Christianson, WSB, gave a brief overview of the land use figures that show the existing service areas, interim service area, ultimate service area, as well as the permanently un-serviced areas.

City Engineer Erichson stated that the interim areas are simply the extension of existing utilities that are in place and the ultimate service area is, for the most part, a new backbone of the system extending from east of Polaris.

Mr. Christianson stated that the future land use is guiding their calculations and projections. He reviewed the figure/map that outlined the regional sanitary sewer system the CLJSTC regional collection and treatment system. The existing average daily flow is about 257,000 gallons per day and the allocation of treatment capacity at the regional wastewater treatment facility is 478,000 gallons per day, so there is quite a bit of allocated capacity remaining. He stated that the City is divided up into 14 sanitary districts with each served by a lift station, one of which is owned by CLJSTC. He reviewed the figure that showed the residual capacity/available capacity at each of the lift stations and noted that this information will help guide different growth areas and also help the City target growth. He stated that it will help give them an idea of what facility

improvements may be needed if different portions of the City develop. He noted that the Kettle River Boulevard lift station will eventually need an upgrade as more mixed use develops to the north and looking further in the future, as development continue to the north along I-35, the County Road 30 lift station would also need an upgrade.

City Engineer Erichson noted that there is construction occurring in the east/west portion of 61 that is upsizing the sanitary sewer. He stated that as the roadways have been improved, they have been undertaking upsizing the sanitary sewer pipes as they go along.

Commissioner Murdock asked for details on the capacities listed on the figure and noted that he doesn't understand the numbers used and gave the example of Glen Oak Drive that has 97 gallons/minute of residual capacity, but doesn't understand how many households that would translate to.

Mr. Christianson explained that the rule of thumb that he uses is that each household will generate a peak hourly flow of about ½ gallon/minute. He noted that if you take the residual capacity and double that number, that is how many homes could be served. He moved on to review the ultimate sanitary sewer.

Chair Lobermeier stated that his understanding is that the model that had previously existed was updated and asked if this information reflects the current model.

Mr. Christianson stated that they did an update of the water model recently, but the sewer model has not had an in-depth update of the ultimate scenario, but is something that could be done, however, if there has not been a change to the long-term land use plan then it would not be necessary.

City Engineer Erichson asked Mr. Christianson to explain to the Commission what has been updated. He stated that everything east of the City in the southern portion is not utilizing the existing system has not had many changes. There has been some development in those area which can make it more challenging to develop that infrastructure. He stated that they have, in the past, coordinated with Chisago City to ultimately construct the main that goes out to the CLJSTC and there could also be the potential along Highway 8 as well, but for now they have identified the portion east of Polaris to access that main and extend the infrastructure to the south and the east.

Chair Lobermeier asked if this information was consistent with the Comprehensive Plan from 2009-2010.

City Engineer Erichson confirmed that was correct.

Mr. Christianson stated that the immediate vicinity around the existing system did have the capacity analysis updated based on infrastructure that has been built within the last 10 years and any development that has occurred.

Commissioner Murdock asked how conceptual this information is and asked if it was something a developer could rely upon.

City Engineer Erichson stated that he thinks it is and unfortunately, it has to start at the downstream end. He stated that it is certainly a guide, but does identify the infrastructure needing to make that connection at East Viking east of Polaris so it all extends from that location. He

stated that he thinks it is something that be utilized as guide, but it does have to be orderly and need to extend from that location.

Commissioner Murdock noted that there is a necessary chronology of how this can happen and asked if that can be captured on this map with some color and the lift station call-outs. He stated that if it needs to be done in a certain order, the more information that can be put together the better.

City Engineer Erichson stated that he thought that was fair and they can look at bolstering the implementation section of the utilities or adding a section that highlights the orderly development and how that would be extended.

Mr. Christianson moved on to review the water section and began with a figure that showed the existing system. The average day demand on the system from 2011-2020 was about 350,000 gallons per day and the maximum demand, for example, a hot summer day, was about 780,000 gallons per day. For the ultimate water system, they did a capacity analysis of the existing wells and towers under the interim and ultimate development condition. For the interim system, the City will need two additional wells and one additional water tower and for the ultimate system, the City will need an additional two to three wells and another water tower. He explained that water tends to be much more conceptual than sewer because the location of the development isn't quite as critical. The Comprehensive Plan that was developed in 2010 showed a few different ultimate system scenarios, one being a centralized treatment scenario which had a central water treatment plant with a new well field nearby. It also showed a decentralized system where the treatment would occur at all of the well houses. He stated that the most recent version is sort of a hybrid of those two systems. He stated that the three existing wells are along the center of the existing system, so if treatment became necessary at those wells, it would make sense to sight the treatment near them to minimize the length of raw watermain to deliver the water from the wells to the treatment plant. In the future, as the system expands, the City could have another treatment facility with its own well field. Similarly, for the water towers, the locations are conceptual at the moment and are located nearer to higher density development. He noted that Well #3 has a concentration of combined radium that continues to exceed the maximum contaminant level and so the City is working with the Minnesota Department of Health to limit the use of that well so that the overall average concentration is kept at a safe level.

Commissioner Murdock asked if that well was a different depth than the others or from the same aquifer. He asked why they felt there was a difference with this well.

Mr. Christianson stated that well just seems to have slightly higher concentrations and noted that they are also measuring combined radium in the other two wells, but they are not above the MCL.

City Engineer Erichson stated that this is odd to see and noted that they get different numbers every year. He noted that the numbers in Well #1 and #2 had also begun trending upwards but have reduced significantly which bought a bit more time, but long term they feel there will be the need to treat that water. He stated that they are monitoring it to ensure that it does not exceed the maximum contaminant level in any water that is distributed into the system and are essentially blending the water.

Commissioner Murdock asked about the treatment method of radium.

Mr. Christianson explained that it would be chemically enhanced filtration so the radium will bind to manganese and then the manganese can be removed via filtration.

Commissioner Murdock stated that method sounded intense and asked about the required maintenance.

Mr. Christianson stated that filters require some attention and need to be backwashed regularly and the backwash waste will be carrying a radium load, so that will have to be disposed properly.

Commissioner Murdock asked, with regard to future wells, whether there is a Department of Health or other type of groundwater monitoring for radium in the area.

Mr. Christianson stated that in this particular aquifer, radium is known to occur naturally so as future wells are sited and studied that is something to keep in mind but they could look at tapping into a different aquifer that would not have this same challenge.

City Engineer Erichson stated that they typically do test wells to determine the quality of the water in advance of actually drilling a production well.

Chair Lobermeier stated that there are two potential locations shown for a water treatment plant. He stated that his question about the easterly site that was shown in the last Comprehensive Plan, in the central part of the developed City, which to the west would be less likely to be able to have a well field in that area.

Mr. Christianson stated that he would agree and would those areas to the west would likely be served and fed by the existing wells and the site to the east would likely be fed from a new well field.

Chair Lobermeier asked if there had been discussion with the City about a well head protection plan for areas that may be designated as a future well field.

City Engineer Erichson stated that there have been some very high-level discussions regarding that but have not gotten to the point where that has been implemented, but is a good consideration. He stated that he sees that there are some challenges in attempting to implement the next development phase because of the necessity to connect to the sewer in the area east of Polaris. The sewer will come from the north, yet the City shows another well potentially being added to the south which makes it hard. The water system can be extended from Polaris further, but at some point, the connection will need to be made and will have to be looked at further. There is a tower location identified in the northeast corner, but noted that this is a typical challenge to try to figure out how to start servicing these areas. He stated that the decision will need to be made whether that well will be located in the south or up near the tower to feed from the direction that development will likely occur because there is sewer there.

Commissioner Murdock the proposed eastern water plant is located where there are already a number of homes. He asked if it was just a spot on a map or if it was strategic in some way.

Mr. Christianson stated that they will want to locate it along one of the trunk mains, but what is being shown is quite conceptual so the location is flexible.

Commissioner Murdock stated that the main that runs north from there trenches through the Sunrise River and noted that it is an unrealistic place for a main to run.

City Engineer Erichson stated that they can identify that and update that maps.

Commissioner Murdock stated that there is a lot of effort going into the Comprehensive Plan and if the maps are going to be so conceptual that they are not even close to reality, he questions why they would even be included. He stated that he believes that they have to be closer than what this map suggests and that it is important to have a closer look at this before it is included in the Comprehensive Plan.

City Engineer Erichson stated that they can fine tune the conceptual plan but also include a notation to explain the conceptual aspects. He moved on to discussion of the roads and trails. He gave an overview of the Swedish Immigrant Trail and the portions that have been completed. He gave a brief overview of some of the trail connections that are likely and which ones are not likely to be completed and asked for thoughts on areas to expand walkability in the community.

Commissioner Teel asked what sized sidewalk is planned.

City Engineer Erichson stated that with the grant application they had proposed an 8-foot trail along one side and a 5-foot sidewalk on the other. He reviewed the areas where there are wetlands and noted that the question is what is the likelihood of making a connection from East Viking Boulevard to Wyoming Trail. He noted that there may ways to partner with the County and have connectivity all the way to the Sunrise Prairie trail.

Commissioner Murdock confirmed that the black lines were the only places that there were currently sidewalks. He stated that the City has run into problems with a few of the developments that have come in where the sidewalks don't really connect well and asked when other communities put in sidewalks.

City Engineer Erichson stated that it varies from community to community. He stated that they have discussed doing a small study with City Administrator Linwood that would analyze and make some recommendations where sidewalks should be located and where they can be incorporated in with road projects and where they should be prioritized with the City's resources.

Commissioner Murdock stated that he thinks that would be very helpful.

Chair Lobermeier asked if the Park Advisory Commission has had a chance to look at some of the concepts being portrayed, especially in light of what he has shared about the Swedish Immigrant Trail likely being located along Highway 8. He stated that would take out the 2 alternative locations that were in the middle portion of the City because that will change what this map is going to look like. He stated that he would like the Park Advisory Board to know what this is going to look like before the Planning Commission would approve something.

City Engineer Erichson stated that staff could discuss this and bring back information to the next Council meeting. He stated that they can have a preliminary discussion about the direction and perhaps give the Park Advisory Commission the assignment to begin work on that.

Chair Lobermeier stated that he thinks the general feedback from the Planning Commission on this subject is that they are looking for more connectivity.

Mayor Iverson stated that this information is not anything that has been shared with the Park Advisory Commission and thinks it should be. She stated that she has a goal as a mayor to see that the City is more connected.

Commissioner Carr stated that he is on the west side of 35W and sees that there is a future trail planned along Kettle River. He stated that would be really nice because there are a lot of people that ride bike and walk along that road which has a lot of vehicle traffic. He stated that having sidewalks to connect over the bridge and to the trails, safety-wise, would make it much nicer for people in the community.

City Engineer Erichson stated that they definitely need more feedback before this can be updated. He moved on to reviewing the road section. He asked how they can provide more information that may be helpful. He stated that some things that they may want to consider including would be: existing traffic volume maps; crash data.

There was consensus to include a traffic volume map.

Commissioner Murdock asked if there was a map that already covered maintenance and repair of roads.

City Engineer Erichson stated that they have a 5-year capital improvement plan for the roads that is evaluated annually. He explained that some of the information the Commission is looking for could be included in an appendix. He noted that he has also put out feelers to find out the greater picture that the County has in mind that so their overall long-term vision can be incorporated and gave the example of the Kettle River/East Viking area.

Chair Lobermeier stated that he hoped that areas was not a long-term project but more near term.

City Engineer Erichson stated that they have already had conversations with the developer and the County about this area and noted that in the short term, a right turn lane may help some of the backing up which would be an interim improvement. He stated that they have also had conversations with MnDOT about rerouting or realigning either Kettle River Boulevard or the on ramps or both to have more of a 6-legged roundabout. He stated that one other thing to consider is the addition of roadway design consideration based on functional classification. He stated that he thinks this would be worthwhile and suggested that staff come up with recommendations and provide it for review at the next Commission meeting.

Chair Lobermeier stated that he understands it is a bit of a moving target, but would like to have some sort of representation of the Highway 8 corridor.

City Engineer Erichson agreed that this was a good idea and has been discussed. He stated that they will work with the County to try to get a bit more detail and will include it in the plans. He stated that he will review all the sections regarding things like road design considerations, access, right of way widths, and bring those back for review. He stated that something they will want to think about for future discussions with Eric Zweber, is whether the figures would be inserted into the actual text similar to how they are now or will they be referenced with a hot link.

Commissioner Murdock stated that it depends on if they are talking about a storyboard or PDF document that is available.

City Engineer Erichson stated that may want to consider doing both options.

Commissioner Murdock stated that if City Engineer Erichson can get him the sections that they have updated, that includes the changes, he can incorporate that into the document and send it out to the Commission for review. He stated that he would at least like to include a list of the

tables and figures.

Chair Lobermeier reviewed the most recent updated schedule and noted that they are a bit behind where he had hoped they would be. He stated his target date to get a 2nd draft completed is by July 1, 2021, with adoption completed by November.

COMMUNICATIONS: NONE

UPDATES: NONE

A MOTION WAS MADE BY COMMISSIONER MURDOCK, SECONDED BY COMMISSIONER TEEL, TO ADJOURN THE MAY 25, 2021 “REGULAR MEETING” OF THE WYOMING, MINNESOTA PLANNING COMMISSION AT 8:35 PM.

Roll Call Vote:

Voting Aye: Lobermeier, Murdock, West, Teel, and Carr

Voting Nay: None

Abstain: None

Absent: None

CITY OF WYOMING Planning Commission

TO: Planning Commission
FROM: Tom Ramler-Olson, City Planner
Fred Weck
MEETING DATE: June 8, 2021
RE: Site Plan Review of Project at 5368 266th Street
APPLICANT: PMI Construction Services
OWNER: Widseth Smith and Nolting (WSN)
PROPERTY: PIN 210022600
FILE NO.: Sp-21-001

Requested Action

PMI Construction Services (“applicant”), on behalf of Widseth Smith and Nolting (“property owner”), is requesting a site plan review of a proposal to improve the property 5368 266th Street (“subject property”). Plans provided by the applicant show an expansion to the existing office building along its east side to add a garage for storing engineering and surveying equipment and vehicles. Other improvements proposed by the applicant include a new semicircular driveway from Felton Ave that will provide access to the new garage, resurfacing the subject property’s parking lot, replacing parking lot lighting, and replacing stretches of walkway around the building.

Overview

Comprehensive Plan and Zoning

The subject property is zoned Central Business (CB) whose purpose is described in Division 9 of Article V in the Zoning Ordinance. That purpose is as follows:

“The Central Business district is designed and intended as a specialized district directed to serve the pedestrian in a compact central area of the city. The CB district will provide for high-density shopping and stressing interaction of people and businesses rather than being heavily oriented toward the use of automobiles.”

The subject property is guided City Center in the currently adopted Comprehensive Plan. It describes the City Center land use category thusly:

“The City Center is the location presently known as “downtown” Wyoming and is located east of I-35. City Center is intended to be a developed relatively densely with retail and service businesses, the City Hall, County library and, potentially, high-density housing (apartments).”

A land use objective described in the Comprehensive Plan is to “create a stronger “Downtown Wyoming” that includes shops, offices, high-density housing and public facilities.”” Another applicable land use objective is the following:

“Increase and Improve Commercial and Employment Development: Plan for and allow the creation of additional stores, offices and industries consistent with this comprehensive plan and regulated by a new zoning ordinance. Diversify the range of local employment opportunities. Attract well-paying jobs plus goods and services that are needed locally.”

As its primarily an expansion of the existing structure, the proposal retains its location on the property, setback over 110 feet from the front property line along 266th Street. It also maintains the existing size and location of the parking lot that fronts the building along 266th.

Landscaping and Screening

Numerous alterations are planned to accommodate the proposed garage, access drive, and other work on site. For instance, the applicant is proposing to remove several trees located along the east side that abuts Felton Ave and across the road from a residential district. Per Section 40-556 (3), the applicant is allowed to remove those trees as some are within 15 feet of the proposed driveway on Felton Ave and the others are within 15 feet of a drainage pond. Section 40-555 (1) (a) 4. states that a landscape plan is required when significant trees exist on the site, the contents of which must include items listed in Section 40-555 (1) (b). The applicant has not provided that landscape plan but must do so to comply with the Ordinance. That landscape plan must show a minimum of one overstory tree and two understory trees per 1/10th acre. Other landscaping requirements are listed in Section 40-555 (2).

The removal of the four trees described above will leave the parking lot even more exposed to homes to the east than the current condition. Section 40-720 requires that commercial uses that abut a residential district or are separated from a residential district by only a street other than a collector or arterial shall provide screening along any adjacent side. Section 40-674 goes on further to require that all parking lots with spaces for four (4) or more cars be screened and landscaped from abutting residential uses or districts by a wall, fence, or densely-planted compact hedge or tree cover not less than four (4) feet in height. These conditions should also be addressed in the requested landscape plan.

Drainage

The subject property is located outside of the Comfort Lake Forest Lake Watershed District and will not require permitting through the CLFLWD. Water quality requirements are not triggered based on the proposed increase in impervious cover; however, rate control must be demonstrated for the site. Based on the information provided, it is not clear if rate control is being met.

The applicant is proposing two stormwater basins near the expansion to provide rate control for the site; however, based on the information provided, it is unclear if the basins are proposed to infiltrate. If the applicant is proposing to infiltrate within the basins soil borings or other documentation on the soils should be provided to confirm the basins will infiltrate as designed and to confirm the site will meet rate control requirements.

The emergency overflow elevations and locations for both basins should be noted on the plans. The emergency overflow should be a minimum two feet below the adjacent low building opening to meet freeboard requirements.

The finish floor elevation (FEE) of the proposed garage differs in elevation on sheets C6.0 and C6.0A. The FFE should be consistent on all plan sheets. The FFE should be set at a minimum of 903.15 in order to meet freeboard requirements with respect the adjacent basins.

Seeding should be updated to be shown over the entire south basin if it is proposed as an infiltration basin. It is recommended the applicant seed the basins with a native MnDOT seed mix suitable for wet conditions rather than residential turf.

Garbage Enclosure

Removal plans provided by the applicant show removal of a garbage enclosure to accommodate the garage access drive. However, a replacement for the garbage enclosure is not shown on the site plan or any other drawing. Section 40-723 requires that trash containers provided in conjunction with commercial uses be screened by an enclosure constructed on three (3) sides with break-off block, face brick, or masonry. Other design standards are described further in that Section of the Ordinance.

