

**AGENDA
PLANNING COMMISSION
CITY OF WYOMING, MINNESOTA
DECEMBER 10, 2024
7:00 PM**

CALL TO ORDER:

CALL OF ROLL:

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM:

An opportunity for members of the public to address the Planning Commission on items not on the current Agenda. Items requiring Planning Commission action may be deferred to staff for research and future Planning Commission Agendas if appropriate. You will be limited to two (2) minutes and we ask that you conduct yourself in a professional, courteous manner, and refrain from the use of profanity. Failure to abide by this policy may result in the loss of your privilege to speak.

APPROVAL OF MINUTES:

1. Consider approving the minutes of the “Regular Meeting” of the Wyoming, Minnesota Planning Commission for November 12, 2024.

SCHEDULED PUBLIC HEARINGS:

2. Conditional Use Permit C-24-002 & Site Plan Review: Sp-24-001 – Dairy Queen
Location: 5111 East Viking Boulevard Applicant: Fourteen Foods, LLC
Owner: D7 Wyoming, LLC
Property ID Number: 21.00020.00

NEW BUSINESS:

OLD BUSINESS:

COMMUNICATIONS:

UPDATES:

ADJOURN

UPCOMING:

The Preliminary and Final Plats of the “Volrath Jensen Addition” were approved by the City Council.

**UNAPPROVED MINUTES
PLANNING COMMISSION
CITY OF WYOMING, MINNESOTA
NOVEMBER 12, 2024
7:00PM**

CALL TO ORDER:

Planning Commission Chairman Lobermeier called the Regular Meeting of the Wyoming Planning Commission for November 12, 2024, to order at 7:00 PM

CALL OF ROLL:

On a Call of the Roll the following members of the Wyoming Planning Commission were present: Mark Lobermeier, Katie West, and Dan Iverson

ABSENT: Mark Holl and Chris Ortwerth

Also Present: Fred Weck Zoning Administrator and Mayor Lisa Iverson

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM: NONE

APPROVAL OF MINUTES:

- 1. Consider approving the minutes of the “Regular Meeting” of the Wyoming, Minnesota Planning Commission for October 22, 2024**

A MOTION WAS MADE BY COMMISSIONER IVERSON, SECONDED BY COMMISSIONER WEST, TO APPROVE THE MINUTES OF THE “REGULAR MEETING” OF THE WYOMING, MINNESOTA PLANNING COMMISSION FOR OCTOBER 22, 2024, AS SUBMITTED.

*Voting Aye: Lobermeier, West, and Iverson
Voting Nay: None
Abstain: None
Absent: Holl and Ortwerth*

SCHEDULED PUBLIC HEARINGS:

- 2. Preliminary and Final Plats: D-24-003 – “Volrath Jensen Addition”**
Location: 24989 Heath Avenue
Applicant: Comfort Lake Forest Lake Watershed District
Owner: Andrea & Joe Jensen
Property ID Number: 21.10703.00

Zoning Administrator Weck gave an overview of the Preliminary and Final Plat requests for 24989 Heath Avenue to subdivide into two properties along Heath Avenue. He reviewed the zoning change from Agricultural to R-1 Residential and noted that both proposed lots meet the City’s zoning requirements. He noted that the second lot was being created to assist in upgrading stormwater quality within the watershed, so no development would take place on the site. He reiterated that all the criteria had been met and staff recommended approval of the Preliminary and Final Plats.

Chair Lobermeier asked if Zoning Administrator Weck had seen a grading plan for this project.

Zoning Administrator Weck stated that there was not a grading plan for this, but was one for the stormwater improvements, but that will be further down the line and did not apply to tonight's discussion.

MOTION BY COMMISSIONER WEST, SECONDED BY COMMISSIONER IVERSON, TO OPEN THE PUBLIC HEARING AT 7:04 P.M.

Voting Aye: Lobermeier, West, and Iverson
Voting Nay: None
Abstain: None
Absent: Holl and Ortwerth

There was no public comment.

MOTION BY COMMISSIONER IVERSON, SECONDED BY COMMISSIONER WEST, TO CLOSE THE PUBLIC HEARING.

Voting Aye: Lobermeier, West, and Iverson
Voting Nay: None
Abstain: None
Absent: Holl and Ortwerth

MOTION BY COMMISSIONER WEST, SECONDED BY COMMISSIONER IVERSON, TO RECOMMEND APPROVAL OF THE PRELIMINARY AND FINAL PLATS: D-24-003 – “VOLRATH JENSEN ADDITION” LOCATED AT 24989 HEATH AVENUE FOR COMFORT LAKE FOREST LAKE WATERSHED DISTRICT, PROPERTY ID NUMBER: 21.10703.00, WITH THE TWO CONDITIONS, AS OUTLINED IN THE STAFF REPORT.

Voting Aye: Lobermeier, West, and Iverson
Voting Nay: None
Abstain: None
Absent: Holl and Ortwerth

NEW BUSINESS: NONE

OLD BUSINESS: NONE

COMMUNICATIONS: NONE

UPDATES:

Zoning Administrator Weck noted that he did not have anything lined up for the November 26, 2024 meeting.

A MOTION WAS MADE BY COMMISSIONER IVERSON, SECONDED BY COMMISSIONER WEST, TO ADJOURN THE NOVEMBER 12, 2024 “REGULAR MEETING” OF THE WYOMING, MINNESOTA PLANNING COMMISSION AT 7:07 PM.

Voting Aye: Lobermeier, West, and Iverson
Voting Nay: None
Abstain: None
Absent: Holl and Ortwerth

**CITY OF WYOMING
PLANNING AND ZONING**

TO:	Planning Commission
DATE:	December 2, 2024
FROM:	Kim Lindquist, City Planner
	Fred Weck
RE:	Site Plan Review,
	Conditional Use Permit
APPLICANT:	Fourteen Foods, LLC
	D7 Wyoming, LLC
PROPERTY:	R.21. 00020.00
FILE NO.:	SP-24-001 & C-24-002

OVERVIEW

Fourteen Foods, LLC (“Applicant”) has requested a site plan review and a conditional use permit to permit construction to remodel the 4,686 square foot Dairy Queen (DQ) building located at 5111 East Viking Boulevard, southwest of the intersection of East Viking Boulevard and Fallbrook Avenue. The proposal includes demolition of the attached former gas station building on the 1.79-acre property. A drive-through will be retained along the southern edge of the DQ building. The restaurant will keep indoor seating while slightly expanding the outdoor seating with parking surrounding the building. From a regulatory standpoint, the site plan must meet C-Commercial District standards, ordinance regulations for businesses having drive-throughs and Shoreland ordinance standards.

The applicant intends to build a quick service restaurant adjacent to the proposed DQ building. The applicant has provided a concept of the future restaurant layout to illustrate the feasibility of the future development.

A conditional use permit review is triggered because the lot is located within the Shoreland Overlay District. Specifically, there are stricter standards for impervious surface coverage. The overlay district has a maximum impervious coverage of 25%, much lower than the general commercial maximum coverage of 75%. The applicant must also meet the Conditional Use Permit general standards for the proposal to move forward.