Access

The City Street Superintendent reviewed the plans and the new driveway access on Felton Ave and saw no issues with what is being proposed.

Existing conditions show there are no sidewalks along any side of the subject property that abuts the right-of-way. They also show a concrete walkway that connects the main access to the edge of the abutting right-of-way, Felton Ave. The applicant plans to remove that walkway, and there are no plans to replace it, which leaves the only access point to the main entry at the driveway entrances to the parking lot. Section 40-690 requires that pedestrian access be provided onto the site. The access should be provided in such a way that minimizes the conflict between pedestrians and traffic at all points of pedestrian access to on-site parking and building entrances. The site plan drawing shows a new walking path between the principal structure and the parking lot. However, it is designed to be only five feet in width, which conflicts with Section 40-692 (2) that states that walkways will be a minimum of 6 feet of unobstructed width.

Lighting

The applicant is proposing to replace lighting along the perimeter of the parking lot. However, a lighting plan did not accompany their application per requirements of Section 40-82. A lighting plan must be provided and consistent with the provisions found in Section 40-565 (2). It must also contain information listed in Section 40-567.

Signs

The owner is moving onto the site from their current location. At their current location, they have signage on the building and a freestanding sign. If the owner plans to install the same signage at the subject property, they will need to provide a signage plan which is required for site plan review per Section 40-82. Any proposed signs must be consistent with standards described in Article VII Division 28.

Site Plan Review and Staff Comments

Per Section 40-80, all applications in the CB District shall be reviewed under the site plan approval process. Standards to be considered for evaluating a site plan are listed in Section 40-86. Those standards are shown below with staff comments in *italics*.

- (1) Consistency with the various elements and objectives of the City's long range plans, including, but not limited to, the Comprehensive Plan

*The proposal is not a full redevelopment; it maintains the existing office use of the structure on the subject property. It improves upon some of the existing conditions by increasing usable space for a new occupant that will allow them to provide better services to their clients and add jobs to the City's Downtown. **This standard has been met.***

- (2) Consistency with the purposes of this Code

*The proposal plans to remove four trees, leaving the parking lot on the subject property exposed to residences and pedestrians to the east and is consequently counterproductive to the walkable nature that the CB District is encouraging. It also removes a walking path that connects pedestrians to the main entrance, further compromising the walkability of the immediate area. These deficiencies have been noted and there is a request for plans to address these issues. **This standard has not been met.***

- (3) Preservation of the site in its natural state, insofar as practicable, by minimizing tree and soil removal, and designing any grade changes so as to be in keeping with the general appearance of neighboring developed or developing areas

*While the applicant has yet to provide a landscape plan, the applicant is proposing to remove only the vegetation that is needed to accommodate the driveway off of Felton Ave. The plan maintains other plantings, such as those along both sides of the parking lot. **This standard has been met.***

- (4) Creation of a harmonious relationship of buildings and open spaces with the terrain and with existing and future buildings having a visual relationship to the proposed development

*The proposed improvements, including the building addition, will not disrupt the existing harmony of other buildings within the area. **This standard has been met.***

- (5) Creation of a functional and harmonious design for structures and site features including:

- a. Creation of an internal sense of order for the various functions and buildings on the site and provision of a desirable environment for occupants, visitors and the general community
- b. Appropriateness of the amount and arrangement of open space and landscaping to the design and function of the development
- c. Appropriateness of the materials, textures, colors and details of construction as an expression the design concept of the project and the compatibility of the same with the adjacent and neighboring structures and functions
- d. Adequacy of vehicular, cycling and pedestrian circulation, including walkways, interior drives and parking, in terms of location and number of access points to the public streets, width of interior drives and access points, general interior circulation, separation of pedestrian, cycling and vehicular traffic and arrangement and amount of parking so as to

be safe, convenient and, insofar as practicable, compatible with the design of proposed buildings, structures and neighboring properties

*The proposal lacks a landscaping plan that must meet requirements of Section 40-555 (2). The applicant must also replace the existing pedestrian path proposed to be removed with a new one. Otherwise, **these standards have been met.***

- (6) Creation of an energy-conserving design through design, location, orientation and elevation of structures, the use and location of glass in structures, and the use of landscape materials and site grading

This standard has been met.

- (7) Protection of adjacent and neighboring properties through reasonable provisions for such matters as surface water drainage, sound and sight buffers, preservation of views, light and air, and those aspects of design, not adequately covered by other regulations, which may have substantial effects on neighboring land uses

*To address those aspects of design that have a substantial effect on neighboring land uses such as the residential uses to the east, the applicant has failed to plan a buffer along the east side of the parking lot as required in Section 40-674. There is still outstanding drainage information that the applicant must provide. Also missing is a replacement for the walkway that brings pedestrians on to the site toward the main building entrance. The plans submitted by the applicant also fail to comply with garbage enclosure standards. **This standard has not been met.***

Staff Recommendation

Staff recommends the site plan review be tabled to give the applicant more time to address the following and revise plans accordingly:

1. A lighting plan consistent with provisions found in Section 40-565 (2) and containing information listed in Section 40-567
2. A landscape plan that includes information listed in Section 40-555 (1) (b) and the required tree plantings per Section 40-555 (2)
3. Parking lot screening consistent with Section 40-674
4. A revised pedestrian walkway proposed between the parking lot and building and new pedestrian walkway to replace the one proposed to be removed, the standards for which are in Section 40-690
5. A sign plan consistent with standards described in Article VII Division 28
6. All outstanding information related to drainage



City Of Wyoming
26885 Forest Blvd., PO Box 188
Wyoming, MN 55092
Phone (651) 462-4947 Fax (651) 462-3938

SITE PLAN REVIEW
LAND USE APPLICATION

A site plan review application requests a use permitted in a particular zoning district, but regulated and controlled through conditions placed upon it by the City Council after review by the Planning Commission.

Property Address: 5368 - 266th Street, Wyoming, MN 55092

Applicant(s) Information:

Name(s) PMI Construction Services
Address 7695 North Shore Circle North
City Forest Lake State MN Zip 55025

Home _____
Work (612) 867-3221
Email pmi@pmihomesinc.com

Owner(s) Information: (if other than Applicant(s))

Name(s) Widseth Smith and Nolting (WSN)
Address 6641 Lake Blvd.
City Forest Lake State MN Zip 55025

Home _____
Work (651) 464-3130
Email tim.m.houle@widseth.com

Owner(s) Signature(s) X Timothy M. Houle

Date May 14, 2021

Legal description of property: Lots 6,9,12, Rogers Addition

Property Identification Number: R.21.00226.00 **Present zoning:** Commercial

Present use of property: Property is currently vacant. Former use was Fairview medical clinic

Proposed use of property: Proposed use is office space for engineers and architects

This application and the following attachments must be submitted to be considered a complete application:

1. A detailed site plan showing the information listed in Section 40 - 82, 1-6 as well as the following:
 - a. The grading and drainage plan must be designed in accordance with Article VII, Division 21 of the Zoning Ordinance and the City of Wyoming Surface Water Resource Guidance Document.
 - b. Elevation drawings of all sides of the proposed building to show compliance with the architectural standards of the zoning district the use will be located in.
 - c. Landscaping and Screening in accordance with Article VII, Divisions 14 & 26.
 - d. Lighting Plan in accordance with Article VII, Division 15.
2. A letter explaining the proposed use and how it will be operated.
3. Applications for uses described in Article VI, Divisions 7, 18, & 19 and Article VII, Divisions 2, 8, 10, 17-20, and 25 of the Zoning Ordinance must include the information necessary to show compliance with the applicable section of the ordinance.
4. Applications for uses that are within the Highway 8 Overlay District or that utilize Highway 8 for access must include the information necessary to show compliance with Article VI, Division 14 of the Zoning Ordinance.
5. The application fee and escrow must be paid at the time of application. The fee is not refundable. The unused portion of the escrow will be returned to the applicant.
6. Any other information deemed necessary by the Zoning Administrator or Planning Commission.

Signature of applicant(s) [Signature] **Date** May 14, 2021

As the applicant for this request, I agree to reimburse the City for all expenses incurred by the City in employing planning, engineering, legal, and other professional consultants in reviewing this application. This may include the replenishment of any escrow funds as required as part of this application. Such costs shall be paid by me, the applicant, regardless of the outcome of the review and prior to commencing any work on the project. All of Article V, Division 4, Site Plan Review is attached to this application and by signing this application, the applicant acknowledges that it has been read and understood.

A public meeting can be scheduled only after a complete application has been received.

Application # Sp-21-001 **OFFICE USE ONLY** **Date Application Received** 5/17/21
Date Complete Application Received 5/17/21 **60 Days** 7/16/21 **By:** [Signature]
Fee \$220.00 + Escrow \$1,000.00 **Date Paid** 5/17/21 **Check #** 14908
Official



7695 North Shore Circle North, Forest Lake, MN 55025 (612) 867-3221 Lic. #BC20628625

May 14, 2021

City of Wyoming
Attn: Fred Weck
26885 Forest Blvd., P.O. Box 188
Wyoming, MN 55092

RE: Building remodel and addition for WSN located at: 5368 - 266th Street, Wyoming, MN 55092, the former Fairview Medical Clinic building.

Per the "SITE PLAN REVIEW LAND USE APPLICATION" that we submitted per the above reference project, and item No. 2 of this application, asking for "A letter explaining the proposed use and how it will be operated", please find below this explanation.

The WSN remodel and addition is for the future use of the WSN Architectural and Engineering firm. They will be using this building for offices in reference to their engineers, architects and surveyors. The addition of the garage is for the storing of engineering and surveying equipment along with survey trucks and vehicles.

These offices will be used during normal business hours, Monday through Friday. No other use is anticipated for this building.

Sincerely,

PMI Construction Services

A handwritten signature in blue ink, appearing to read "Michael Koch", is written over a light blue circular stamp.

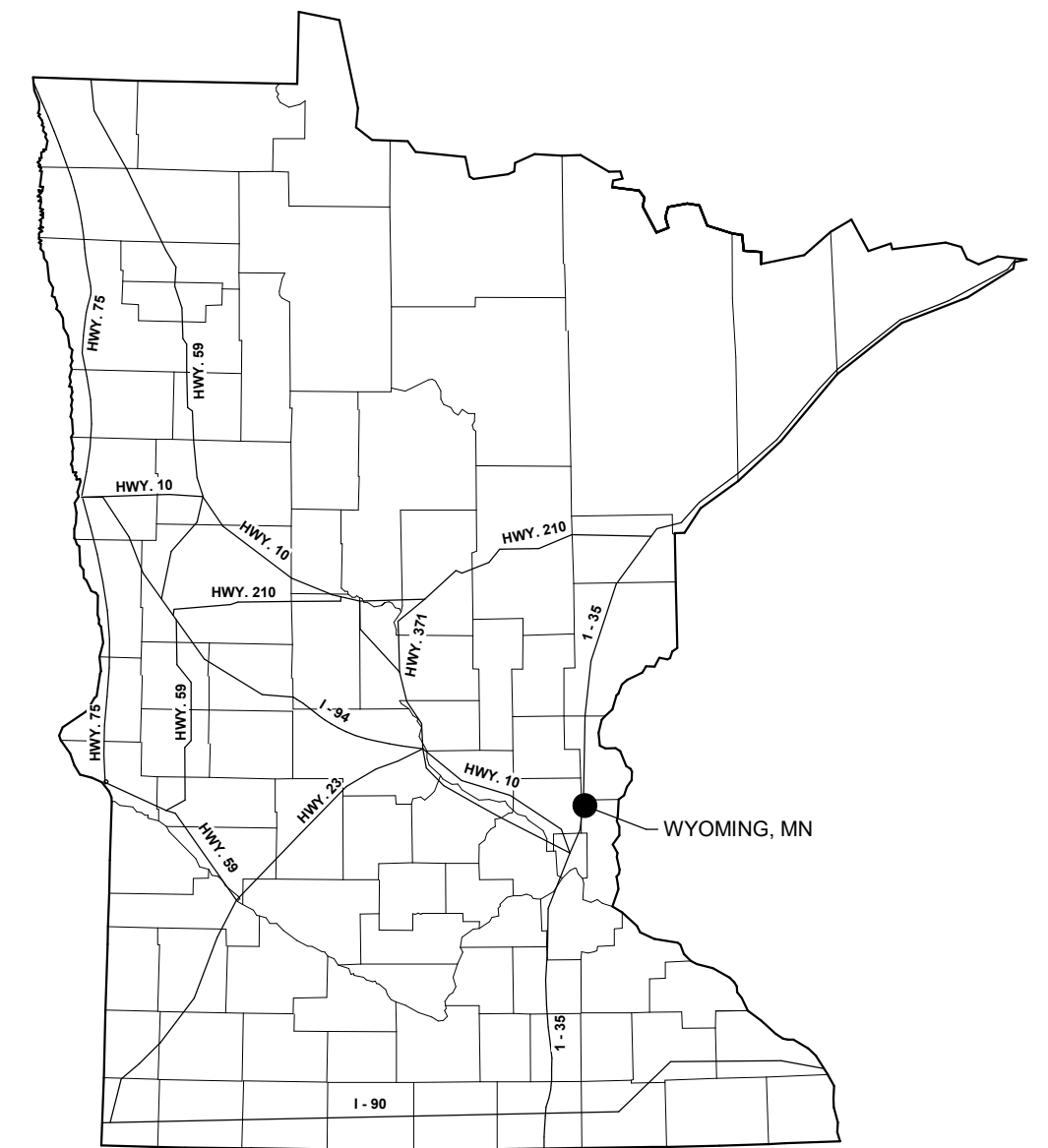
Michael Koch
President

WIDSETH OFFICE REMODEL & ADDITION

WIDSETH
5368 266TH STREET, WYOMING, MN 55092



SHEET INDEX	
SHEET #	SHEET NAME
GENERAL	
G1.1	TITLE SHEET
G1.2	CODE INFO- DOOR CLEARANCE, ACCESS, ROUTES
L1.1	LIFE SAFETY PLAN
CIVIL	
C1.0	TITLE SHEET
C2.0	CIVIL PLAN LEGEND
C3.0	DETAILS
C4.0	EXISTING CONDITIONS AND REMOVALS PLAN
C5.0	SITE PLAN
C6.0	GRADING PLAN
C7.0	UTILITY PLAN
C8.0	EROSION CONTROL PLAN
DEMOLITION	
AD1.10	MAIN LEVEL DEMOLITION PLAN
ARCHITECTURAL	
A1.0	EXISTING PLANS
A1.1	FIRST LEVEL FLOOR PLAN
A1.2	FIRST FLOOR FINISH/ FFBE PLAN
A1.3	ROOF PLAN
A4.10	BUILDING ELEVATIONS, DOOR & WINDOW SCHEDULE
# OF SHEETS: 17	



STATE MAP

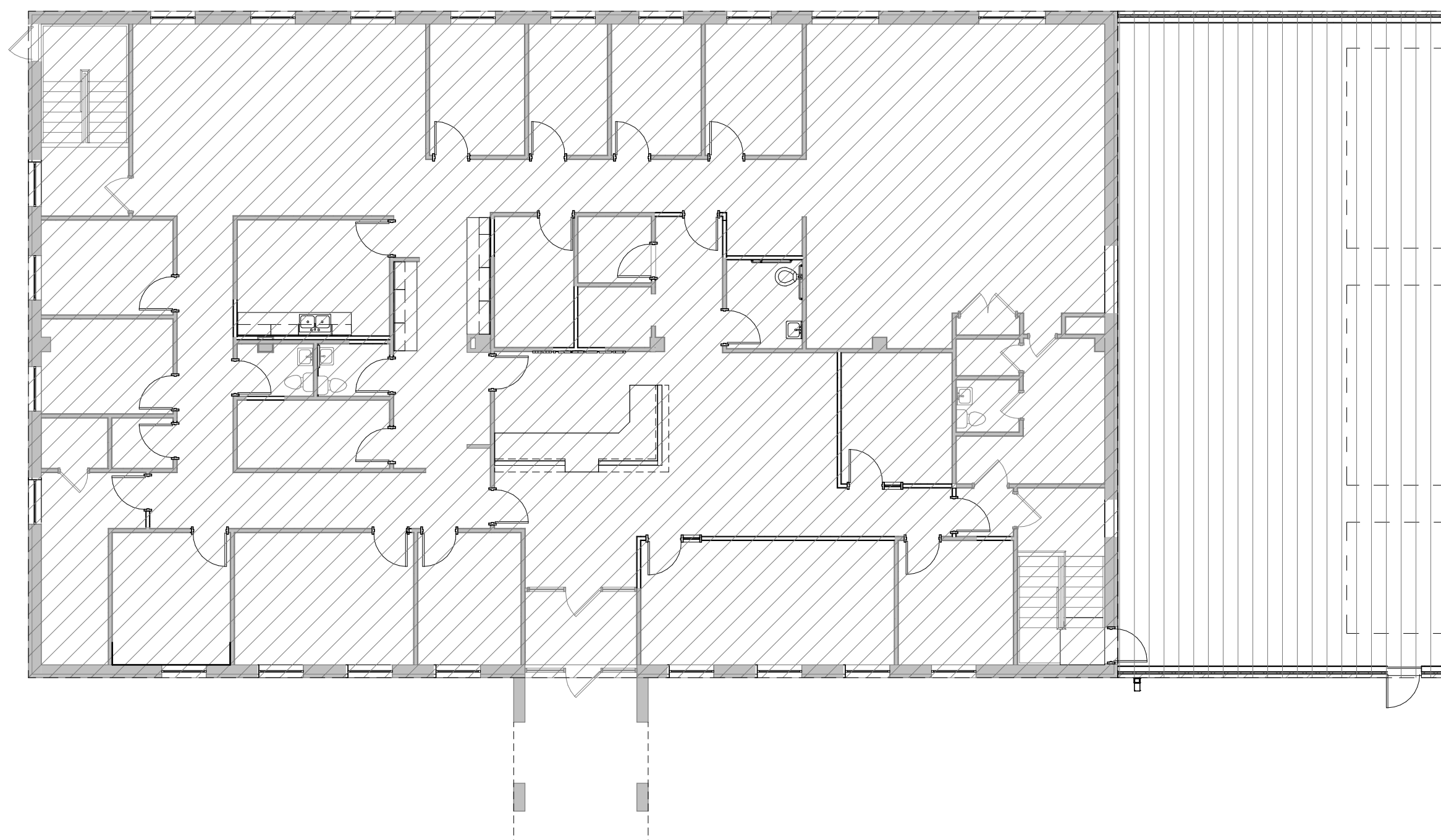
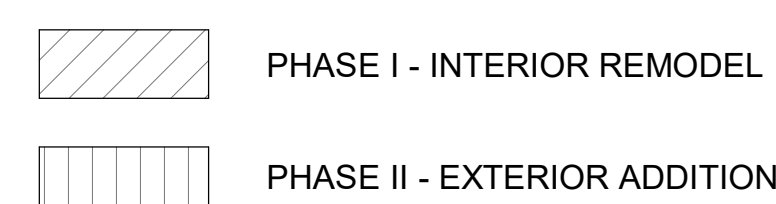


VICINITY MAP

ABBREVIATIONS

AB	AT	ELECT	ELECTRICAL (AL)	LB	LAG BOLT	PWD	PLYWOOD	UG	UNDERGROUND
AP	ABOVE FINISHED FLOOR	EWC	ELECTRIC WATER COOLER	LM	LAMINATE (ED)	PT	POINT	UNF	UNFINISHED
AC	ACCESS PANEL	EL	ELEVATION	LAV	LAVATORY	PSI	POUNDS	UNO	UNLESS NOTED OTHERWISE
ACT	ACOUSTIC CEILING TILE	ELEV	ELEVATOR	LH	LEFT HAND	LSB	POUNDS PER SQUARE INCH	UR	URINAL
AB	AIR CONDITIONING	EQ	EQUIPMENT	LT	LENGTH	PC	PREFINISHED		
AB	ANCHOR BOLT	EQP	EQUIPMENT	LT	LIGHT	PFN	PREFINISHED	VB	VAPOR BARRIER
AL	ALTERNATE	EXIST	EXISTING	LL	LIVE LOAD			VNR	VENER
AL	ALUMINUM	EXP	EXPANSION	LLH	LONG LEG HORIZONTAL	QT	QUARRY TILE	VERT	VERTICAL
Λ	ANGLE	EB	EXPANSION BOLT	LLV	LONG LEG VERTICAL			VEST	VESTIBLE
APX	APPROXIMATE	EJ	EXPANSION JOINT	LVR	LOUVER	QD	RADIUS	VIN	VINYL
ARCH	ARCHITECT (URAL)	EXT	EXTERIOR			REF	REFRIGERATOR	VCT	VINYL COMPOSITE TILE
				MFR	MANUFACTURER	RE	REFRIGERATOR (ED, (ING), (MENT)		
BSMT	BASEMENT	FB	FACE BRICK	MAS	MASONRY	REQ'D	REQUIRED	WH	WALL HUNG
BM	BEAM OR BENCHMARK	FOC	FACE OF CONCRETE	MAO	MASONRY OPENING	RE	RETURN AIR	WC	WATER CLOSET
BRG	BEARING	FOM	FACE OF MASONRY	MAT	MATERIAL (S)	REV	REVISION	WFO	WATERPROOFING
BPL	BEARING PLATE	FOS	FACE OF STUDS	MAX	MAXIMUM	REV	REVISION	WWF	WELDED WIRE FABRIC
BLT	BUTIMINOUS	FIN	FINISH	MECH	MECHANICAL	RH	RIGHT HAND	W	WEST OR WIDTH, WIDE
BK	BLOCK	FNE	FINISHED FLOOR ELEVATION	MC	MEDICINE CABINET	ROW	RIGHT OF WAY	W	WINDOW
BRG	BLOCKING	FRBK	FIRE BRICK	MED	MEDIUM	R	RIGID	WG	WIRED GLASS
BRK	BRICK	FE	FIRE EXTINGUISHER	MEM	MEMBER	RD	ROOF DRAIN	WM	WIRE MESH
BLDG	BUILDING	FEC	FIRE EXTINGUISHER CABINET	MMB	MEMBRANE	RM	ROOM	W	WITH
		FP	FIRE PROOF	MT	METAL	RO	ROUGH OPENING	WO	WITHOUT
CAB	CABINET	FLG	FLASHING	M-L	MICROLAM	SND	SANITARY NAPKIN DISPENSER	WO	WOOD
CPT	CARPET (ED)	FLR	FLOOR (ING)	MNL	MINIMUM	SNR	SANITARY NAPKIN RECEPTOR	WI	WROUGHT IRON
CSMT	CASEMENT	FDD	FLOOR DRAIN	MIR	MIRROR	SCH	SCHEDULE		
CB	CAST IRON	FT	FOOT	MISC	MISCELLANEOUS	SEC	SECTION		
CB	CATCH BASIN	FTG	FOOTING	MISC	MISCELLANEOUS	SEC	SECTION		
CLG	CEILING	FND	FOUNDATION	MLD	MOLDING	SHT	SHEET		
C	CENTERLINE	FRA	FREIGHT AIR	MOUNT	MOUNT (ED), (ING)	SH	SHEDDING		
C	CHANNEL	FBO	FURNISHED BY OTHERS	MULL	MULLION	SIM	SIMILAR		
CHBD	CHALKBOARD	FUR	FURRED(ING)			SC	SOLID CORE		
C	CLEANOUT	FUT	FUTURE	NOM	NOMINAL	SAB	SOUND ATTENUATING BATT INSULATION		
CLR	CLEAR			N	NORTH	SP	SOUNDPROOF		
COL	CLOSET	GAL	GALVANIZED	NTS	NOT IN CONTRACT	S	SOUTH		
CL	COLUMN	GI	GALVANIZED IRON	NTS	NOT TO SCALE	SPK	SPEAKER		
CNCR	CONCRETE	GA	GALV	NO	NUMBER	SPEC	SPECIFICATION (S)		
CMU	CONCRETE MASONRY UNIT	GC	GENERAL CONTRACTOR	OC	ON CENTER	SQ	SQUARE		
CONST	CONSTRUCTION	GL	GLASS	OPP	OPPOSITE	SS	STAINLESS STEEL		
CONT	CONTINUOUS	GB	GRAB BAR	OSB	ORIENTED STRAND BOARD	STD	STANDARD		
CONTR	CONTRACTOR	GD	GRADE(ING)	OSB	ORIENTED STRAND BOARD	ST	STEEL		
CJT	CONTROL JOINT	GYF BD	GYPSUM BOARD	OD	OUTSIDE DIAMETER	SJ	STEEL JOIST		
				OA	OVERALL	STO	STORAGE		
				OH	OVERHEAD	STR	STRUCTURAL		
DL	DEAD LOAD	HDW	HARDWARE	PNT	PAINT	SUS	SUSPENDED		
°	DEGREE(S)	HDR	HEADER	PAR	PAPER	SYM	SYMMETRICAL		
DEPT	DEPARTMENT	HTG	HEATING	PNT	PAINT	SYS	SYSTEM		
DETAL	DETAIL	HVAC	HEATING/VENTILATION/AIR CONDITIONING	PNL	PANEL				
DIAM	DIAMETER	HD	HEAVY DUTY	PNL	PANEL				
DIM	DIMENSION	HT	HEIGHT	PB	PANIC BAR	TKBD	TACK BOARD		
DPR	DISPENSER	HC	HOLLOW CORE	PTD	PAPER TOWEL DISPENSER	TKS	TACK STRIP		
DR	DOOR	HM	HOLLOW METAL	PTR	PAPER TOWEL RECEPTOR	TEL	TELEPHONE		
DH	DOUBLE HUNG	HOR	HORIZONTAL	PAB	PARALLEL	TV	TELEVISION		
DN	DOWN	HB	HOSE BIBB	PAR	PARTICLE BOARD	THZ	TERRAZZO		
DN	DOWNSPOUT	HWH	HOT WATER HEATER	PTH	PARTITION	THK	THICK (NESS)		
DWG	DRAWING	HR	HOUR	PVMT	PAVEMENT	THR	THRESHOLD		
DF	DRINKING FOUNTAIN			PERF	PERFORATE (ED)	TPNT	TOILET PARTITION		
		ID	INSIDE DIAMETER	PERI	PERIMETER	TPD	TOILET PAPER DISPENSER		
E	EAST	INS	INSULATE (D),(ION),(ING)	PLAS	PLASTER	T&G	TONGUE AND GROOVE		
EA	EACH	INT	INTERIOR	PLAM	PLASTIC LAMINATE	TOB	TOP OF BLOCK		
EAF	EACH FACE	PL OR P		PLAM	PLATE	TOD	TOP OF DECK		
EW	EACH WAY	PLBG	PLUMBING	±	PLUS OR MINUS	TOS	TOP OF STEEL		
		JT	JOINT	±	PLUS OR MINUS	T	TREAD		
		JO	JOIST						

CONSTRUCTION PHASING PLAN



DESIGN TEAM:

ARCHITECTURAL: Wideths Smith Notling & Assoc.
3777 40th St NW, Suite 200
Rochester, MN 55901
Phone: (507) 292-8743

CIVIL: Wideths Smith Notling & Assoc.
3777 40th St NW, Suite 200
Rochester, MN 55901
Phone: (507) 292-8743

STRUCTURAL: Wideths Smith Notling & Assoc.
610 Fillmore St
Alexandria, MN 56308
Phone: (320) 762-8149

MECHANICAL: Wideths Smith Notling & Assoc.
7804 Industrial Park Rd S
Baxter, MN 56425

ELECTRICAL: Wideths Smith Notling & Assoc.
2825 24th Avenue South
Suite 201
Grand Forks, ND 58208

PROJECT NAME: WIDSETH OFFICE REMODEL & ADDITION
PROJECT ADDRESS: 5368 266TH STREET, WYOMING, MN 55092
PROJECT #: 2019-12733

WIDSETH
ARCHITECTS ■ ENGINEERS ■ SCIENTISTS ■ SURVEYORS

[illegible]

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA

DATE:
03-20-2021

G1.1

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CODE REVIEW DATA

CODE DATA:

MINNESOTA STATE BUILDING CODE - 2020
ASHRAE ENERGY CODE - 90.1 - 2010
MINNESOTA ACCESSIBILITY CODE - 2020
MINNESOTA STATE FIRE CODE - 2020
MINNESOTA MECHANICAL AND FUEL GAS CODES - 2015
MINNESOTA STATE PLUMBING CODE - 2020
NATIONAL ELECTRICAL CODE - 2020
NFPA 72

PROJECT DESCRIPTION:

Remodel of an existing clinic building into an office building.
Construct an addition that will serve the building as a garage for a fleet of survey trucks.

BUILDING PLANNING: (Chapters 3, 4, 5, 6)

Occupancy Classification: (302-312, 508, 509):
Business Group B
Utility Group U

GENERAL BUILDING LIMITATIONS: (Chapters 5 & 6)

Address Identification (501.2):
5368 266th Street
Wyoming, MN 55092

Construction Classification (602):

Existing Building: Type IIB
Building Addition: Type VB

Building Area (Table 506.2)

Existing Building (B Occupancy)
Allowable Building Area: 23,000 s.f.
Existing Lower Level Building Area: 5,880 s.f.
Existing First Floor Building Area: 5,880 s.f.
Building Addition (U Occupancy)
Allowable Building Area: 5,500 s.f.
Proposed First Floor Addition Building Area: 1,840 s.f.

Building Height (Table 504.3):

Existing Building (B Occupancy)
Allowable Building Height: 55' (2 Stories)
Existing Building Height: 20' (2 Stories)
Building Addition (U Occupancy)
Allowable Building Height: 40' (1 Story)
Proposed Building Height: 17' (1 Story)

Separation (Table 508.4)

2 hour fire wall required between B and U Occupancies
2 hour fire wall consists of existing U902 Listed Assembly (4 hour assembly)
Proposed infill of this existing wall will also be U902 Listed Assembly (4 hour assembly)

OCCUPANT NEEDS: (Chapter 10, 11, 12)

Occupant Load: (1004.1.2 and Table 1004.5, 1004.4)
5,554 sf S Occupancy is 300 occ/sf = 19 occ (Lower Level)
296 s.f. S Occupancy is 300 occ/sf = 1 occ (First Floor)
2,662 sf B Occupancy is 150 occ/sf = 18 occ
1,840 sf U Private Parking Garage Occupancy is 200occ/sf = 9 occ
550 sf A Unconcentrated Occupancy is 150occ/sf = 37 occ
Total building occupancy: 63 occ.

Capacity of Egress Components

Egress width (inch/occupant)
Required: 16"
Provided: 144"

Capacity of Stair Egress Components

Egress width (inch/occupant)
Required: 24"
Provided: 42"

Minimum number of Exits Table 1006.3.2 = <X> Required

Exit Signs (1013)

Provided at exit discharge.

Exit Access (1006.2)

Common Path of Egress Travel (Table 1006.2.1):

Exit Access Travel Distance (1017, Table 1017.2)
Maximum Travel Distance Allowed: 250'

Exit Discharge (1028):

Access to a Public Way (1028.5):

ACCESSIBILITY: (Chapter 11 of 2018 IBC w/ MN Amendments)

See Accessibility Standards sheet for dimensional requirements.

General Exceptions (1103.2)

Employee Work Areas (1103.2.2)
Limited Access Spaces (1103.2.7)
Equipment Spaces (1103.2.9)

EXTERIOR WALLS: (Chapter 14)

Installation of Wall Coverings (1405)
Weather Protection (1405.2, Table 1405.2)
Vapor Retarders (1405.3)

SPECIAL INSPECTIONS AND TESTS: (Chapter 17)

Required Verification and Inspection (1703):
See structural notes on structural drawings for additional information.
Steel Construction (1705.2, Table 1705.2)
Concrete Construction (1705.3, Table 1705.3)
Soils (1705.6, Table 1705.6)

PLUMBING SYSTEMS: (Chapter 29)

Total BLDG occ: 83

Occupancy Load by Sex:

Male: 42

Female: 42

Waterclosets (Table 2902.1)

Req'd:

Male: 2 per 50 = X WC

Female: 2 per 50 = X WC

Provided:

Male: 2 WC

Female: 2 WC

Lavatories (Table 2902.1)

Req'd:

Male: 2 per 80 = 1 lavatory

Female: 2 per 80 = 1 lavatory

Provided:

Male: 2 lavatory

Female: 2 lavatory

Drinking Fountains (Table 2902.1)

Req'd: 1 per 1,000

Provided: 1

Service Sink (Table 2902.1)

Req'd: 1

Provided: 0

Culligan water will be available in the employee breakroom.

Bottled water will be available in the conference rooms.

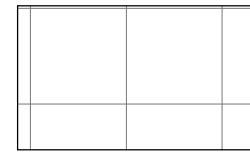
Signage (2902.4)

ADA accessible restroom signage will be installed.

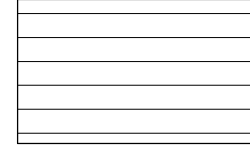
SAFEGUARDS DURING CONSTRUCTION: (Chapter 33)

Safeguards required under Chapter 33 shall be provided and maintained by the contractor.