STAFF RECOMMENDATION

Based on Staff’s review of the request and the standards for approval, Staff recommends approval of the conditional use permit to allow increased impervious surface coverage on the property from 25% to 64.1% based upon the findings of fact and conditions for granting of a Conditional Use Permit.

Staff is recommending approval of a site plan for the Dairy Queen at 5111 E Viking Boulevard subject to the following conditions:

1. All required local, state and/or federal permitting must be obtained.
2. The Conditional Use Permit shall be null and void if the Applicant does not make use of the permit within one year from the date of approval.

3. The applicant must submit a detailed lighting plan that includes the details of the proposed new patio lighting. This lighting plan must be in compliance with Sec. 40 – 486 of the city code regarding lighting of drive-through businesses and turning off site lighting, except for security lighting one (1) hour after closing
4. The applicant must submit plans showing that the proposed trash storage enclosure will meet the screening standards of Sec. 40 – 723.
5. The applicant must submit a revised landscape plan that meets the minimum required 17 overstory trees and 34 understory trees on site. Each tree species must meet the dimensional requirements as listed in Sec. 40-556.
6. The proposed plan must be revised to show the location of at least five trash receptacles in the parking lot.
7. The applicant must include details about the proposed handrail surrounding the patio.
8. The applicant must resubmit the proposed plans to indicate snow storage area on site.
9. The applicant shall submit final grading and drainage plans for staff review and approval.
10. The applicant provide information about the shared access with the property to the south for staff review.
11. Any changes to signs on site will require a separate sign permit (s).
12. The applicant address all engineering comments provided to the applicant.
13. Final approval by the City of the future quick service restaurant is required and is not part of this site plan and conditional use permit approval.

STAFF REVIEW

Site Plan Review

The subject property is currently zoned C-Commercial and contains a Dairy Queen restaurant with a now vacant attached gas station convenience store. The pump islands and underground fuel tanks have been removed – only the former store remains. The City of Wyoming Comprehensive Plan designates the property as Downtown Core for future land use. The zoning and surrounding uses are as follows:

North – C-Commercial District, restaurant, bowling alley, car wash, and gas station.

South – C-Commercial District, auto parts store; I-Industrial District, various manufacturing, industrial businesses, warehouse.

East – C-Commercial, I-Industrial, and CB-Central Business Districts, vehicle dealership, restaurants, bank, church.

West – C-Commercial District, State Highway 35, restaurants, park & ride lot, some commercial with single-family dwellings to the south.

The applicant is proposing to remodel the Dairy Queen restaurant separate from any attached building in addition to new parking stalls and a new trash enclosure. Restaurants with drive-throughs are a permitted use in the Commercial District. In considering the site plan, because the property is also located in the Shoreland Overlay District, the property

development must comply with regulations from both zoning districts. The following table summarizes the regulations associated with the site, noting both the Commercial District requirements and Shoreland Overlay standards:

Zoning District	<u>C- Commercial District</u>	<u>Shoreland Overlay (General Development)</u>	<u>Proposed</u>
Lot Width	115 feet	*underlying zoning applies	165 feet (existing condition)
Lot Size	20,000 sq. ft. (minimum)	*underlying zoning applies	77,933 sq. ft. (existing condition)
Front Yard Setback	135 feet from centerline of highway, 20 feet from ROW of local street	*underlying zoning applies	238 feet, 146 feet
Side Yard Setback	0 feet (principal building)	*underlying zoning applies	36 feet
Corner Yard Setback (North)	35 feet (principal building)	*underlying zoning applies	87 feet
OHWL Setback	*overlay zoning applies	50 feet (minimum)	Approx. 162 feet
Building Height	*overlay zoning applies	35 feet (maximum)	20 feet
Impervious Surface	75% (maximum)	25% (maximum)	64.1%*

*CUP required

Architecture

New construction in the Commercial District must adhere to the architectural and exterior materials standards contained in Division 5 Architectural Standards, Section 40-451(2). As part of these standards, commercial structures must be composed of at least sixty-five percent (65%) Class I and Class II materials with Class I materials being 25% of the total façade. Side and rear facades not visible from the public right of way or residential districts may use any combination of Class I, II or III materials. Review of this site plan should be tempered with the recognition that the building is existing. It is unclear if the exterior materials meet the new exterior material standards, however much of the building is brick. The applicant is proposing to maintain the existing materials with brick areas designated

for painting in red, blue or brown (light or dark), as shown on A3.1. This is a pre-existing condition, and staff recommends no change to the proposed building elevations.

Landscaping and Screening

City standards require that the site must have a minimum of one overstory tree and two understory trees per 1/10 acre, which will require at least 17 overstory trees and 34 understory trees consistent with Sec. 40-556 of the City Code.

The applicant has provided four ornamental tree species on the landscape plan for a total of nineteen (19) (Autumn Brilliance Serviceberry, Coralburst Crabapple, David Crabapple, Sargent Tina Crabapple) understory trees. There are also 56 Junipers proposed on the site.

All 19 of the proposed ornamental trees can be applied to meet a portion of the required 34 understory tree plantings. But the applicant must still provide 17 overstory trees that meet height requirements in addition to the 15 remaining understory trees required on site.

All site areas not covered by buildings, sidewalks, parking lots, driveways or similar hard surface materials must be covered with plantings or an equivalent groundcover – excluding site areas that are preserved in a natural state. The landscaping plan illustrates compliance with this standard. In addition, the proposed shrub plantings and revised trees proposed must align with the minimum screening and spacing requirements detailed in Sec. 40-725. Screening standards also require a fully enclosed gate surrounding any trash storage facility and the site has a planned trash enclosure to the southwest of the main structure that is not visible from public streets.

Because the site has already been previously developed, there is no need for the applicant to supply a woodland preservation plan. No additional grading or tree removal is proposed to occur.

Utilities

After the gas station building is demolished, all utilities on site will remain unchanged in location or size.

Roads, Traffic, and Access

The existing access points and curb cuts will remain unchanged in size and location with this proposal. The accessway from E. Viking Boulevard is a right-in only. The southerly accessway along Fallbrook Avenue will still share an apron with the auto parts shop directly south of the site. The North and East of the site will accommodate a two-way traffic flow – while the one-way drive-through will remain on the western and southern side of the lot. The City Engineer requests the applicant provide written documentation from the adjacent landowners to the south recognizing that the DQ drive through and the parking access for the car parts store are located within the same paved area. Further review of overall site circulation will occur when the new building is proposed. Appropriate striping will be needed to help direct users and avoid conflicts.

The proposal changes the location and size of the existing concrete walk at the front of the building. The proposed concrete walk extends further into the northern parking lot / traffic area and places the adjacent parking spots at an angle. Additionally, the concrete walk will have curb cuts that allow the walk to be ADA-accessible.

Drainage/Natural Resource/Wetlands

The site is outside of the Comfort Lake – Forest Lake Watershed District (CLFLWD) and permitting will not be required through the CLFLWD. Based on the proposed disturbance area being under an acre (0.71 acres), a NPDES permit is not required.