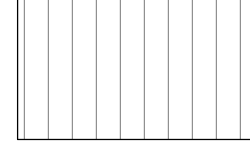
OCCUPANT LOAD LEGEND



UTILITY



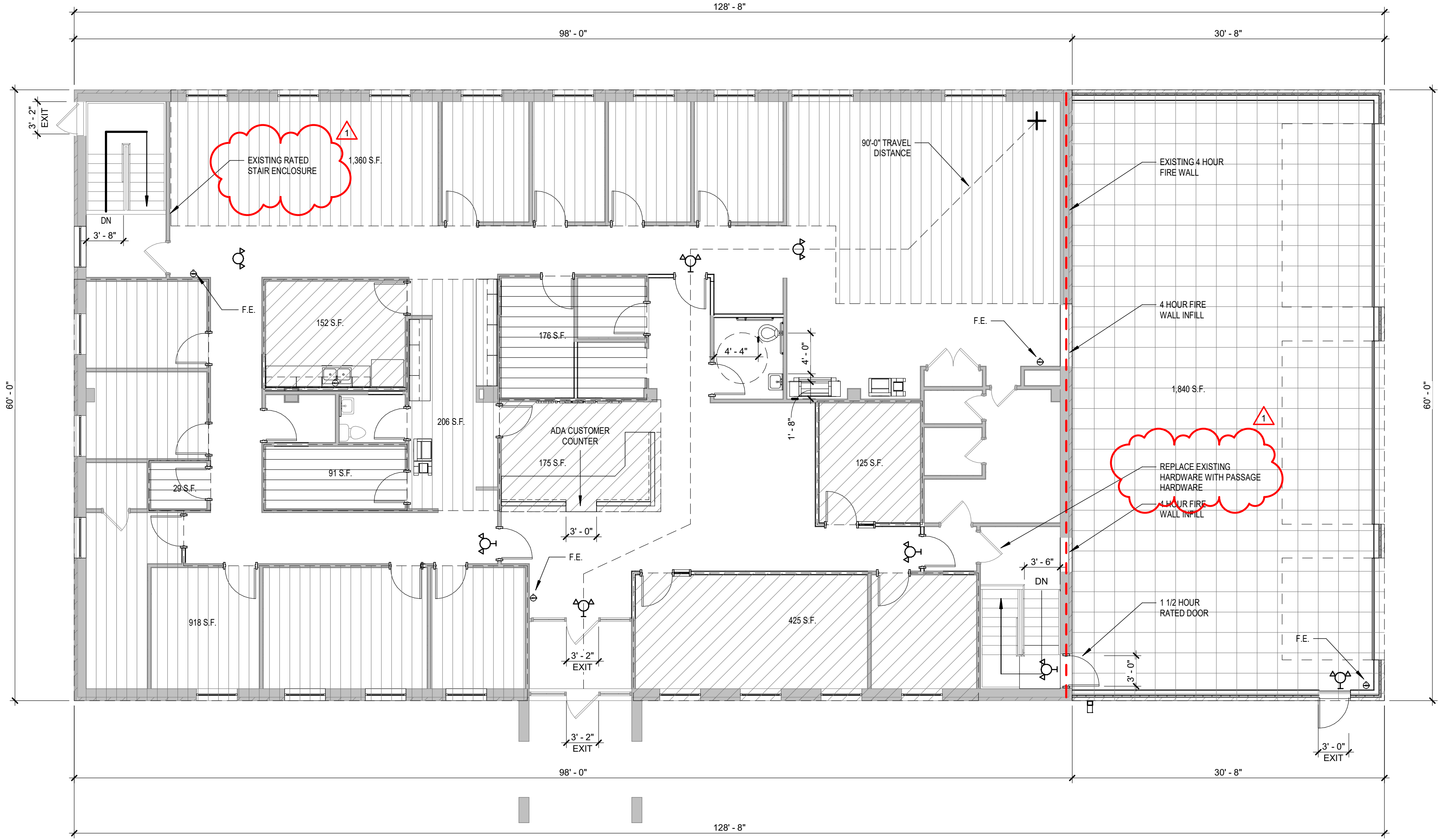
STORAGE



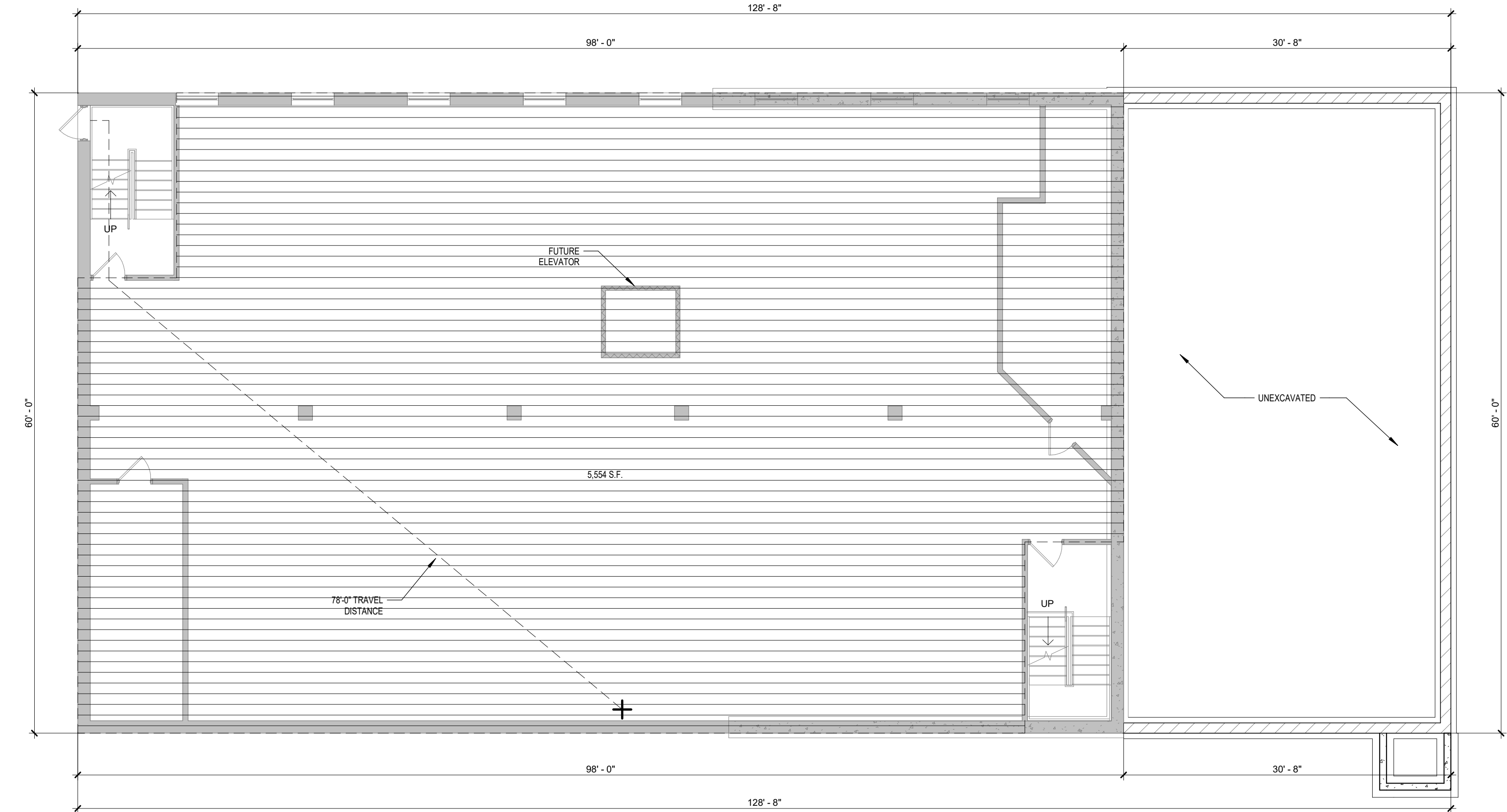
OFFICE



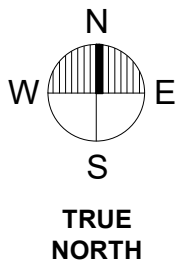
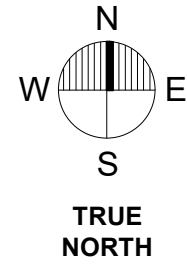
ASSEMBLY



1 FIRST FLOOR LIFE SAFETY PLAN
1/8" = 1'-0"



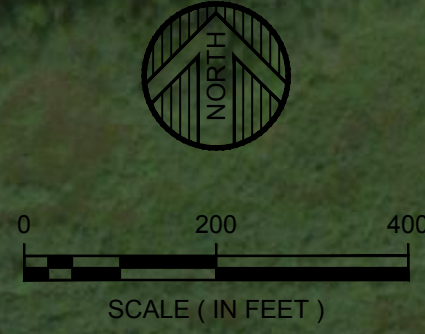
2 LOWER LEVEL LIFE SAFETY PLAN
1/8" = 1'-0"



DATE	REV#	REVISIONS DESCRIPTION	BY
2021-05-10	1		

DATE:	04-21-2021
SCALE:	As indicated
DRAWN BY:	SKK
CHECKED BY:	MJA
JOB NUMBER:	2019-12733

CITY OF WYOMING, MN



SHEET NUMBERS	SHEET TITLE
C1.0	TITLE SHEET
C2.0	CIVIL PLAN LEGEND
C3.0	DETAILS
C4.0	EXISTING CONDITIONS AND REMOVALS PLAN
C5.0	SITE PLAN
C6.0	GRADING PLAN
C7.0	EROSION CONTROL PLAN

THE 2018 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND THE 2014 EDITION OF THE "MATERIALS LAB SUPPLEMENTAL SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN.

MAYOR
LISA IVERSON
CITY COUNCIL MEMBERS
LINDA NANKO YEAGER
CLAIRE LUGER
BRETT OHNSTAD
DENNIS SCHILLING
CITY ADMINISTRATOR
ROBB LINWOOD
ZONING ADMINISTRATOR
FRED WECK
PUBLIC WORKS DIRECTOR
CHUCK ALMHJELD



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT
 WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND
 THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER
 THE LAWS OF THE STATE OF MINNESOTA.

Timothy M. Houle

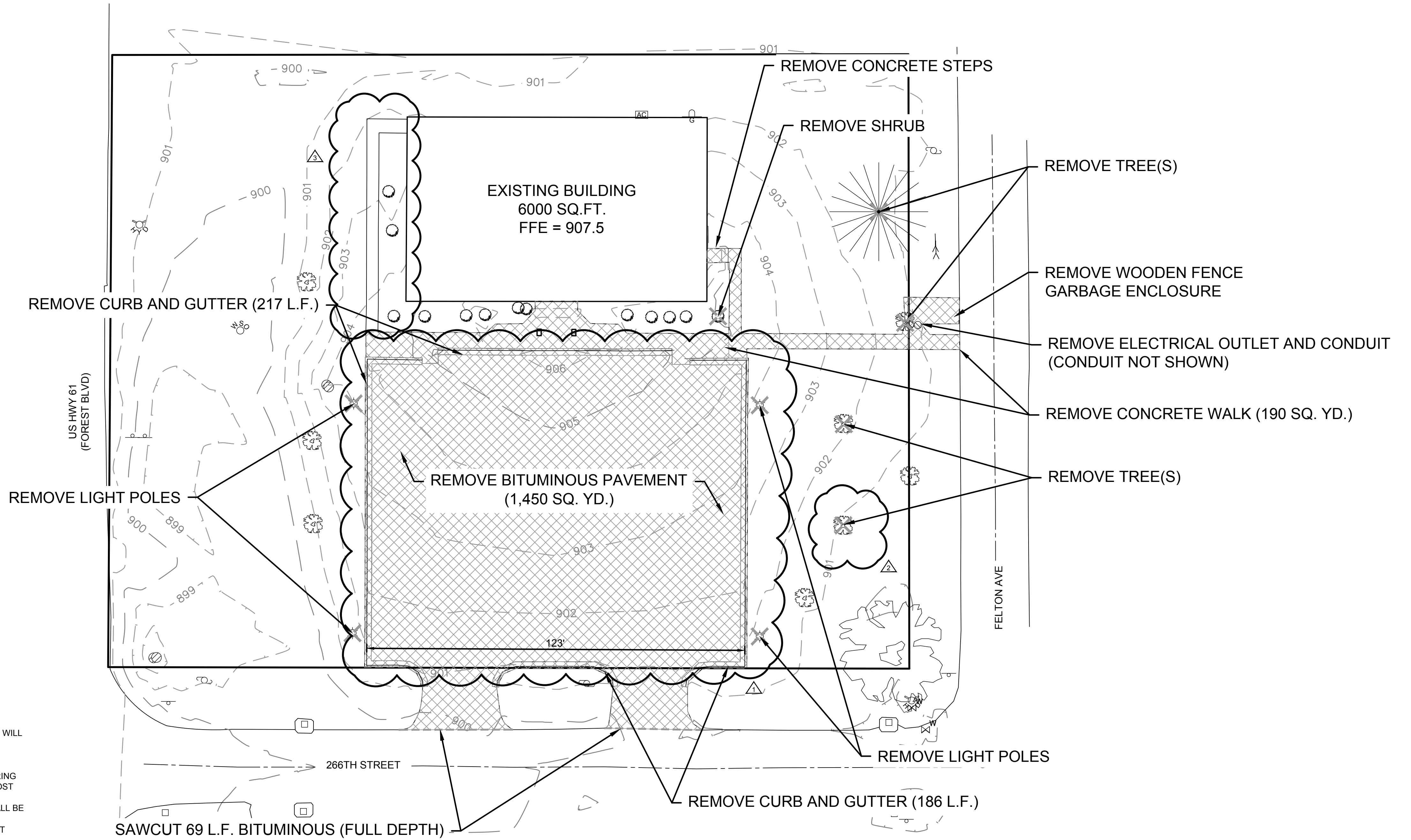
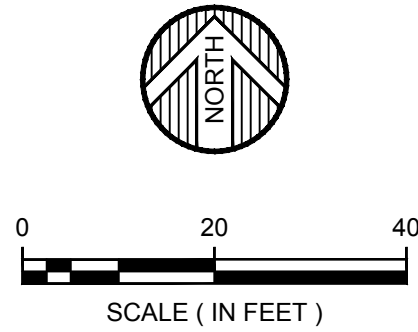
TIMOTHY M. HOULE DATE 4/21/2021 LIC. NO. 25132

DATE	REV#	REVISIONS DESCRIPTION	BY
04/09/2021	1	EDIT OFFICIALS AND SHEET INDEX TABLE	

DATE:	JANUARY 2021
SCALE:	AS SHOWN
DRAWN BY:	ERY/JWR
CHECKED BY:	TMH
JOB NUMBER:	2019-12733

NEW WIDSETH OFFICE
WIDSETH
WYOMING, MN
TITLE SHEET

SHEET NO.
C1.0



GENERAL DEMOLITION NOTES:

- THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS UTILITY QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CII/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA".
- PRIVATE UTILITY LOCATES ARE TO BE COORDINATED WITH THE ENGINEER. THE PRIVATE LOCATES WILL BE DONE BY GOPHER STATE ONE CALL. ALL EROSION CONTROL MEASURES AS SHOWN ON THE EROSION CONTROL PLAN ARE TO BE IN PLACE PRIOR TO BEGINNING REMOVALS.
- CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, CONCRETE PAVEMENT, BITUMINOUS PAVEMENT, BUILDINGS, LIGHT POLES & BASES, ETC. NOT NOTED FOR DEMOLITION & REMOVAL DURING REMOVALS. ANY DAMAGED STRUCTURES TO REMAIN SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER.
- ALL SAWCUT EDGES IN CONCRETE WALK, CONCRETE PAVEMENT AND BITUMINOUS PAVEMENT SHALL BE PROTECTED AFTER REMOVALS THROUGH THE DURATION OF THE PROJECT. PAYMENT FOR SAWCUTTING WILL BE MADE ONLY ONCE. ADDITIONAL SAWCUTTING TO MAINTAIN A CLEAN SAWCUT EDGE WILL BE AT THE EXPENSE OF THE CONTRACTOR.
- ALL MATERIALS IDENTIFIED FOR REMOVAL SHALL BE DISPOSED OFF SITE IN ACCORDANCE WITH STATE AND LOCAL LAWS.

GENERAL CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER OF ANY DIFFERENCES BETWEEN THE FIELD AND PLAN.
- UNLESS OTHERWISE NOTED, ALL MATERIALS, CONSTRUCTION TECHNIQUES AND TESTING SHALL CONFORM TO THE 2013 EDITION OF THE "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION, WATERMAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA AND THE "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AS PUBLISHED BY THE MINNESOTA DEPARTMENT OF TRANSPORTATION, 2018 EDITION. THE CONTRACTOR SHALL REQUIRE ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.
- THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMISSION/PERMITS FOR ALL WORK LOCATED OUTSIDE OF THE MUNICIPAL RIGHT-OF-WAY AND PROPERTY LIMITS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING INVERT LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.

DATE	REVISION DESCRIPTION	BY
04/09/21	BITUMINOUS REMOVAL QUANTITY	
04/09/21	REMOVE TREE	
04/18/21	NOT REMOVING WEST SIDEWALK	

JANUARY 2021	AS SHOWN	ERY/JWR	TMA
DATE:	SCALE:	DRAWN BY:	CHECKED BY:
JOB NUMBER: 2019-12733			

NEW WIDSETH OFFICE	EXISTING CONDITIONS AND REMOVALS PLAN
WIDSETH	
WYOMING, MN	

INITIAL PARKING CALCULATIONS
CITY OF WYOMING CITY CODE, DIVISION 23. OFF-STREET PARKING, LOADING, AND STORAGE
SEC. 40-672(2) - CALCULATING SPACE: INDICATES EXTERIOR FLOOR AREA MULTIPLIED BY THE NUMBER OF FLOORS MINUS 10%
SEC. 40-682 - NUMBER OF REQUIRED PARKING AND LOADING SPACES
OFFICE BUILDING, PROFESSIONAL OFFICES, BANKS: 1 SPACE FOR EACH 250 SQ. FT. OF GROSS FLOOR AREA
BUILDING 60' X 100' X 1 (UPPER) FLOOR - 10% = 6,000 SQ FT - 600 SQ FT = 5,400 SQ FT / 250 SQ FT PER PARKING STALL = 22 STALLS REQUIRED
33 STALLS PROVIDED - OK

DO NOT INTEND TO INITIALLY USE THE BASEMENT / LOWER FLOOR, WHICH HAS A BANK OF WINDOWS ALONG THE BACK (NORTH) SIDE.

FUTURE PARKING CALCULATIONS

IN THE FUTURE, WE MAY LOOK AT PUTTING OFFICES IN THE LOWER FLOOR ALONG THE BACK SIDE.

60' X 100' X 1 UPPER FLOOR - 10% = 6,000 SQ FT - 600 SQ FT = 5,400 SQ FT / 250 SQ FT PER PARKING STALL = 22 STALLS REQUIRED
12' X 100' X 1 LOWER FLOOR OFFICES = 1,200 SQ FT / 250 SQ FT PER PARKING STALL = 5 STALLS REQUIRED
= 27 STALLS REQUIRED
33 STALLS PROVIDED - OK

EVEN IF BACK SIDE OF THE LOWER FLOOR WAS SPLIT INTO 12' DEEP BY 10' WIDE OFFICES = 10 OFFICES = 10 STALLS; 22 STALLS FROM
UPPER FLOOR + 10 STALLS FROM LOWER FLOOR = 32 STALLS
33 STALLS PROVIDED - OK

ACCESSIBLE SPACES

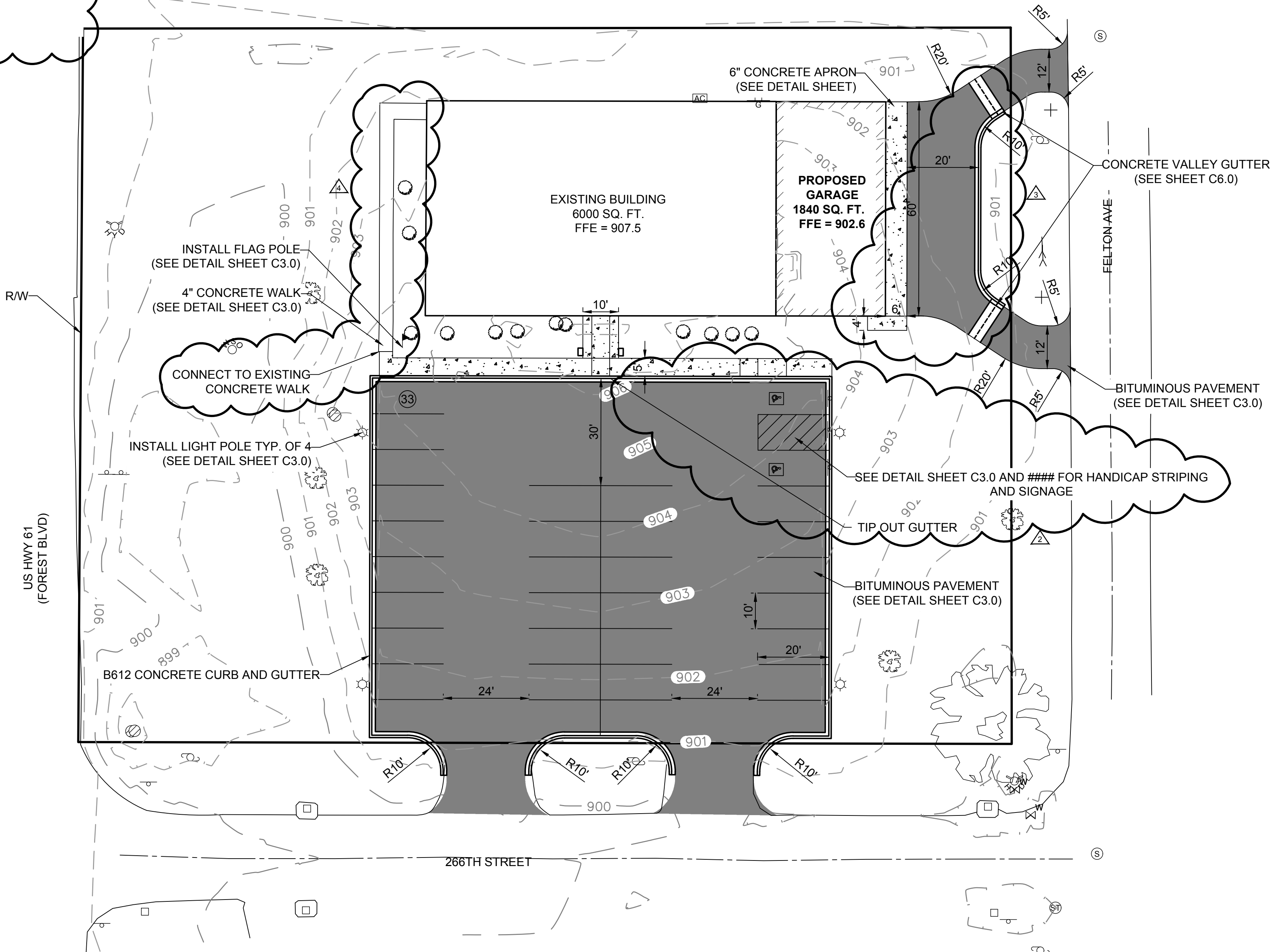
TOTAL SPACES 1 TO 25 = 1 ACCESSIBLE SPACE REQUIRED
TOTAL SPACES 26 TO 50 = 2 ACCESSIBLE SPACES REQUIRED
33 TOTAL SPACES - 2 ACCESSIBLE SPACES AND AN ADJACENT NO PARKING ACCESS AISLE PROVIDED
TWO SPACES CAN SHARE AN ADJACENT NO PARKING ACCESS AISLE.

GENERAL SITE PLAN NOTES:

- THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-2, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION FO EXISTING SUBSURFACE UTILITY DATA".
- CONTRACTOR SHALL CALL GOPHER STATE ONE CALL PRIOR TO BEGINNING REMOVALS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER AND ENGINEER OF ANY DIFFERENCES BETWEEN THE FIELD AND PLAN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL AND SHALL BE IN COMPLIANCE WITH THE MINNESOTA UNIFORM TRAFFIC CONTROL DEVICES MANUAL AND TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS FIELD MANUAL. THE TRAFFIC CONTROL SHALL BE APPROVED BY THE CITY PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMISSION/PERMITS FOR ALL WORK LOCATED OUTSIDE OF THE MUNICIPAL RIGHT-OF-WAY AND PROPERTY LIMITS.
- ALL CURB TO MEET MINNESOTA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS FOR A TYPE "B618 CURB & GUTTER", UNLESS PLANS ARE MARKED OTHERWISE.
- ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RADII ARE 5.0 FEET TO FACE OF CURB UNLESS OTHERWISE NOTED

GENERAL CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER OF ANY DIFFERENCES BETWEEN THE FIELD AND PLAN.
- UNLESS OTHERWISE NOTED, ALL MATERIALS, CONSTRUCTION TECHNIQUES AND TESTING SHALL CONFORM TO THE 2013 EDITION OF THE "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION, WATERMAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA AND THE "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AS PUBLISHED BY THE MINNESOTA DEPARTMENT OF TRANSPORTATION, 2018 EDITION. THE CONTRACTOR SHALL REQUIRE ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.
- THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMISSION/PERMITS FOR ALL WORK LOCATED OUTSIDE OF THE MUNICIPAL RIGHT-OF-WAY AND PROPERTY LIMITS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING INVERT LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.



I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Timothy M. Houle
TIMOTHY M. HOULE DATE: 4/21/2021 LIC. NO. 24132

DATE	REVISION	DESCRIPTION	BY
04/08/21	1	ADD PARKING NOTES	
04/08/21	2	RELOCATE HC STALLS & CALL TIP OUT GUT	
04/08/21	3	ADD VALLEY GUTTERS AND SIDEWALK	
04/19/21	4	NOT REPLACING WEST SIDEWALK	

DATE: JANUARY 2021
SCALE: AS SHOWN
DRAWN BY: ERYJWR
CHECKED BY: THH
JOB NUMBER: 2019-12733

NEW WIDSETH OFFICE
WIDSETH
WYOMING, MN
SITE PLAN

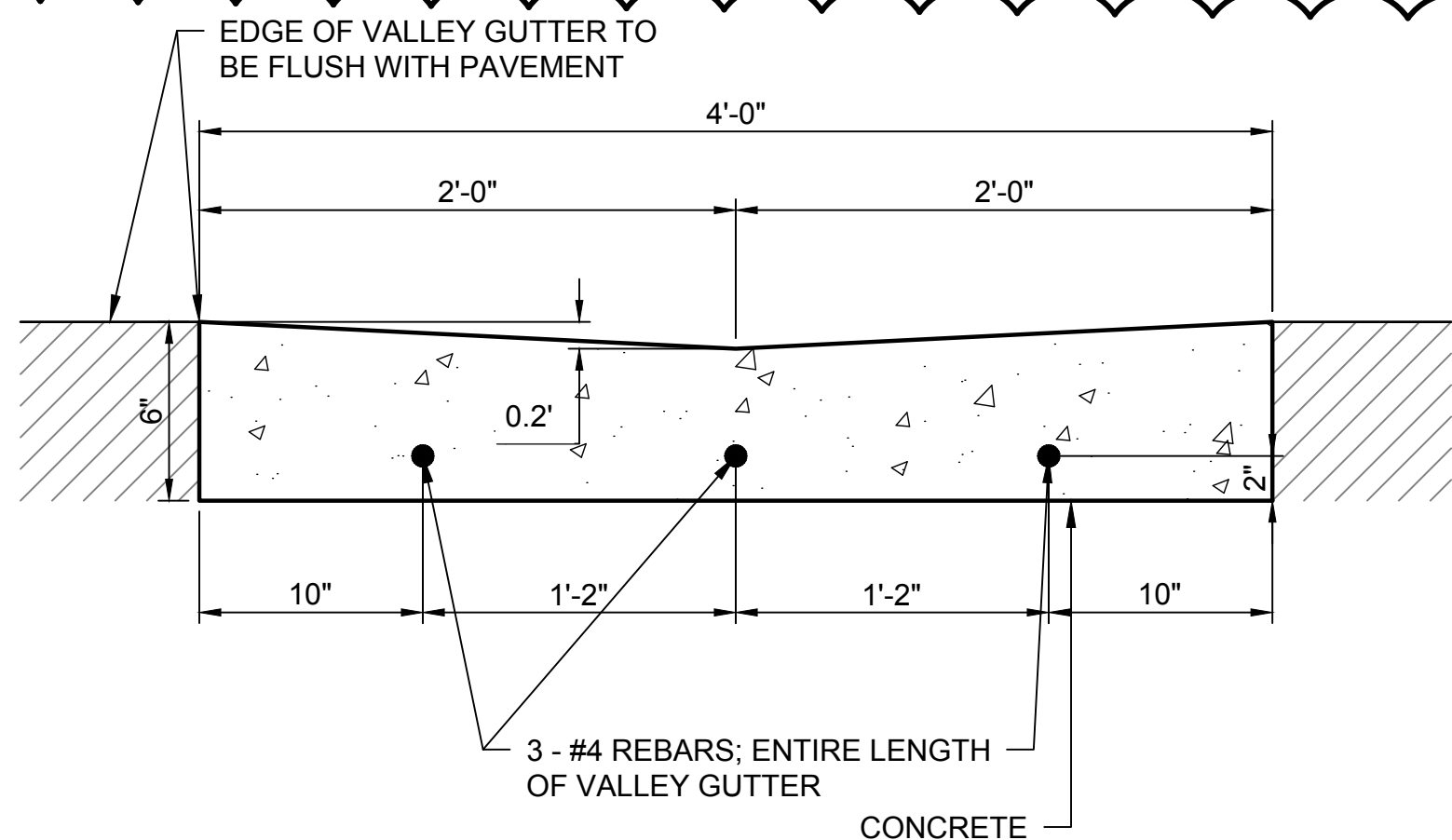
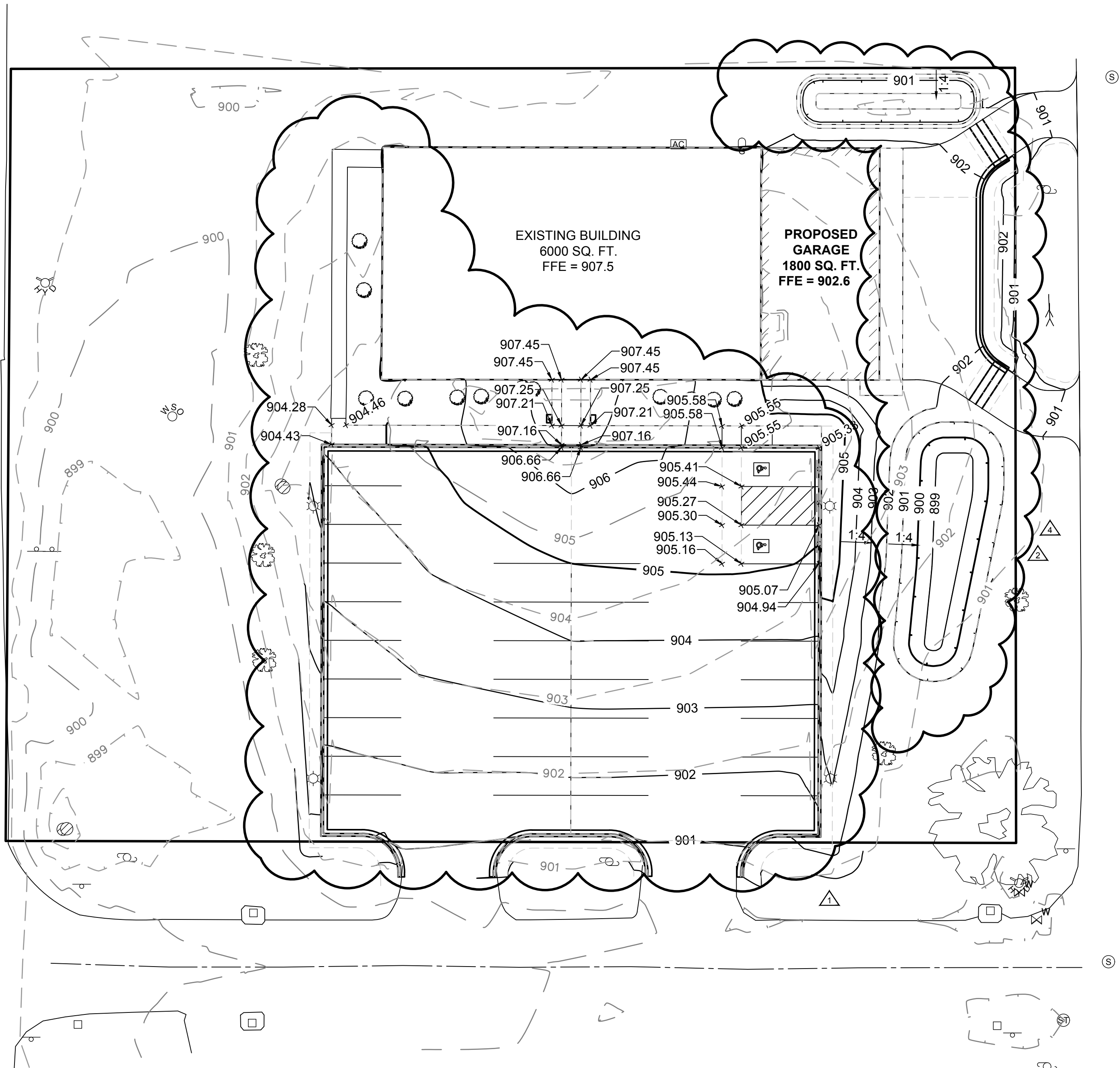
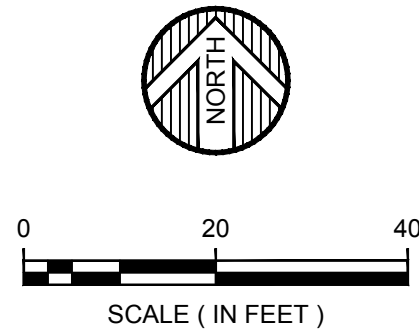
SHEET NO.
C5.0

GENERAL GRADING NOTES:

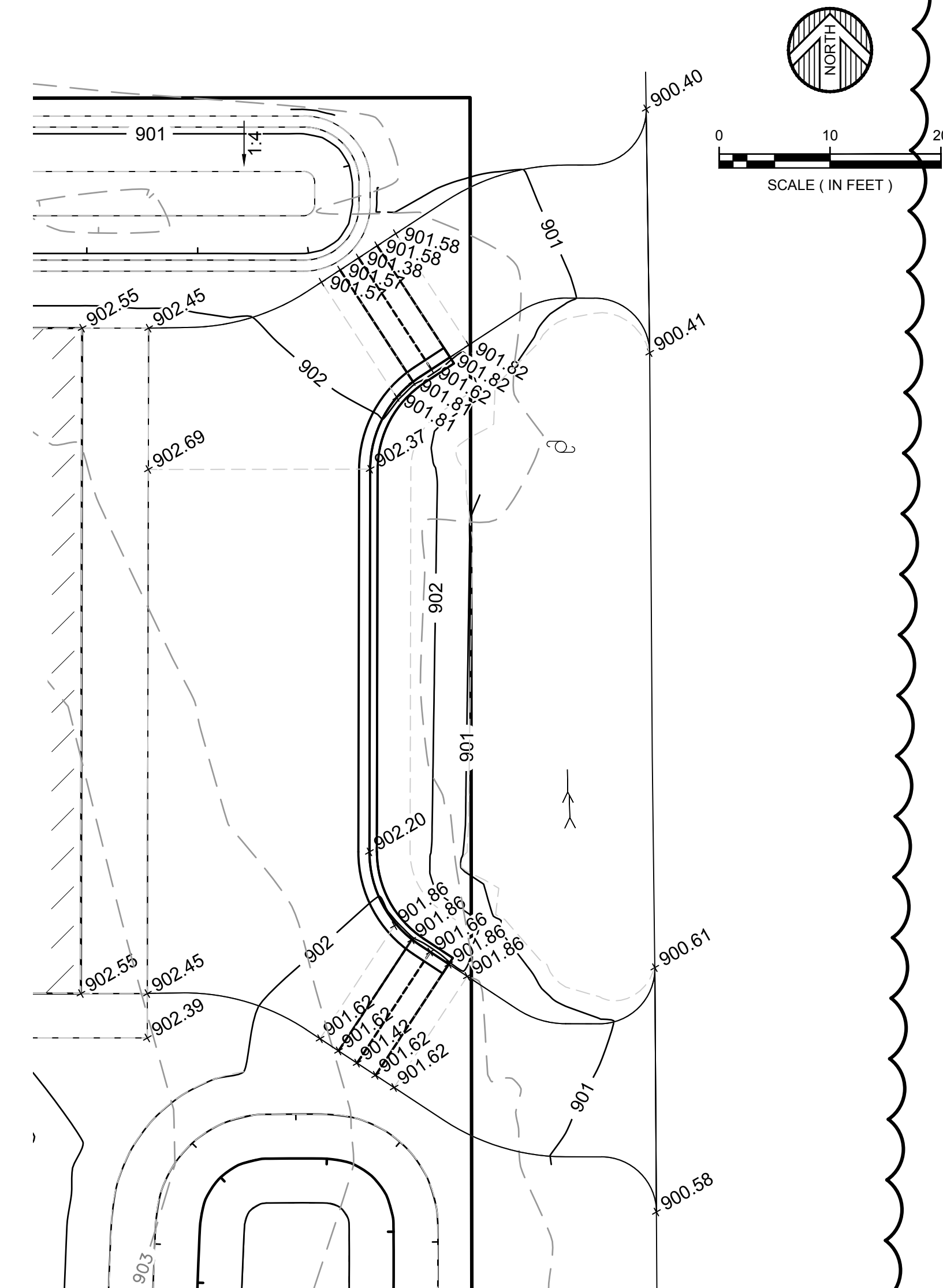
- THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-2, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA".
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
- HAULING HOURS MUST BE CONFIRMED WITH THE CITY PRIOR TO BEGINNING WORK.
- SPOT ELEVATIONS SHOWN INDICATE FINISHED PAVEMENT ELEVATIONS, GUTTER FLOW LINE OF CURB GUTTER (FL), BACK OF CURB ELEVATIONS (TC), TOP OF SIDEWALK (TW), AND FINISHED SURFACE GRADE, UNLESS OTHERWISE NOTED.
- ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE NOTED ON THE PLANS.
- INFILTRATION AREA SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES TO AVOID COMPACTION OF THE SOILS. IT IS RECOMMENDED THIS AREA BE FENCED OFF AND NOT UTILIZED FOR CONSTRUCTION STAGING, STOCKPILING MATERIALS, OR ANY OTHER CONSTRUCTION RELATED ACTIVITY. THE INFILTRATION AREA SHALL BE SHAPED TO FINAL GRADE AND ALL HEAVY CONSTRUCTION EQUIPMENT SHALL NOT BE ALLOWED IN THE BASIN AFTER FINAL GRADE HAS BEEN ESTABLISHED.

GENERAL CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER OF ANY DIFFERENCES BETWEEN THE FIELD AND PLAN.
- UNLESS OTHERWISE NOTED, ALL MATERIALS, CONSTRUCTION TECHNIQUES AND TESTING SHALL CONFORM TO THE 2013 EDITION OF THE "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION, WATERMAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA AND THE "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AS PUBLISHED BY THE MINNESOTA DEPARTMENT OF TRANSPORTATION, 2018 EDITION. THE CONTRACTOR SHALL REQUIRE ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.
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- THE CONTRACTOR SHALL VERIFY ALL EXISTING INVERT LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.