Based upon the applicants submittal, they are indicating that the current impervious surface is 64.1%, under the commercial zoning district standards but above the Shoreland Overlay regulations. They also indicate this will be the same after development. Although there will be an interim period where the land immediately east of the DQ building will be vacant and seeded, it is anticipated another user will develop that portion of the site and the amount of impervious surface will remain consistent with the current conditions. For that reason, staff is processing the impervious surface approval now so there is no expectation that the lot will remain undeveloped and provide open space. Because there is no change in the existing impervious surface area (64.1%) the volume control requirements were not triggered for this site.

Parking

Restaurants are required by city code to have 1 space for every 4 dining seats and 1 space for every 2 employees. This restaurant will have 94 total seats (68 interior and 26 exterior) and its busiest shift could have up to 14 employees working. Based upon the ordinance requirements the site should have 31 parking stalls and two ADA-compliant parking stalls. At present, the site plan indicates 51 parking stalls with 2 ADA-compliant stalls, which is well over the minimum requirement. The 31-parking stall standard also includes the remodeled outdoor patio seating. The applicant proposes striping the western edge of the site's pavement, which expands the site's parking capabilities by 15 stalls. The demolition of the gas station building will also allow the applicant to reorganize the northerly adjacent parking stalls and move the two ADA-compliant stalls to this location.

All proposed parking spaces have the required 9 feet of stall width, and they meet the stall depth and minimum aisle width requirements based on the specific angle of each parking spot.

Lighting

The applicant proposes to keep all lighting on the site the same – except for the inclusion of three new patio lighting units adjacent to the East side of the patio border. The applicant does not provide any details about the proposed lighting. It is recommended that the applicant provide further details about the proposed patio lighting prior to any plan approval.

Drive-Through Standards

Division 8 Section 40-480 of the City of Wyoming's municipal code outlines the requirements for any business with drive-through. Because the proposed remodel will continue to have a drive-through, the following standards should be met:

Sec. 40 – 481. Site Plan Requirements.

- (1) The site plan shall clearly indicate suitable storage containers for all waste material. All commercial refuse containers shall be screened.

This standard is met with the installation of the shared trash enclosure southeast of the DQ building. A condition of approval request additional information about the trash enclosure. .

- (2) A landscaping plan shall be provided.

A condition of approval requires resubmittal of the landscape plan to comply with City ordinance standards.

- (3) Adequate area shall be designated for snow storage such that clear visibility shall be maintained from the property to any public street.

The applicant shall resubmit the proposed plans to indicate snow storage area.

- (4) The design of any structure shall be compatible with other structures in the surrounding area or future planned uses.

This standard has been met.

- (5) Electronic devices such as loudspeakers, automobile service order devices, drive-in theater car speakers and similar instruments shall not be located within two hundred (200) feet of any residentially zoned or used property, nor within one hundred (100) feet of any adjacent lot used or zoned non-residential.

The existing menu/speaker system west of the DQ building will remain in its current location. This standard has been met.

- (6) No service shall be rendered, deliveries made, or sales conducted within the required front yard. Customers served in vehicles shall be parked to the sides and/or rear of the principal structure.

The drive-through will remain on the rear and the south side of the structure away from the public view. This standard has been met.

- (7) No permanent or temporary signs visible from the public street shall be erected without specific approval in the permit.

This standard can be met.

- (8) No plan shall be approved which will in any way constitute a hazard to vehicular or pedestrian circulation.

This standard has been met.

Sec. 40 – 482. Design Standards.

- (1) The entire area of any drive-in/drive-through business shall have an engineered drainage system approved by the City Engineer.

The applicant shall submit finalized drainage plans for staff review and approval.

- (2) The entire area other than that occupied by structures or planting shall be surfaced with concrete or blacktop.

This standard has been met.

- (3) A fence or screen of an acceptable design to the Zoning Administrator shall be constructed along the property line abutting a residential district and such fence or screen shall be adequately maintained.

Not applicable.

Sec. 40 – 483. General.

- (1) Any drive-in/drive-through business serving food or beverages may also provide, in addition to vehicular service areas, in-door food and beverage seating areas.

The plan proposes indoor and outdoor patio seating along with a drive-through facility.

- (2) The hours of operation may be set forth as a condition of approval for drive-in/drive-through business.

There is no recommendation to limit the hours at this time.

- (3) Each drive-in/drive-through business serving food may have outside seating.

The plan proposes outdoor seating.

- (4) Each food or beverage drive-in/drive-through business shall place refuse receptacles at all exits as well as one (1) refuse receptacle per ten (10) vehicle parking spaces within the parking area

The presented architectural and site plans do not show the location of trash containers besides the trash enclosure. This means that the site plan must show at least five trash receptacles in the parking area and one at each exit.

Sec. 40 – 484. Location.

- (1) No drive-in/drive-through business shall be located such that it may unduly increase traffic volumes on nearby residential streets.

This standard has been met.

- (2) No drive-in/drive-through business shall be located on any street other than one designated as a thoroughfare on which businesses are located.

A condition of approval requires documentation regarding the shared access area to the south.

Conditional Use Permit

Shoreland Management Overlay Requirements

The site is entirely within the Shoreland Management Overlay because of its proximity to Sunrise River, a tributary river. The Overlay District requires a CUP for any non-residential development that wishes to exceed 25% impervious surface coverage, regulated in Section 40-328 4(a)ii. This site plan states that impervious surface coverage will be 64.1%.

Staff recognize that having additional hard surfacing over and above the ordinance requirement is not ideal given its proximity to the river. However, it should be noted that the Applicant is not increasing the amount of hard surfacing on the site. The paved areas will be no closer to the river than the existing condition. In cases such as this, where there is little change to the site, and there are upgrades to the existing condition in total, staff can support the proposal.

Sec. 40 – 328. Stormwater Management. In addition to City Code Chapter 39, and the rules promulgated by the Comfort Lake/Forest Lake Watershed District the following standards will apply to stormwater management in the shoreland district.

- (1) When possible, existing natural drainage ways, wetlands, and vegetated soil surfaces must be used to convey, store, filter, and retain stormwater runoff before discharge to public waters.

(2) Development must be planned and conducted in a manner that will minimize the extent of disturbed areas, runoff velocities, erosion potential, and reduce and delay runoff volumes. Disturbed areas must be stabilized and protected as soon as possible and appropriate facilities or methods used to retain sediment on the site.

(3) When development density, topographic features, and soil and vegetation conditions are not sufficient to adequately handle stormwater runoff using natural features and vegetation, various types of constructed facilities such as diversions, settling basins, skimming devices, dikes, waterways, and ponds may be used. Preference must be given to surface drainage, vegetation, and infiltration rather than buried pipes and constructed materials and facilities.

(4) The following specific standards apply:

(a) Impervious surface coverage of lots must not exceed twenty-five percent (25%) of the buildable lot area, except as provided below:

1. For non-single-family residential, impervious surface coverage of up to a maximum of 75 percent of the buildable lot area when the following stipulations are met:

i All structures and practices are in place for the treatment of stormwater runoff.

ii A conditional use permit is submitted and approved as provided for in Section 40-333 of this Ordinance, subject to the criteria listed in Section 40-333 (3) and the conditions listed in Section 40-333 (3), (4) and (5) of this Ordinance. (ORDINANCE NO. 2020-02)

(b) When constructed facilities are used for stormwater management, documentation must be provided by a qualified individual that they are designed and installed consistent with the field office technical guide of the local soil and water conservation districts or the Minnesota Stormwater Manual, as applicable.