STAND ALONE CONCRETE VALLEY GUTTER DETAIL
SCALE: NONE



NEW WIDSETH OFFICE

WIDSETH

WYOMING, MN

GRADING PLAN

SHEET NO.

C6.0

DATE: JANUARY 2021

SCALE: AS SHOWN

DRAWN BY: ERYJWR

CHECKED BY: TMH

JOB NUMBER: 2019-12733

DATE: 04/09/2021

DATE: 04/09/21

DATE: 04/09/21

DATE: 04/23/21

REVISIONS DESCRIPTION

ADA SLOPES AND PARKING LOT GRADING

VALLEY GUTTERS AND POND GRADING

ADD DETAIL AND SCALED VIEWPORT

CHANGE BOTH POND SIZES

BY:

DATE:

DATE:

DATE:

WIDSETH

ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

DATE: 4/23/2021

LIC. NO. 28132

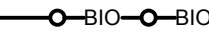
TIMOTHY M. HOLE

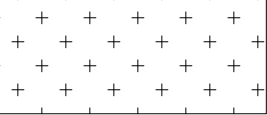
Page 25 of 30

LEGEND

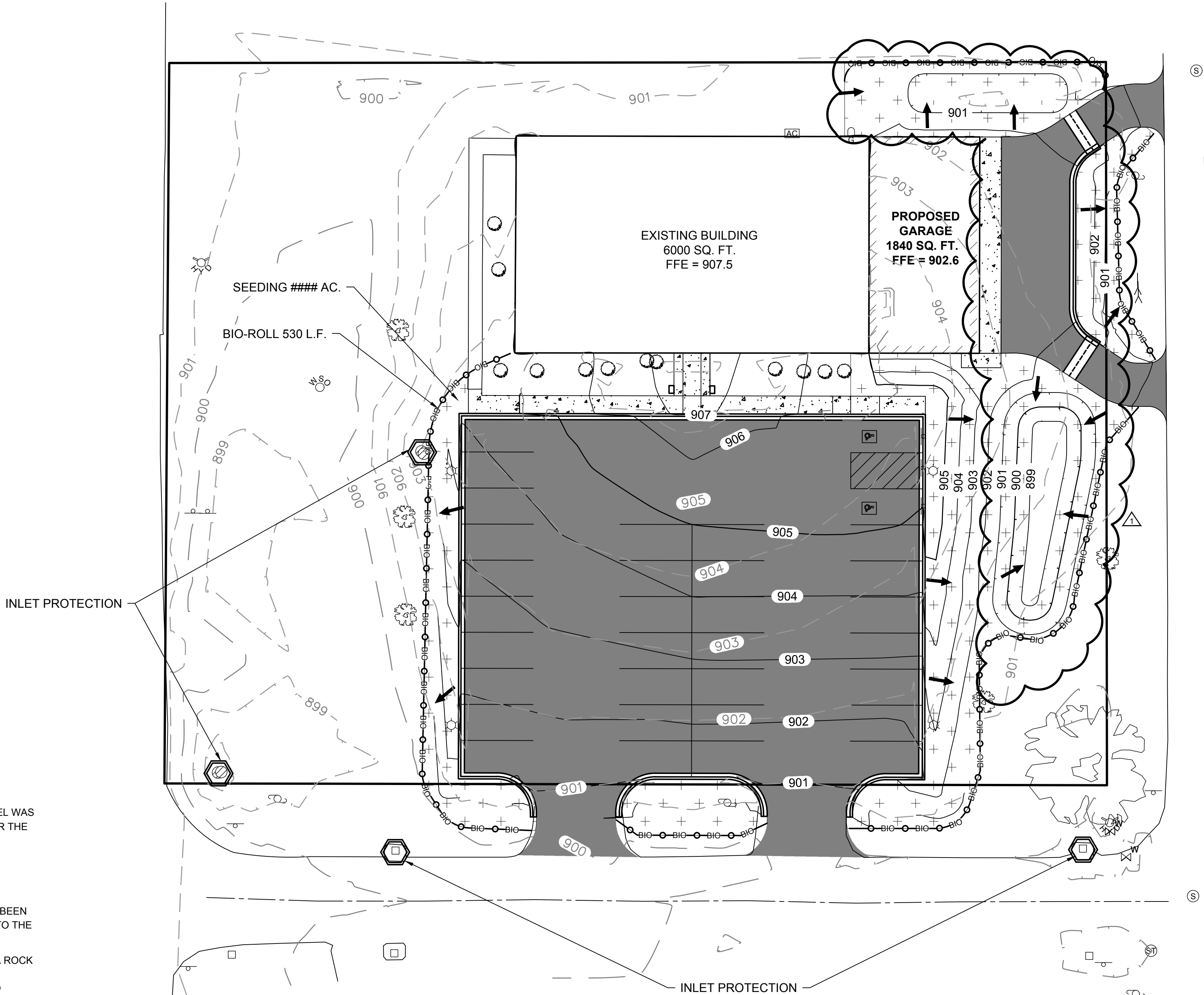
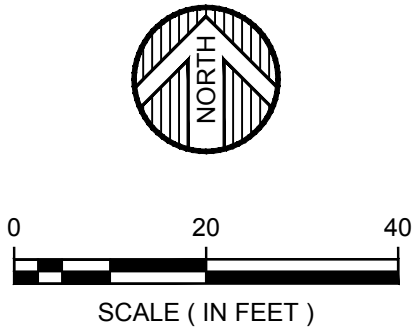
- 

DRAINAGE ARROW
- 

INLET PROTECTION
- 

BIO-ROLL
- 

SEED MIX 25-151



GENERAL EROSION CONTROL NOTES:

- THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-2, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA".
- ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPPDES) PERMIT REQUIREMENTS.
- ALL SILT FENCE AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED. MAINTENANCE AND REMOVAL OF SEDIMENT CONTROL DEVICES SHALL BE INCIDENTAL TO THE GRADING CONTRACT.
- ALL STREETS UTILIZED FOR PROJECT CONSTRUCTION MUST BE CLEANED AT THE END OF EACH DAY. A ROCK ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO THE DETAILS TO REDUCE TRACKING OF SEDIMENT ONTO PUBLIC STREETS. STREET SWEEPING MAY BE NECESSARY AND WILL BE CONSIDERED INCIDENTAL.
- ALL EXPOSED SOILS MUST BE STABILIZED WITHIN 14 CALENDAR DAYS OF ROUGH GRADE COMPLETION OF AFTER CONSTRUCTION TERMINATES. ALL STOCKPILES SHALL HAVE ADEQUATE SEDIMENT TRAPPING SYSTEMS INSTALLED AROUND THEM.
- ALL AREAS TO BE ESTABLISHED TO GRASS COVER SHALL RECEIVE 4" OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- INLET PROTECTION SHALL BE INSTALLED AT ALL STORM SEWER INLETS WHICH HAVE A POTENTIAL TO RECEIVE RUNOFF FROM THE CONSTRUCTION SITE.
- INFILTRATION AREA SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES TO AVOID COMPACTION OF THE SOILS. IT IS RECOMMENDED THIS AREA BE FENCED OFF AND NOT UTILIZED FOR CONSTRUCTION STAGING, STOCKPILING MATERIALS, OR ANY OTHER CONSTRUCTION RELATED ACTIVITY. THE INFILTRATION AREA SHALL BE SHAPED TO FINAL GRADE AND ALL HEAVY CONSTRUCTION EQUIPMENT SHALL NOT BE ALLOWED IN THE BASIN.
- SEE PLAN LEGEND FOR A COMPLETE LEVEND OF HATCHES AND SYMBOLS USED FOR EROSION CONTROL.

DATE	REV#	REVISIONS DESCRIPTION	BY
04/09/21		ISSUE NEW SHEET C7.0	
04/23/21	△	UPDATE SEEDING AROUND PONDS	

DATE: JANUARY 2021	AS SHOWN
DRAWN BY: ERY/JWR	TRH
CHECKED BY:	
JOB NUMBER: 2019-12733	

LEGEND

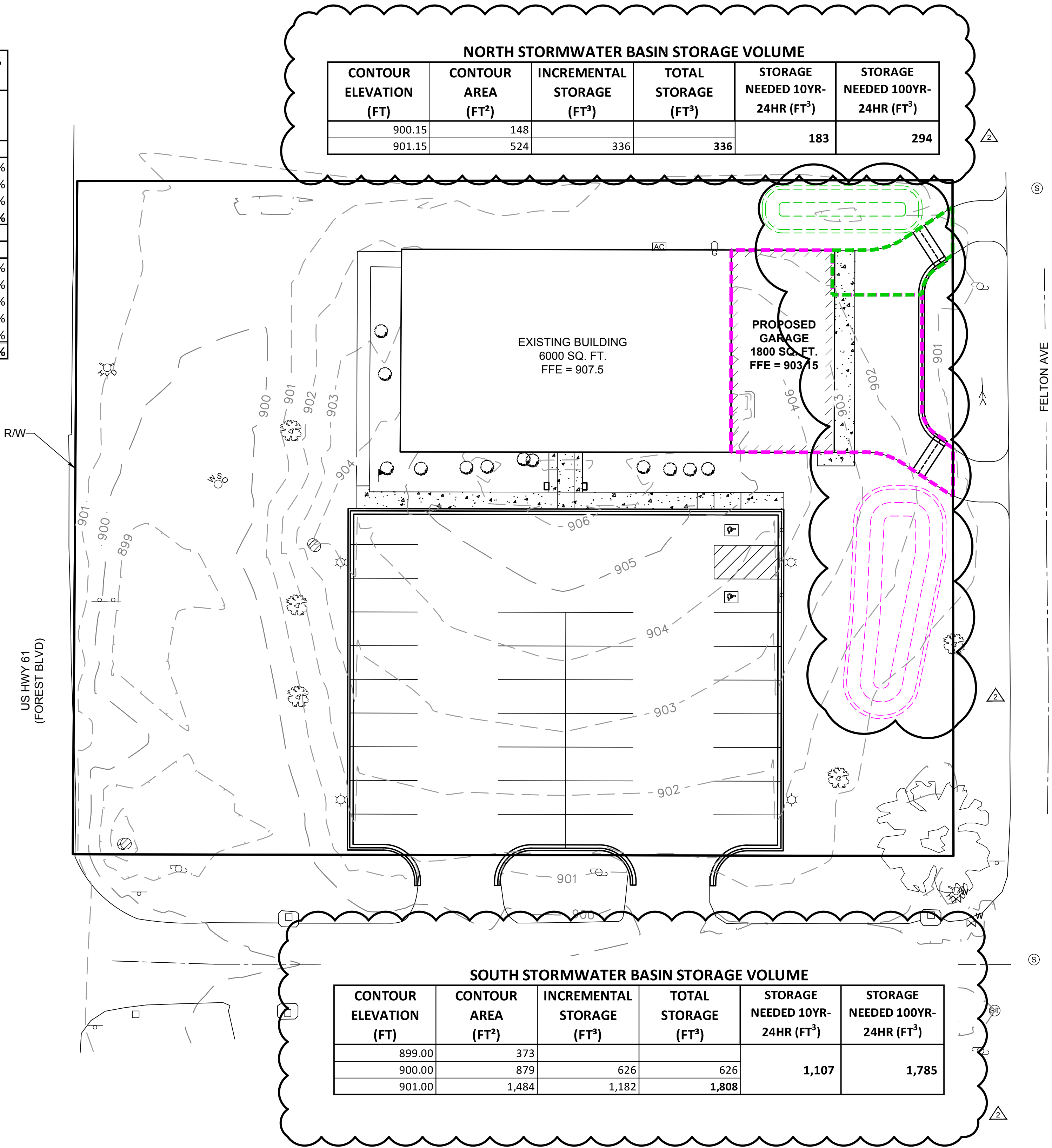
- NORTH POND DRAINAGE AREA
- SOUTH POND DRAINAGE AREA

IMPERVIOUS AREA TABLE

ITEM	AREA (FT²)	IMPERVIOUS (%)
PROPERTY AREA	= 52,169	
EXISTING AREAS		
BUILDING	= 6,000	11.50%
PARKING LOT	= 12,839	24.61%
SIDEWALK	= 1,783	3.42%
TOTAL EXISTING IMPERVIOUS	= 20,622	39.53%
PROPOSED AREAS		
PROPOSED BUILDING	= 7,800	14.95%
PROPOSED DRIVEWAY	= 1,602	3.07%
PROPOSED PARKING LOT	13,251	25.40%
PROPOSED APRON	360	0.69%
PROPOSED SIDEWALK	= 1,079	2.07%
TOTAL PROPOSED IMPERVIOUS	= 24,092	46.18%

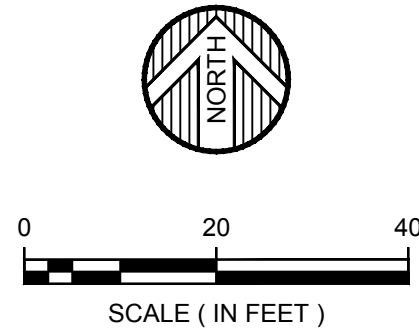
NORTH STORMWATER BASIN STORAGE VOLUME

CONTOUR ELEVATION (FT)	CONTOUR AREA (FT²)	INCREMENTAL STORAGE (FT³)	TOTAL STORAGE (FT³)	STORAGE NEEDED 10YR- 24HR (FT³)	STORAGE NEEDED 100YR- 24HR (FT³)
900.15	148			183	294
901.15	524	336	336		



SOUTH STORMWATER BASIN STORAGE VOLUME

CONTOUR ELEVATION (FT)	CONTOUR AREA (FT²)	INCREMENTAL STORAGE (FT³)	TOTAL STORAGE (FT³)	STORAGE NEEDED 10YR- 24HR (FT³)	STORAGE NEEDED 100YR- 24HR (FT³)
899.00	373				
900.00	879	626	626	1,107	1,785
901.00	1,484	1,182	1,808		



STORMWATER BASIN STORAGE REQUIRED

NRCS 10 YEAR 24 HOUR STORM CHISAGO COUNTY - 4.11"
NRCS 100 YEAR 24 HOUR STORM CHISAGO COUNTY - 6.63"
NEW DRIVE AND GARAGE IMPERVIOUS AREA = 3763 SQ.FT.

NORTH STORMWATER BASIN

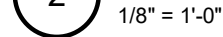
~27% OF NEW DRIVE IMPERVIOUS = 532 SQ.FT.
532 SQ.FT. * (4.11"/12) = 183 CU.FT.
532 SQ.FT. * (6.63"/12) = 294 CU.FT.

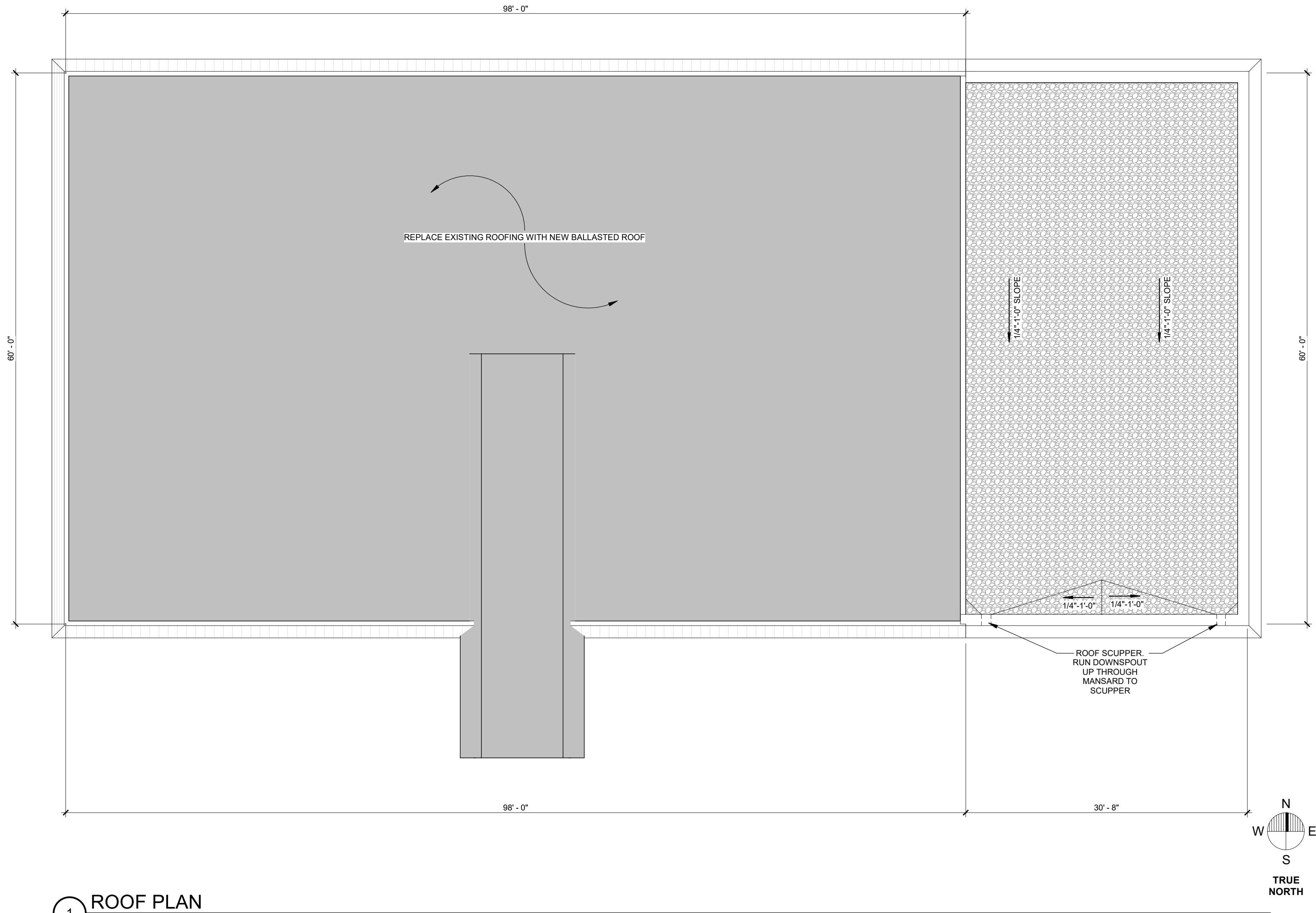
SOUTH STORMWATER BASIN

~73% OF NEW DRIVE AND 100% OF GARAGE IMPERVIOUS = 3231 SQ.FT
3231 SQ.FT * (4.11/12) = 1107 CU.FT.
3231 SQ.FT * (6.63/12) = 1785 CU.FT.

DATE	REVISION	DESCRIPTION	BY
04/08/21	1	ADD STORMWATER BASIN STORAGE NOTE	
04/22/21	2	EDIT STORMWATER BASIN SIZE AND TABLES	

DATE: JANUARY 2021	AS SHOWN
DRAWN BY: ERYJWR	TRM
CHECKED BY:	
JOB NUMBER: 2019-12733	

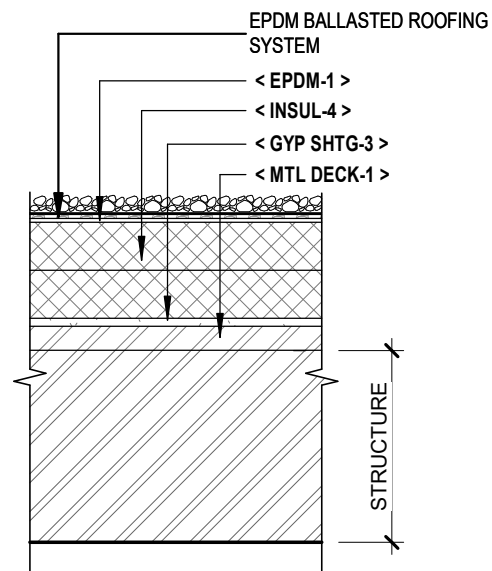




1 ROOF PLAN
1/8" = 1'-0"

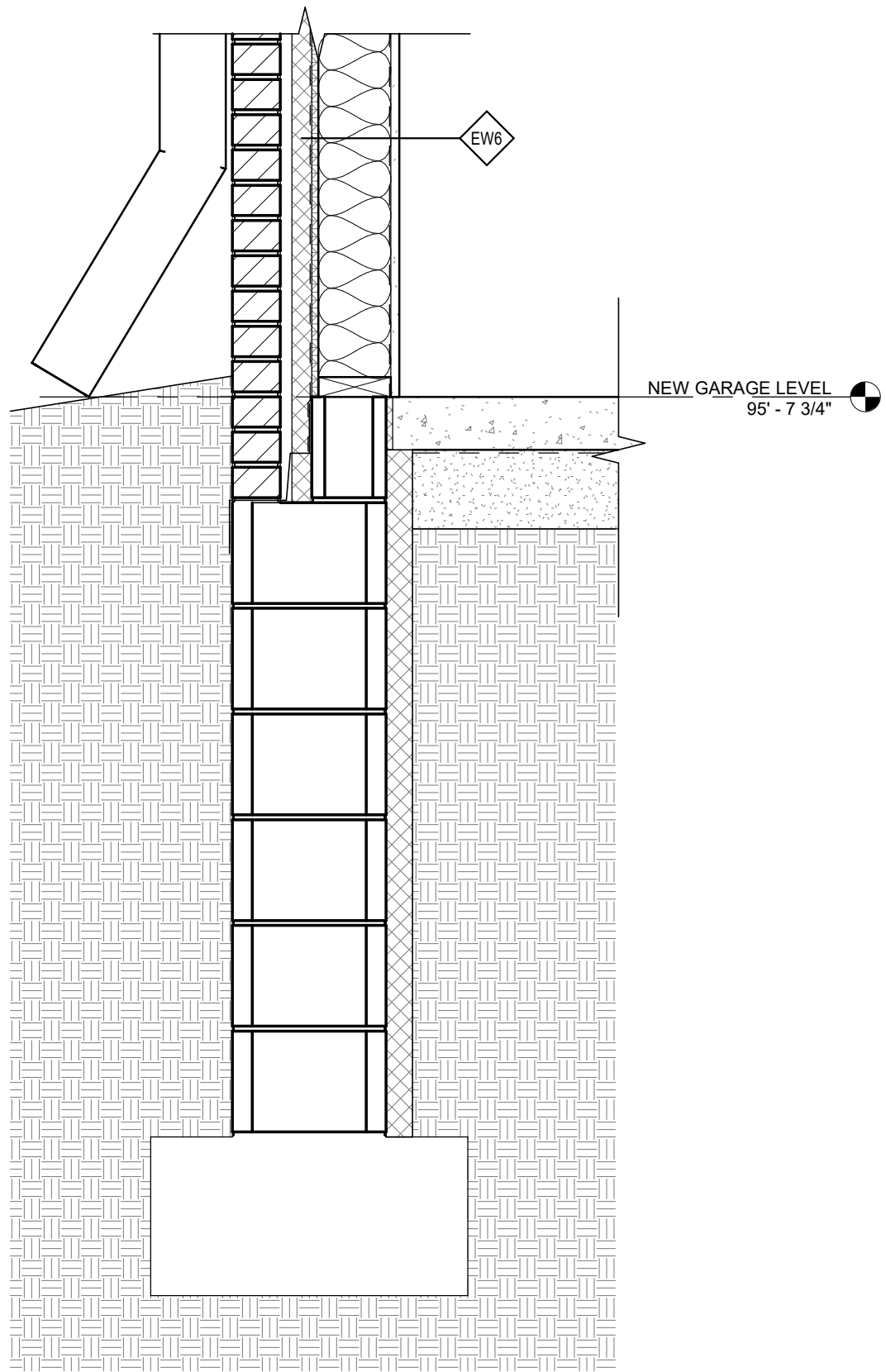
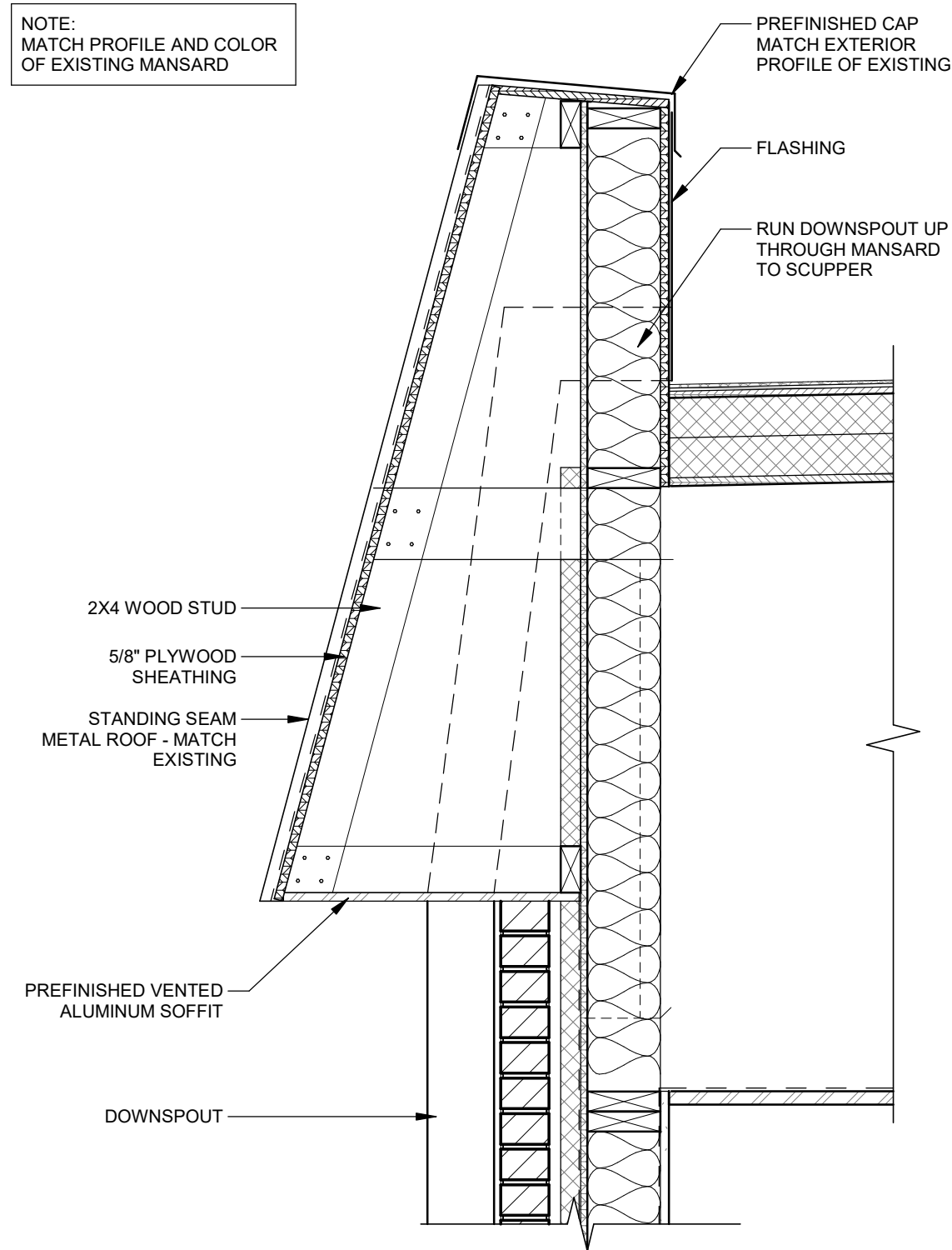
GENERAL ROOF PLAN NOTES:

- PROVIDE ROOFING MANUFACTURER'S RECOMMENDED STANDARDS, FLASHING DETAILS FOR ALL DRAINS, PENETRATIONS, ETC.
- VERIFY AND COORDINATE QUANTITY, SIZE AND LOCATIONS OF PROOF EQUIPMENT AND PENETRATIONS WITH OTHER TRADES.
- PROVIDE CRICKETS AT MECHANICAL EQUIPMENT CURBS ETC. TO PROVIDE POSITIVE DRAINAGE.
- RECOMMENDED INSULATION AVERAGE SHALL BE R-30
- UNIFORMLY SLOPE TAPERED INSULATION MINIMUM 1/4" IN HEIGHT PER 1'-0" HORIZONTALLY (OR AS REQUIRED BY CODE) AT LEVEL ROOF AREAS, UNLESS NOTED OTHERWISE.
- MINIMUM ROOF INSULATION THICKNESS AT ROOF DRAINS (LOW POINT)-2" SLOPE CRICKET INSULATION TO DRAIN AROUND PENETRATIONS (VENTS, STACKS, ETC.) AND AT VALLEYS BETWEEN ROOF DRAINS.
- ALL ROOF DRAINS SHALL HAVE AN OVERFLOW DRAIN OR SCUPPER SET AT ELEVATION 2" HIGHER THAN ROOF DRAIN, UNO



- ROOF ASSEMBLY 1
- BALLESTED ROOFING SYSTEM
 - EPDM MEMBRANE
 - 1/2" SHEATHING
 - (2) LAYERS 3" RIGID INSULATION
 - 1 1/2" METAL DECKING (BUILDING ADDITION)
 - PRECAST PLANK (EXISTING BUILDING)

ROOF TYPES LEGEND



2 WALL SECTION
1" = 1'-0"

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA

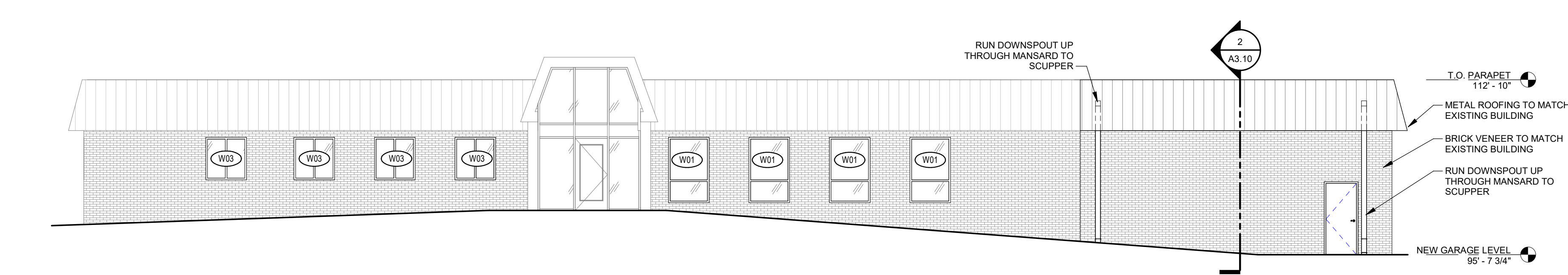
Michael J. Angland
MICHAEL J. ANGLAND 04-21-2021 LIC# 48375

DATE	REV#	REVISIONS DESCRIPTION

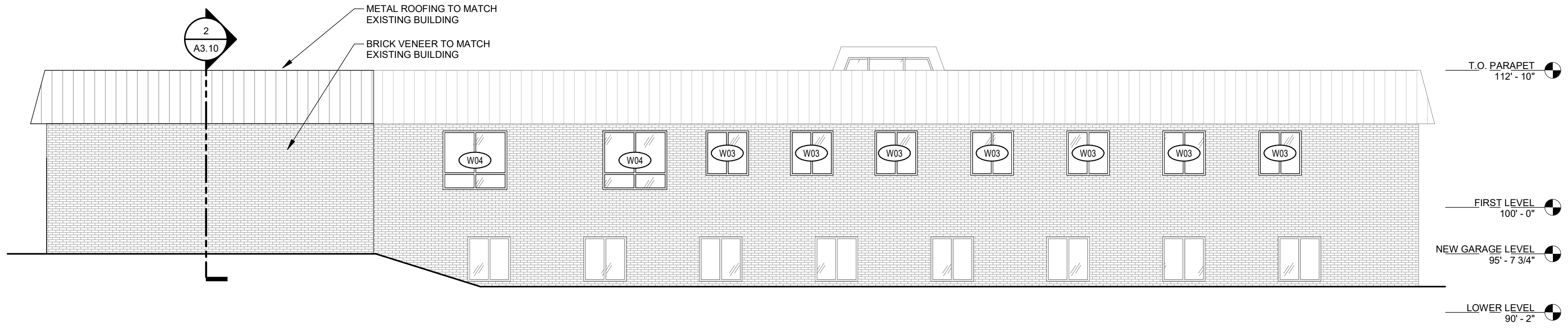
DATE: 03-20-2021
SCALE: As indicated
DRAWN BY: SKK
CHECKED BY: MJA
JOB NUMBER: 2019-12733

WIDSETH OFFICE REMODEL & ADDITION
WIDSETH
5368 266TH STREET, WYOMING, MN 55092
ROOF PLAN

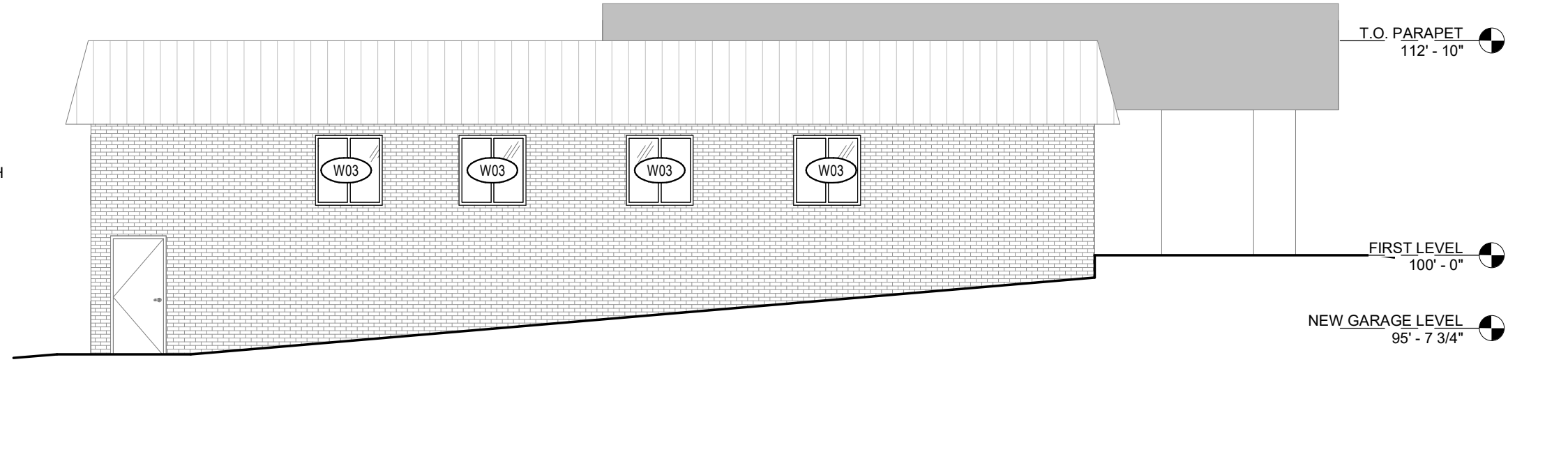
SHEET NO.
A3.10



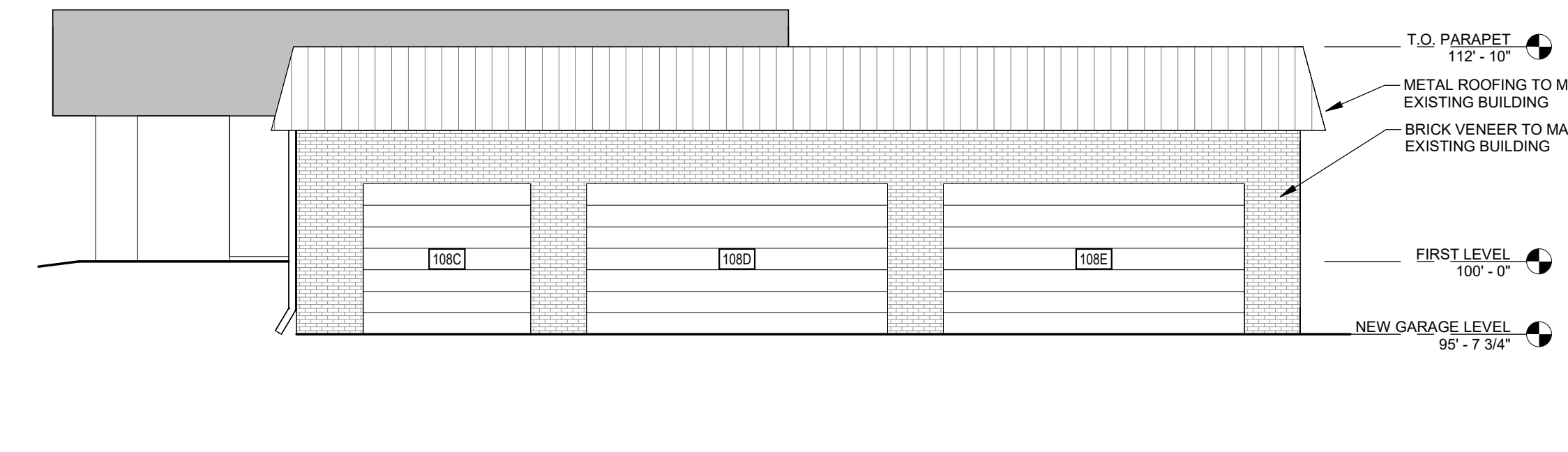
1 FRONT ELEVATION
1/8" = 1'-0"