(c) New constructed stormwater outfalls to public waters must be consistent with Minnesota Rules, part 6115.0231 **Sec. 40 – 333. Notification of Variances and Conditional Uses**

In Section 40-333 the ordinance addresses variance and conditional use permits in the shoreland overlay district. The following is the applicable evaluative criteria for granting of a conditional use permit:

(3) Conditional uses allowed within shoreland areas shall be subject to review and approval procedures, criteria, and conditions for review as established in Article V, Division 6, of the Zoning Ordinance. The following additional evaluation criteria and conditions apply within shoreland areas:

(a) Prevention of soil erosion or other possible pollution of public waters, both during and after construction.

(b) The visibility of structures and other facilities as viewed from public waters is limited.

(c) The site is adequate for water supply and on-site sewage treatment.

(d) The types, uses, and number of watercraft that the project will generate are compatible in relation to the suitability of public waters to safely accommodate these watercrafts.

(e) The removal of significant trees shall not exceed those in accordance with Section 40-556 of this Ordinance.

These standards can be met.

(4) In evaluating all variances, conditional uses, and zoning applications, the zoning authority shall require the property owner to address, when appropriate, the following conditions, when related to and proportional to the impact, to meet the purpose of this ordinance, to protect adjacent properties, and the public interest:

(a) Advanced storm water runoff management treatment;

(b) Reducing impervious surfaces;

(c) Increasing setbacks from the ordinary high water level;

(d) Restoration of wetlands;

(e) Limiting vegetation removal and/or riparian vegetation restoration;

(f) Provisions for the location, design, and use of structures, sewage treatment systems, water supply systems, watercraft launching and docking areas, and parking areas;

(g) Screening of the non-water-orientated structures as viewed from public waters;

The applicant is not proposing to increase the impervious surface area from the existing condition. Any change in setbacks shall only happen upon the demolition of the gas station building – which shall not move the building closer towards the OHWL. These standards are met.

General Conditional Use Permit Standards

Chapter 40, Article V, Division 6, Conditional Use Permits, Section 40 – 112, sets forth the general standards that shall be met in order to grant a CUP. These standards are as follows:

1. The use is in conformity with the Comprehensive Plan and development policies of the City.

This standard has been met.

2. The use will not create an excessive demand on existing parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the area.

This standard has been met.

3. The use will be sufficiently compatible or separated by distance or screening from adjacent development or land so that existing development will not be depreciated in value and there will be no deterrence to development of vacant land.

This standard can be met.

4. The structure and site will have an appearance that will not have an adverse effect upon adjacent properties.

- This standard has been met.*
5. The use in the opinion of the City is reasonably related to the overall needs of the City and to the existing land use.
This standard has been met.
6. The use will be consistent with the purpose of this and other City Ordinances.
This standard has been met.
7. The use will be located, designed, maintained, and operated to be compatible with the existing or intended character of the zoning district in which it is to be located.
This standard has been met.
8. The use will generate only minimal vehicular traffic on local streets and shall not create traffic hazards or unsafe access or parking needs.
This standard has been met; there is no change anticipated from the existing condition.
9. Existing businesses nearby will not be adversely affected because of the curtailment of customer trade brought about by intrusion of noise, glare, or general unsightliness.
This standard has been met.
10. The establishment or maintenance of the use shall not be detrimental to the public, health, safety, or general welfare.
This standard has been met.
11. The use will not be hazardous, detrimental, or disturbing to present and potential surrounding land use due to water pollution, odor, fumes, general unsightliness, or other nuisances.
This standard has been met.
12. The use will preserve and incorporate the site's important natural and scenic features into the development design.
This standard has been met.
13. The use will cause minimal adverse environmental effects.
This standard has been met.

Next Steps

The City Council will review the Planning Commission's site plan review and conditional use permit recommendation at the next regularly scheduled meeting.



City Of Wyoming
26885 Forest Blvd, PO Box 188
Wyoming, MN 55092
Phone (651) 462-4947
permits@wyomingmn.org

LAND USE APPLICATION: CONDITIONAL & INTERIM USE PERMIT

A conditional use permit application requests a use permitted in a particular zoning district, but regulated and controlled through conditions placed upon it by the City Council after review by the Planning Commission.

Property Address: 5111 E Viking Blvd, Wyoming, MN 55092

Applicant(s): Name(s) Dairy Queen/Fourteen Foods

Address 770 France Ave. South, Suite 170

City Bloomington

State MN

Zip 55435

Phone Number 612-310-3694

Email jmichael@fourteenfoods.com

Owner(s) - If other than Applicant(s):

Name(s) D7 Wyoming, LLC

Address 7700 France Ave. South, Suite 170

City Bloomington

State MN

Zip 55435

Phone Number 612-310-3694

Email jmichael@fourteenfoods.com

Owner(s) Signature(s) [Signature]

Date 11-7-24

Legal description of property: *See attachment

Property Identification Number: R.21.00020.00

Present Zoning: C-Commercaill

Present use of property: Quick Service Resturant

Proposed use of property: Quick Service Resturant

Is this an application for an Interim Use permit? ☐ Yes ☒ No If yes, on what date, or upon what event, would the applicant desire the interim use to expire? Date: / / OR Event:

This application and the following attachments must be submitted to be considered a complete application:

A detailed site plan showing the following information from Sec. 40 - 111, A-K also including:

- The grading and drainage plan must be designed in accordance with Article VII, Division 21 of the Zoning Ordinance and the City Of Wyoming Surface Water Resource Guidance Document
 - Elevation drawings of all sides of the proposed building to show compliance with the architectural standards of the zoning district the use will be located in
 - Landscaping and Screening in accordance with Article VII, Divisions 14 & 26
 - Lighting Plan in accordance with Article VII, Division 15
- A letter explaining the proposed use and how it will be operated
 - A completed Conditional & Interim Use Permit Worksheet
 - Applications for uses described in Article VI, Divisions 7, 18 & 19 and Article VII, Divisions 2, 8, 10, 17-20 & 25 of the Zoning Ordinance. It must include the information necessary to show compliance with the applicable section of the ordinance.
 - Applications for uses that are within the Highway 8 Overlay District or that utilize Highway 8 for access must include the information necessary to show compliance with Article VI, Division 14 of the Zoning Ordinance
 - The application fee and escrow must be paid at the time of application - The fee is **not** refundable and the unused portion of the escrow will be returned to the applicant.
 - Any other information deemed necessary by the Zoning Administrator or Planning Commission

Applicant(s) Signature(s) [Signature]

Date 11-7-24

As the applicant for this request, I agree to reimburse the City for all expenses incurred by the City in employing planning, engineering, legal, and other professional consultants in reviewing this application. This may include the replenishment of any escrow funds as required as part of this application. Such costs shall be paid by me, the applicant, regardless of the outcome of the review and prior to commencing any work on the project. All of Article V, Division 6, Conditional Use Permits, and Article VII, Division 13, Home Occupations are attached to this application and by signing this application, the Applicant acknowledges that they have been read and understood.

A public hearing can be scheduled only after a complete application has been received.

OFFICE USE ONLY

Date Complete Application Received 11 / 25 / 24

Application # C-24-002

60 Days 1 / 24 / 25

Date Application Received 11 / 4 / 24

By: [Signature]

Official

Fee: **\$220.00 + Escrow**

Escrow - Commercial is \$1,000.00 & Residential is \$750.00

Date Paid 11 / 25 / 24

Check # ✓

Revised 01/24/23

CONDITIONAL & INTERIM USE PERMIT WORKSHEET

Applicant: _____

Address: _____

Type of Business: _____

Business name: _____

Answer the following questions based on the standards contained in Sec. 40 – 112 of the City of Wyoming Zoning Ordinance for Conditional and Interim Use Permits. If needed, use a separate page. **All questions must be answered.**

1. Is your proposed use in conformity with the Comprehensive Plan and development policies of the City?
☐ Yes ☐ No Explain: _____
2. Will your proposed use create an excessive demand on existing parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the area?
☐ Yes ☐ No Explain: _____
3. Will your proposed use be sufficiently compatible or separated by distance or screening from adjacent development or land so that existing development will not be depreciated in value and so there will be no deterrence to development of vacant land?
☐ Yes ☐ No Explain: _____
4. Will the structure and site have an appearance that will not have an adverse effect upon adjacent properties?
☐ Yes ☐ No Explain: _____
5. Is the proposed use reasonably related to the overall needs of the City and to the existing land use?
☐ Yes ☐ No Explain: _____
6. Will the proposed use be consistent with the purpose of the Zoning Ordinance and other City Ordinances?
☐ Yes ☐ No Explain: _____
7. Will the proposed use be located, designed, maintained, and operated to be compatible with the existing or intended character of the zoning district in which it is to be located?
☐ Yes ☐ No Explain: _____
8. Will the proposed use generate only minimal vehicular traffic on local streets?
☐ Yes ☐ No Explain: _____
9. Will the proposed use create traffic hazards or unsafe access or parking needs?
☐ Yes ☐ No Explain: _____
10. Will existing businesses nearby be adversely affected by your proposed use because of the curtailment of customer trade brought about by intrusion of noise, glare, or general unsightliness?
☐ Yes ☐ No Explain: _____
11. Will the establishment or maintenance of the proposed use be detrimental to the public health, safety or general welfare?
☐ Yes ☐ No Explain: _____
12. Will the proposed use be hazardous, detrimental, or disturbing to present and potential surrounding land uses due to water pollution, odor, fumes, and general unsightliness or other nuisances?
☐ Yes ☐ No Explain: _____
13. How will the proposed use preserve and incorporate the site's important natural and scenic features into the development design?
☐ Yes ☐ No Explain: _____
14. Will the proposed use cause adverse environmental effects?
☐ Yes ☐ No Explain: _____

Application # _____

Revised 01/24/23



City Of Wyoming
26885 Forest Blvd, PO Box 188
Wyoming, MN 55092
Phone (651) 462-4947
permits@wyomingmn.org

LAND USE APPLICATION: SITE PLAN REVIEW

A site plan review application requests a use permitted in a particular zoning district, but regulated and controlled through conditions placed upon it by the City Council after review by the Planning Commission.

Property Address: 5111 E Viking Blvd, Wyoming, MN 55092

Applicant(s): Name(s) Dairy Queen/Fourteen Foods

Address 7700 France Ave. South, Suite 170

City Bloomington

State MN

Zip 55435

Phone Number 612-310-3694

Email jmichael@fourteenfoods.com

Owner(s) - If other than Applicant(s):

Name(s) D7 Wyoming, LLC

Address 7700 France Ave. South, Suite 170

City Bloomington

State MN

Zip 55435

Phone Number 612-310-3694

Email jmichael@fourteenfoods.com

Owners(s) Signature(s) [Signature]

Date 11-7-24

Legal description of property: *See attachment

Property Identification Number: R.21.00020.00

Present Zoning: C-Commercial

Present use of property: Quick Service Resturant

Proposed use of property: Quick Service Resturant

This application and the following attachments must be submitted to be considered a complete application:

- A detailed site plan showing the information listed in Section 40 - 82, 1-6 as well as the following:
 - The grading and drainage plan must be designed in accordance with Article VII, Division 21 of the Zoning Ordinance and the City of Wyoming Surface Water Resource Guidance Document
 - Elevation drawings of all sides of the proposed building to show compliance with the architectural standards of the zoning district the use will be located in
 - Landscaping and Screening in accordance with Article VII, Divisions 14 & 26
 - Lighting Plan in accordance with Article VII, Division 15
- A letter explaining the proposed use and how it will be operated
- Applications for uses described in Article VI, Divisions 7, 18, & 19 and Article VII, Divisions 2, 8, 10, 17-20, and 25 of the Zoning Ordinance must include the information necessary to show compliance with the applicable section of the ordinance
- Applications for uses that are within the Highway 8 Overlay District or that utilize Highway 8 for access must include the information necessary to show compliance with Article VI, Division 14 of the Zoning Ordinance.
- The application fee and escrow must be paid at the time of application - The fee is **not** refundable and the unused portion of the escrow will be returned to the applicant
- Any other information deemed necessary by the Zoning Administrator or Planning Commission

Applicant(s) Signature(s) [Signature]

Date 11-7-24

As the applicant for this request, I agree to reimburse the City for all expenses incurred by the City in employing planning, engineering, legal and other professional consultants in reviewing this application. This may include the replenishment of any escrow funds as required as part of this application. Such costs shall be paid by me, the applicant, regardless of the outcome of the review and prior to commencing any work on the project. Article V, Division 4, Site Plan Review, is attached to this application. By signing this application, the applicant acknowledges that it has been read and understood.

A public meeting can be scheduled only after a complete application has been received.

OFFICE USE ONLY

Application # SP-24-001

Date Application Received 11/4/24

Date Complete Application Received 11/25/24

60 Days 1/24/25

Fee: \$220.00 + Escrow \$1,000.00

Date Paid 11/25/24

Revised 01/24/23

By: [Signature]
Official

Check # [Signature]

To the city of Wyoming,

We (Double 7/Fourteen Foods) intend to renovate the current Dairy Queen store located at 5111 E. Viking Blvd, Wyoming, MN 55092. This renovation includes the plans to tear down the conjoint, vacant gas station and build an adjacent Quick Service Restaurant.

We are still shopping for tenants, but we are hoping to bring in a partner in the Coffee Business.



VICINITY MAP

NOT TO SCALE

TITLE DISCLAIMER:

IT IS NOT WARRANTED THAT THESE DRAWINGS CONTAIN COMPLETE INFORMATION REGARDING EASEMENTS, RESERVATIONS, RESTRICTIONS, RIGHT-OF-WAYS, BUILDING LINE SETBACKS, AND OTHER ENCUMBRANCES. FOR COMPLETE INFORMATION, A TITLE OPINION OR COMMITMENT FOR TITLE INSURANCE SHOULD BE OBTAINED AND THOROUGHLY REVIEWED.