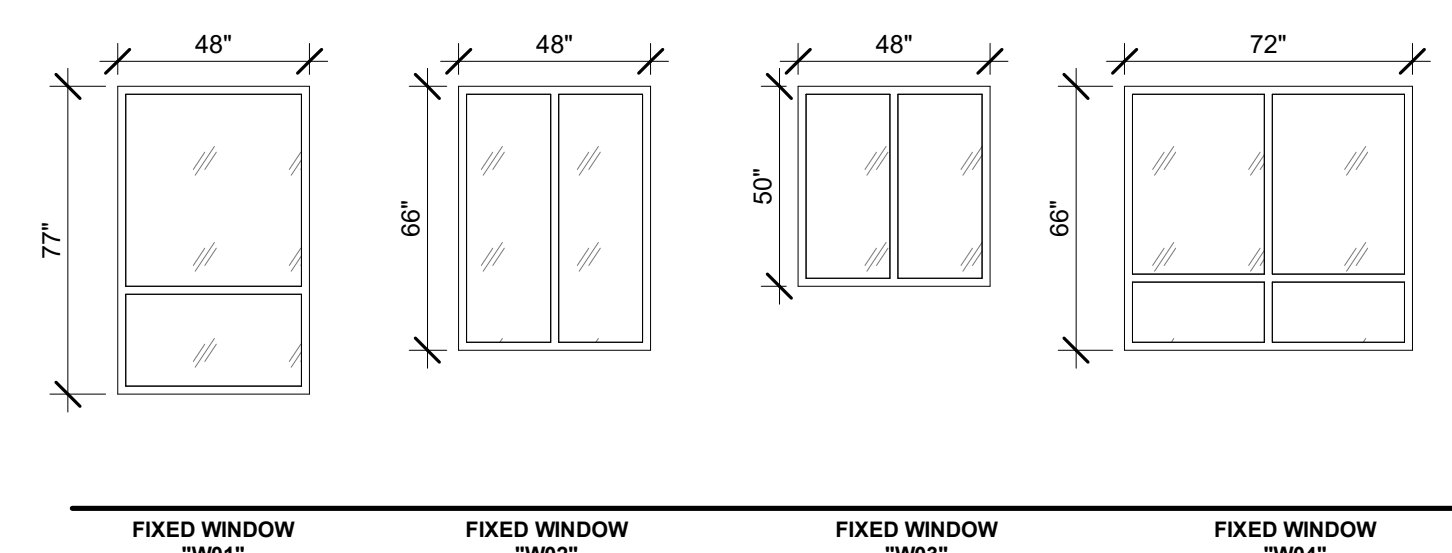
2 BACK ELEVATION
1/8" = 1'-0"



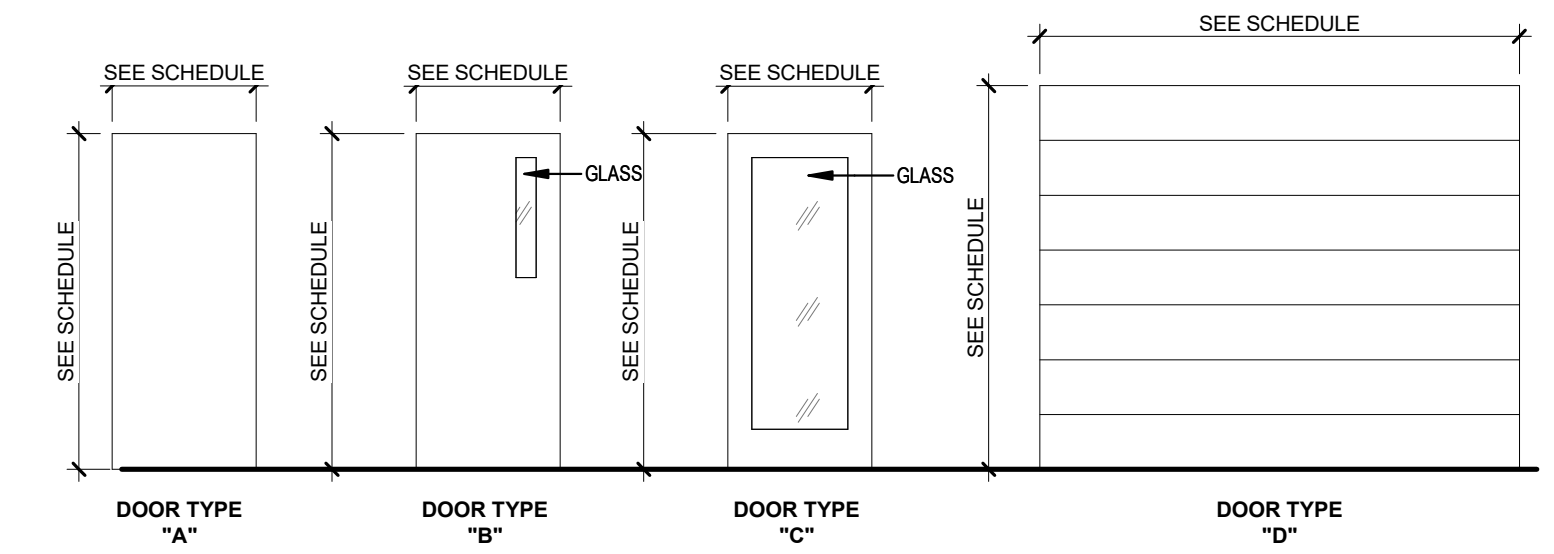
4 SIDE ELEVATION
1/8" = 1'-0"



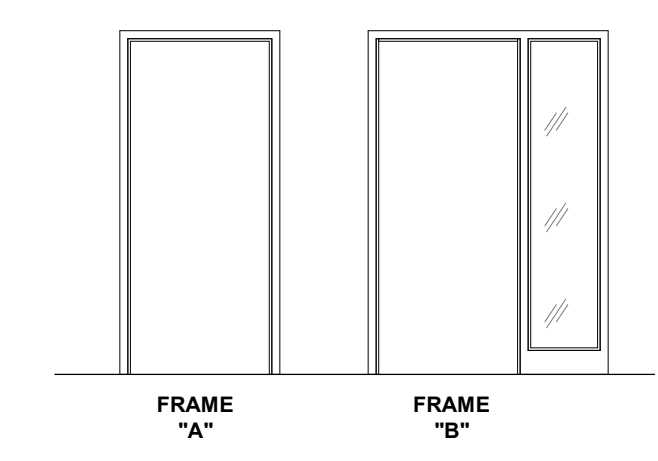
3 SIDE ELEVATION
1/8" = 1'-0"



WINDOW TYPES
1/4" = 1'-0"



DOOR TYPES
1/4" = 1'-0"



DOOR FRAME TYPE
1/4" = 1'-0"

DOOR SCHEDULE										
		DOOR			FRAME					
DOOR #	ROOM #	ROOM NAME	WIDTH	HEIGHT	THICKNESS	TYPE	FINISH	TYPE	MATERIAL	COMMENTS
101A	101	RECEPTION	3'-0"	7'-0"	1 3/4"	B	WD	A	H.M.	
101B	101	RECEPTION	3'-0"	7'-0"	1 3/4"	B	WD	A	H.M.	
101C	101	RECEPTION	3'-0"	7'-0"	1 3/4"	B	WD	A	H.M.	
103	103	CONFERENCE ROOM	3'-0"	7'-0"	1 3/4"	A	WD	B	H.M.	
105	105	CONFERENCE ROOM	3'-0"	7'-0"	1 3/4"	B	WD	A	H.M.	
106	106	HALL	3'-0"	7'-0"	1 3/4"	B	WD	A	H.M.	
108A	108	GARAGE	3'-0"	7'-0"	1 3/4"	A	H.M.	A	H.M.	
108B	108	GARAGE	3'-0"	7'-0"	1 3/4"	A	H.M.	A	H.M.	
108C	108	GARAGE	10'-0"	9'-0"	1 3/4"	D	ALUM.	--	--	
108D	108	GARAGE	18'-0"	9'-0"	1 3/4"	D	ALUM.	--	--	
108E	108	GARAGE	18'-0"	9'-0"	1 3/4"	D	ALUM.	--	--	
111	104	CONFERENCE ROOM	3'-0"	7'-0"	1 3/4"	A	WD	B	H.M.	
115	115	RESTROOM	3'-0"	7'-0"	1 3/4"	A	WD	A	H.M.	
117	117	STORAGE	3'-0"	7'-0"	1 3/4"	A	WD	A	H.M.	
118	118	SERVER	3'-0"	7'-0"	1 3/4"	A	WD	A	H.M.	
119	119	OFFICE	3'-0"	7'-0"	1 3/4"	A	WD	A	H.M.	
120	120	OFFICE	3'-0"	7'-0"	1 3/4"	A	WD	A	H.M.	
121	121	OFFICE	3'-0"	7'-0"	1 3/4"	A	WD	A	H.M.	
122	122	OFFICE	3'-0"	7'-0"	1 3/4"	A	WD	A	H.M.	
123	123	RESTROOM	3'-0"	7'-0"	1 3/4"	A	WD	A	H.M.	
125	125	BREAK ROOM	3'-0"	7'-0"	1 3/4"	B	WD	B	H.M.	
128	128	RESTROOM	3'-0"	7'-0"	1 3/4"	A	WD	A	H.M.	
129	129	STORAGE	3'-0"	7'-0"	1 3/4"	A	WD	A	H.M.	
130	130	OFFICE	3'-0"	7'-0"	1 3/4"	A	WD	A	H.M.	
131	131	OFFICE	3'-0"	7'-0"	1 3/4"	A	WD	A	H.M.	
132	132	JAN.	3'-0"	7'-0"	1 3/4"	A	WD	A	H.M.	
134	134	OFFICE	3'-0"	7'-0"	1 3/4"	A	WD	A	H.M.	
136	136	OFFICE	3'-0"	7'-0"	1 3/4"	A	WD	A	H.M.	
137	137	OFFICE	3'-0"	7'-0"	1 3/4"	A	WD	A	H.M.	
138	138	OFFICE	3'-0"	7'-0"	1 3/4"	A	WD	A	H.M.	

WINDOW SCHEDULE					
WINDOW #	UNIT SIZE	WIDTH	HEIGHT	GLAZING	COMMENTS
W01	48" x 76"	4'-0"	6'-5"		VERIFY SIZE WITH EXISTING WINDOW
W03	48" x 50"	4'-0"	4'-2"		VERIFY SIZE WITH EXISTING WINDOW
W04	72" x 66"	6'-0"	5'-6"		VERIFY SIZE WITH EXISTING WINDOW
Grand total: 21					

ROOM FINISH SCHEDULE																	
ROOM #	ROOM NAME	FLOOR FINISH	BASE		NORTH WALL		EAST WALL		SOUTH WALL		WEST WALL		CEILING		HEIGHT	COMMENTS	
			MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH			
100	VESTIBULE	EXISTING	EXISTING	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	EXISTING	PT-1	12'-0"	
101	RECEPTION	LVP-1	VB-1	GYP. BD.	PT-3	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	12'-0"	
102	CLIENT WAITING AREA	CPT-1	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-2	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	9'-0"	
103	CONFERENCE ROOM	CPT-1	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-3	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	9'-0"	
104	CONFERENCE ROOM	CPT-1	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-3	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	
105	CONFERENCE ROOM	CPT-1	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	
106	HALL	CPT-3	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	
107	STAIR	EXISTING	EXISTING	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	9'-0"	
108	GARAGE	CONC.	VB-1	CMU	PT-1	CMU	PT-1	CMU	PT-1	CMU	PT-1	CMU	PT-1	EXPOSED	--	12'-0"	
109	CORRIDOR	EXISTING	EXISTING	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	
110	RESTROOM	EXISTING	EXISTING	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-2	--	8'-0"	
111	SHOWER	EXISTING	EXISTING	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-2	--	8'-0"	
112	PRINTING	LVP-1	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-2	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	9'-0"	
113	CLOSET	EXISTING	EXISTING	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	
114	OPEN OFFICE	CPT-2 / LVP-1	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-2	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	9'-0"	
115	RESTROOM	CT-1/CT-2	CB-1	GYP. BD.	CWT-1/CWT-2/PT-2	GYP. BD.	CWT-1/PT-2	GYP. BD.	CWT-1/PT-2	GYP. BD.	CWT-1/PT-2	GYP. BD.	CWT-1/PT-2	ACT-1	--	8'-0"	SEE ELEVATION: 3/A.12
116	COATS	LVP-1	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-2	--	8'-0"	
117	STORAGE	EXISTING	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	
118	SERVER	LVP-1	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	9'-0"	
119	OFFICE	CPT-2	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	
120	OFFICE	CPT-2	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	
121	OFFICE	CPT-2	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	
122	OFFICE	CPT-2	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	
123	RESTROOM	CT-1/CT-2	CB-1	GYP. BD.	CWT-1/CWT-2/PT-2	GYP. BD.	CWT-1/PT-2	GYP. BD.	CWT-1/PT-2	GYP. BD.	CWT-1/PT-2	GYP. BD.	CWT-1/PT-2	ACT-2	--	8'-0"	SEE ELEVATION: 3/A.12
124	WORKROOM	CPT-1	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-2	GYP. BD.	PT-2	ACT-1	--	8'-0"	SEE ELEVATIONS: 4.5/A.1, 4.5/B.1
125	BREAK ROOM	LVP-1	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	SEE ELEVATION: 3/A.11
126	OPEN OFFICE	CPT-2	VB-1	GYP. BD.	PT-3	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-3	GYP. BD.	PT-3	ACT-1	--	8'-0"	
127	STAIR	EXISTING	EXISTING	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	
128	RESTROOM	CPT-2 / LVP-1	CB-1	GYP. BD.	CWT-1/CWT-2/PT-2	GYP. BD.	CWT-1/PT-2	GYP. BD.	CWT-1/PT-2	GYP. BD.	CWT-1/PT-2	GYP. BD.	CWT-1/PT-2	ACT-2	--	8'-0"	SEE ELEVATION: 3/A.12
129	STORAGE	LVP-1	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	
130	OFFICE	CPT-2	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	
131	OFFICE	CPT-2	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	
132	JAN.	EXISTING	EXISTING	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	
133	STORAGE	EXISTING	EXISTING	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	
134	OFFICE	CPT-2	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	
135	CORRIDOR	LVP-1	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	
136	OFFICE	CPT-2	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	
137	OFFICE	CPT-2	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	
138	OFFICE	CPT-2	VB-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	GYP. BD.	PT-1	ACT-1	--	8'-0"	

ACT-1	ACOUSTICAL CEILING TILES
ACT-2	ACOUSTICAL CEILING TILES (MOISTURE RESISTANT)
CPT-1	CARPET TILE
CB-1	CERAMIC BASE
CT-1	CERAMIC TILE
CWT-1	CERAMIC WALL TILE
LVP-1	LUXURY VINYL PLANK
PT-1	PAINT #1
PT-2	PAINT #2
PT-3	PAINT #3
VB-1	VINYL BASE

FINISH CODE	MATERIAL	MANUFACTURER	SPECIFICATIONS	NOTES
CPT-1	CARPET TILE	MOHAWK GRP	12" x 36" RELAXING FLOORS, resID, GT427, 965 BLUE BLISS	MONOLITHIC INSTALL
CPT-2	CARPET TILE	J-J FLOORING GRP	12" x 48" BOULEE MODULAR, 7081, 2712 KNOT	ASHLAR INSTALL
CPT-3	WALKOFF CPT	J-J FLOORING GRP	24" x 24" INCOGNITO, 7069, 1845 CRYPTIC	QUARTER TURN INSTALL
CT-1	CERAMIC FLOOR TILE	CAESAR CERAMICS	12" x 24" ORIGIN, BOULDER	1/3 OFFSET INSTALL
CT-2	CERAMIC COVE BASE	CAESAR CERAMICS	6" x 12", ORIGIN, BOULDER	
CWT-1	CERAMIC WALL TILE	DALTILE	3" x 12", RESTORE CERAMIC BRIGHT WHITE, SUBWAY TILE	CLASSIC SUBWAY INSTALL
CWT-2	MOSAIC WALL TILE	STONE DECOR	12" x 14" MARBLE MOSAIC	5" STRIP WALL ACCENT
LVP-1	LUXURY VINYL PLANK	KARNDIEN	6" x 36", KNIGHT TALE, AGED OAK KP98, 2.0MM	STAGGERED INSTALL
PLAM-1	PLASTIC LAMINATE	FORMICA	5796-NG, GRAPHITE ELM	CABINETRY
PLAM-2	PLASTIC LAMINATE	FORMICA	7735-58, PORTICO MARBLE	COUNTER TOPS
PT-1	PAINT		SKYLINE STEEL, R-198 G-191 B-179 LRV-52	FIELD COLOR
PT-2	PAINT		SLATE TILE, R-96 G-110 B-116 LRV-15	ACCENT COLOR
PT-3	PAINT		ANNAPOLIS BLUE, R-56 G-74 B-102 LRV-6	ACCENT COLOR
WD	WOOD DOORS	MASONITE	SPECIES: CHERRY, PLAIN SPLICED, COCOA BEAN	

REVISIONS DESCRIPTION		DATE	REV#	REVISION #1
		2021-05-10	1	

DATE:	03-20-2021
SCALE:	As indicated
DRAWN BY:	SWK
CHECKED BY:	MJA
JOB NUMBER:	2019-12733