UTILITY INFORMATION:

UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES., STRUCTURES, AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION, OR CONSTRUCTION OF IMPROVEMENTS.



MINNESOTA UTILITY LOCATION SERVICE
PHONE: 800.252.1166 OR WWW.GOPHERSTATEONECALL.ORG

CONTRACTOR NOTE:

THE CONTRACTOR AND/OR ALL SUBCONTRACTORS SHALL INVESTIGATE, ASCERTAIN, AND CONFORM TO ANY AND ALL PERMIT REQUIREMENTS OF ALL THE AFFECTED UTILITY COMPANIES AND/OR REGULATORY AGENCIES WITH REGARDS TO MAKING CONNECTIONS TO; OR CROSSING OF THEIR FACILITIES; WORKING WITHIN THEIR RIGHT OF WAY OR EASEMENTS; INSPECTIONS AND ASSOCIATED MONETARY CHARGES; AND/OR SPECIAL BACKFILL REQUIREMENTS. SUCH INVESTIGATION SHALL INCLUDE BUT NOT LIMITED TO THE MAKING OF NECESSARY APPLICATIONS AND PAYMENTS OF ALL REQUIRED FEES.

THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS OR PROFILES ARE APPROXIMATE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR/SUBCONTRACTOR TO VERIFY THE FIELD LOCATIONS, ANTICIPATED CLEARANCES, AND THE EXISTENCE OF ANY FACILITIES NOT SHOWN HEREON, AS PART OF THE INVESTIGATIONS IN THE PARAGRAPH ABOVE.

SIGNAGE NOTE:

ALL BUILDING AND MONUMENT SIGNAGE WILL BE PERMITTED SEPARATELY.

FINAL DEVELOPMENT PLANS FOR



Dairy Queen Wyoming, Minnesota

CITY OF WYOMING
CHISAGO COUNTY, MINNESOTA

SITE INFORMATION

PARCEL ID: 21.00020.00

AREA OF LOT: 77,933 S.F. (1.79 ACRES)

EXISTING GROSS FLOOR AREA: 2,707 S.F.

PERCENTAGE (%) OF BUILDING COVERAGE: 3.47%

EXISTING ZONING: C - COMMERICAL

PARKING SPACES REQUIRED
(RESTAURANTS-1 SPACE FOR EVERY 4 SEATS
PLUS 1 SPACE FOR EVERY 2 EMPLOYEES)
DAIRY QUEEN - 68 INTERIOR, 26 EXTERIOR
MAX. EMPLOYEE 14

PARKING SPACES REQUIRED:	31
ADA PARKING SPACES REQUIRED:	2
PARKING SPACES PROVIDED:	31
ADA PARKING SPACES PROVIDED:	2
EXTRA PARKING IN REAR PROVIDED	

EXISTING IMPERVIOUS AREA:	49,938 S.F. (1.15 ACRES) - 64.1%
EXISTING PERVIOUS AREA:	27,995 S.F. (0.64 ACRES) - 35.9%

PROPOSED IMPERVIOUS AREA:	49,938 S.F. (1.15 ACRES) - 64.1%
PROPOSED PERVIOUS AREA:	27,995 S.F. (0.64 ACRES) - 35.9%

LAND DISTURBANCE AREA:	31,128 S.F. (0.71 ACRES)
------------------------	--------------------------

OWNER/DEVELOPER

FOURTEEN FOODS
STEVE GIORGI
6442 CITY WEST PARKWAY
EDEN PRARIE, MN 55344
612.578.2864

ARCHITECT

JSO SERVICES, LLC
JOHN ODOM, R.A.
99 MEADOWBROOK
COUNTRY CLUB ESTATES
BALLWIN, MO 63011
417.343.2602

CIVIL ENGINEER

RDC, LLC
TODD REYLING, P.E.
4516 BOARDWALK
SMITHTON, IL 62285
618.530.1694

SURVEYOR

REHDER & ASSOCIATES, INC.
GARY HUBER, PLS
3440 FEDERAL DRIVE, SUITE 110
EAGAN, MN 55122
651.452.5051

CIVIL SHEET INDEX

C000	COVER SHEET
C001	CIVIL CONSTRUCTION NOTES
C100	EXISTING TOPOGRAPHY AND DEMOLITION PLAN
C200	CIVIL SITE PLAN
C201	CIVIL SITE PLAN - HORIZONTAL CONTROL
C202	CIVIL SITE PLAN - FUTURE SITE
C300	GRADING PLAN
C400	EXISTING DRAINAGE AREA PLAN
C401	PROPOSED DRAINAGE AREA PLAN
C500	SITE UTILITY PLAN
C600	SEDIMENT AND EROSION CONTROL PLAN
C700-C703	CONSTRUCTION DETAILS
C800	TURNING MOVEMENTS

UTILITY CONTACTS

WATER:	WYOMING PUBLIC WORKS 651.462.0580
ELECTRIC:	XCEL ENERGY 800.895.4999
GAS:	XCEL ENERGY 800.895.4999
SANITARY SEWER:	WYOMING PUBLIC WORKS 651.462.0580
STORM SEWER:	WYOMING PUBLIC WORKS 651.462.0575
COMMUNICATIONS:	FRONTIER 866.226.5170

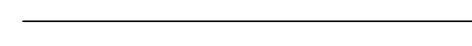
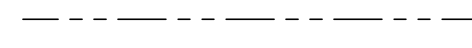
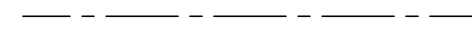
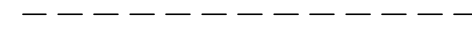
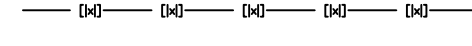
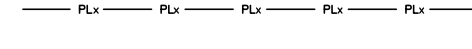
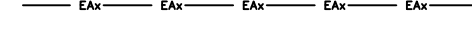
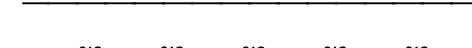
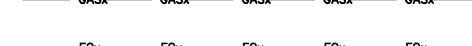
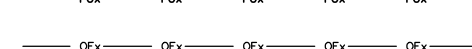
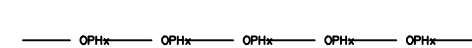
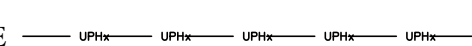
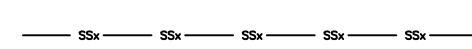
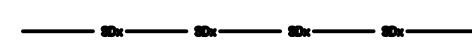
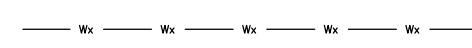
SURVEY/TOPOGRAPHY NOTE:

THE BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THESE PLANS WAS PREPARED FROM AN ACTUAL FIELD SURVEY PROVIDED BY REHDER & ASSOCIATES, INC. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE OWNER, ARCHITECT, AND ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

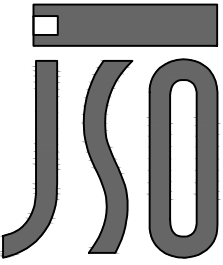
BEARING OF BASIS:

BEARINGS SHOWN ARE BASED ON THE CHISAGO COUNTY COORDINATE SYSTEM.

SITE LEGEND

EXISTING		EXISTING		PROPOSED	
LIGHT POLE		EDGE OF SHOULDER		LIGHT POLE	
FLARED END SECTION		FLOW LINE		FLARED END SECTION	
TRAFFIC SIGN		TOP OF BANK		TRAFFIC SIGN	
FIRE HYDRANT		CONTOUR		FIRE HYDRANT	
WATER VALVE		SILT FENCE		WATER VALVE	
TREE		PROPERTY LINE		TREE	
DRAINAGE MANHOLE		EASEMENT		DRAINAGE MANHOLE	
DRAINAGE CATCHBASIN		FENCE		DRAINAGE CATCHBASIN	
SANITARY MANHOLE		GAS LINE		SANITARY MANHOLE	
SANITARY CLEANOUT		FIBER OPTIC		SANITARY CLEANOUT	
		OVERHEAD ELECTRIC			
		UNDERGROUND ELECTRIC			
		OVERHEAD TELEPHONE			
		UNDERGROUND TELEPHONE			
		SANITARY SEWER			
		STORM SEWER			
		WATERLINE			

Architect:



JOHN S. ODOM, ARCHITECT
99 MEADOWBROOK COUNTRY CLUB ESTATES
BALLWIN, MISSOURI 63011
PH: 1-417-343-2602
WWW.JOHNSDOM.COM
E-MAIL: JOHN@JOHNSDOM.COM

Civil Engineer:



REYLING DESIGN & CONSULTING
4516 Boardwalk | Smithton, IL | 62285
reylingdc@gmail.com

HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
SIGNATURE: 
NAME: TODD JEFFREY REYLING
DATE: 11.04.2024 LICENSE NUMBER: 50973

ENGINEER OF RECORD:
Todd J. Reyling, PE
Minnesota PE 50973
ISSUED / REVISED DATE
ISSUED FOR REVIEW 11.04.2024

PROJECT NUMBER: 22-142

New Ground Up Building:

Dairy Queen

5111 East Viking Blvd.
Wyoming, MN 55092
Chisago County

Cover
Sheet

C000

CIVIL CONSTRUCTION NOTES:

ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT WYOMING STANDARDS AND SPECIFICATIONS. IF NOT SPECIFIED BY THE CITY OF WYOMING, ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT MINNESOTA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY EXISTING IMPROVEMENTS OR UNDERGROUND FACILITIES THAT ARE DAMAGED.

THE CONTRACTOR SHALL LEAVE AN EMERGENCY PHONE NUMBER WITH THE POLICE AND FIRE DEPARTMENTS AND KEEP THEM INFORMED OF CONSTRUCTION ACTIVITIES AND OF ANY DETOURS.

CONTRACTOR SHALL POST EMERGENCY PHONE NUMBERS AT THE SITE FOR THE PUBLIC WORKS, AMBULANCE, POLICE, FIRE DEPARTMENT, AND UTILITY LOCATE COMPANIES AT ALL TIMES.

THE CONTRACTOR SHALL CONDUCT THEIR WORK SO AS NOT TO INTERFERE WITH OR HINDER THE PROGRESS OF THE COMPLETION OF WORK BEING PERFORMED BY OTHER CONTRACTORS.

THE CONTRACTOR AND ALL SUBCONTRACTORS INVOLVED IN THE PROJECT, SHALL ASSUME LIABILITY, FINANCIAL OR OTHERWISE, IN CONNECTION WITH THEIR CONTRACT AND SHALL PROTECT AND HOLD HARMLESS THE ENGINEER AND THE ENGINEER'S REPRESENTATIVES FROM ANY AND ALL DAMAGES OR CLAIMS THAT MAY ARISE BECAUSE OF INCONVENIENCE, DELAYS, OR LOSS EXPERIENCED BECAUSE OF THE PRESENCE AND OPERATIONS OF OTHER CONTRACTORS OR CONSULTANTS WORKING ADJACENT TO OR WITHIN THE LIMITS OF THE PROJECT.

CONTRACTOR SHALL REPAIR ANY DAMAGE TO PROPERTY DURING CONSTRUCTION. DAMAGED PROPERTY SHALL BE RETURNED TO THE EXISTING CONDITIONS AT A MINIMUM.

PUBLIC SAFETY AND TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE CITY OF WYOMING AND CHISAGO COUNTY STANDARDS AND SPECIFICATIONS AND AS DIRECTED BY THE CITY. SAFE VEHICULAR AND PEDESTRIAN ACCESS SHALL BE PROVIDED AROUND THE SITE AT ALL TIMES. ALL DETOUR/LANE CLOSURES MUST BE HANDLED USING TRAFFIC CONTROL DEVICES CONFORMING TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION, AND MUST BE APPROVED BY THE CITY.

ADEQUATE TEMPORARY OFF STREET PARKING FOR CONSTRUCTION WORKERS SHALL BE PROVIDED. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION, WHEREBY MUD FROM CONSTRUCTION AND/OR WORKERS VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVEWAY CONDITIONS.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SITE FEATURES AND UTILITIES, AND REPORT ALL FINDINGS AND DISCREPANCIES TO THE ENGINEER.

ALL WORK, INSTALLATION, PROCEDURES, MATERIALS, AND TESTING ASSOCIATED WITH THIS PROJECT SHALL CONFORM TO THE FOLLOWING STANDARD SPECIFICATIONS AND REQUIREMENTS INSOFAR AS THEY APPLY (EXCEPT ALL REQUIREMENTS FOR METHOD OF MEASUREMENT OR PAYMENT DO NOT APPLY):

- NATIONAL MANUAL ON TRAFFIC CONTROL DEVICES, LATEST EDITION.
- UNITED STATES AMERICANS WITH DISABILITIES ACT.
- MINNESOTA AMERICAN PUBLIC WORKS ASSOCIATION.
- ALL ORDINANCES, LAWS, REGULATIONS, AND STANDARDS OF ALL PERTINENT AUTHORITIES HAVING JURISDICTION OVER THE WORK ASSOCIATED WITH THIS PROJECT.
- ANY INCONSISTENCIES, DISCREPANCIES OR CONFLICTS DISCOVERED BETWEEN THE VARIOUS STANDARDS, SPECIFICATIONS OR LAWS BY GOVERNING AUTHORITIES AND/OR THESE PLANS AND SPECIFICATIONS, THE MOST STRINGENT SHALL BE BINDING AND APPLICABLE TO THIS PROJECT.

CIVIL SITE NOTES:

THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES FOR SAFETY PRECAUTIONS OR PROGRAMS. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

PRIOR TO CONSTRUCTION, THE ENGINEER AND REVIEWING AGENCY, MUST APPROVE ANY ALTERATION OR VARIANCE FROM THE PLANS, ANY VARIATIONS FROM THESE PLANS SHALL BE PROPOSED ON THE CONSTRUCTION FIELD PRINTS AND TRANSMITTED TO THE ENGINEER.

ANY INSPECTION BY THE MUNICIPALITY, COUNTY, STATE OR THE ENGINEER SHALL NOT, IN ANY WAY, RELIEVE THE CONTRACTOR FROM ANY OBLIGATION TO PERFORM THE WORK IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES AND AGENCY REQUIREMENTS.

REMOVAL AND REPLACEMENT QUANTITIES ARE APPROXIMATE AND THE EXACT LOCATION OF REMOVAL LIMITS SHALL BE VERIFIED IN THE FIELD AND APPROVED BY THE INSPECTOR PRIOR TO THE START OF CONSTRUCTION.

ALL LANDSCAPE AREAS SHALL BE FILLED WITH A MINIMUM OF 6 INCHES OF TOPSOIL.

THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL REQUIRED CONSTRUCTION PERMITS AND BONDS PRIOR TO CONSTRUCTION.

ALL SIGNAGE PROPOSED FOR THIS SITE SHALL BE IN COMPLIANCE WITH THE ORDINANCES OF THE CITY.

THE CONTRACTOR SHALL HAVE A COPY OF THE CONTRACT DOCUMENTS INCLUDING THE PLANS, SPECIFICATIONS, COPIES OF REQUIRED CONSTRUCTION PERMITS, EROSION AND SEDIMENT CONTROL PLANS AND INSPECTION REPORTS AT THE JOB SITE AT ALL TIMES.

ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE OWNER, CITY INSPECTOR, AND ENGINEER OF RECORD DIRECTLY FROM THE TESTING COMPANY.

THE CONTRACTOR SHALL THOROUGHLY CHECK AND COORDINATE THE ARCHITECTURAL, CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION, AND ALL OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. THE OWNER AND ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO COMMENCING CONSTRUCTION.

ALL UTILITY CONDUITS SHALL BE FOUR (4) INCHES, UNLESS OTHERWISE INDICATED. U.L. LISTED SCHEDULE 40 PVC INSTALLED AT A MINIMUM OF 24" BELOW FINAL GRADE. UNLESS THE UTILITY COMPANY REQUIRES DIFFERENT INSTALLATION METHODS, ALL CONDUITS FOR GAS, ELECTRIC, AND COMMUNICATIONS SHALL BE INSTALLED PRIOR TO STREET/PAVEMENT INSTALLATION.

ALL UTILITY CONDUITS SHALL HAVE PULL WIRES INSTALLED. THE CONDUITS ENDS SHALL BE TEMPORARILY SEALED WITH TAPE AND 2"X4" INSTALLED AT EACH END. THE 2"X4" SHALL BE COLOR CODED TO MATCH THE STANDARD UTILITY LOCATING COLORS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY RELOCATIONS INCLUDING BUT NOT LIMITED TO: UNDERGROUND AND OVERGROUND UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS AND POLES, IRRIGATION STRUCTURES, AND OTHER EXISTING APPURTENANCES AS REQUIRED TO FACILITATE THE INSTALLATION OF THE PROPOSED IMPROVEMENTS. ALL RELOCATION WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES/DISTRICTS SPECIFICATIONS AND SHALL BE APPROVED BY THE GOVERNING AUTHORITIES/OWNERS PRIOR TO COMMENCEMENT OF ANY WORK. ALL RESULTING COSTS SHALL BE DEEMED TO BE INCLUDED IN THE CONTRACTOR'S COST/BID.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEWATERING ALL AREAS TO BE EXCAVATED OR FILLED.

THE CONTRACTOR SHALL NOT TAKE ADVANTAGE OF ANY APPARENT ERROR OR OMISSION ON THE PLANS OR SPECIFICATIONS. IN THE EVENT THE CONTRACTOR DISCOVERS ANY APPARENT ERROR OR DISCREPANCY, THEY SHALL IMMEDIATELY CALL UPON THE ENGINEER FOR THEIR INTERPRETATION AND DECISION.

THE CONTRACTOR SHALL COMPLY WITH ALL LEGAL ROAD RESTRICTIONS IN THE HAULING OF MATERIALS ON PUBLIC ROADS/STREETS BEYOND THE LIMITS OF THE WORK. A SPECIAL HAUL PERMIT WILL NOT RELIEVE THE CONTRACTOR OF LIABILITY FOR ANY DAMAGE WHICH MAY RESULT FROM THE MOVING OF MATERIAL OR EQUIPMENT.

IF THE CONTRACTOR ELECTS TO BURN CLEARED AND GRUBBED VEGETATION, THE CONTRACTOR SHALL BE RESPONSIBLE TO APPLY FOR PERMISSION FOR THE APPLICABLE MUNICIPALITY, FIRE DEPARTMENT, AND ALL PERTINENT AUTHORITIES HAVING JURISDICTION.

CIVIL EROSION AND SEDIMENT CONTROL NOTES:

ALL SOIL AND EROSION CONTROL MEASURES SHALL CONFORM TO AND BE IN COMPLIANCE WITH THE CITY OF WYOMING, MINNESOTA; AND THE MINNESOTA POLLUTION CONTROL AGENCY.

ALL WATER POLLUTION CONTROL BEST MANAGEMENT PRACTICES (BMP'S) SHOWN ON THESE PLANS ARE DIAGRAMMATIC. THE CONTRACTOR SHALL DETERMINE ACTUAL LOCATIONS THAT ARE APPROPRIATE FOR EACH PHASE OF CONSTRUCTION.

ALL SOIL AND EROSION CONTROL MEASURES SHALL CONFORM TO THE MINNESOTA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL, AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS.

ALL PERIMETER SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING.

ALL REMOVABLE PROTECTIVE EROSION CONTROL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY.

AFTER A RAINFALL EVENT, ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL BMP'S.

GRADED AREAS AROUND THE PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.

DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE PRECAUTION TO ENSURE THAT SEDIMENTATION DAMAGE WILL NOT OCCUR. THE CONTRACTOR SHALL RESTRICT THE AMOUNT OF LAND AREA GRADED AT ANY ONE TIME TO A MINIMUM. IT IS RECOMMENDED DURING AND AFTER GRADING, THAT A TEMPORARY VEGETATIVE COVER BE ESTABLISHED TO PROTECT THE BARE SOIL SURFACE.

THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.

THE ENGINEER RESERVES THE RIGHT TO MAKE CHANGES OR MODIFICATIONS TO THE EROSION AND SEDIMENT CONTROL PLAN AS DEEMED NECESSARY.

TEMPORARY EROSION PROTECTION IS REQUIRED FOR MANUFACTURED SLOPES PRIOR TO PERMANENT PLANTING.

AREAS SHALL BE MAINTAINED IN SUCH A STATE FOR FIRE ACCESS AT ALL TIMES (INCLUDING ACCESS TO NEIGHBORING PROPERTIES).

NO OBSTRUCTION OR DISTURBANCE OF NATURAL DRAINAGE COURSES OR EXISTING STORM DRAIN INLETS SHALL OCCUR, UNLESS ADEQUATE TEMPORARY/PERMANENT DRAINAGE FACILITIES HAVE BEEN APPROVED AND INSTALLED TO CARRY SURFACE WATER TO THE NEAREST PRACTICAL STREET, STORM DRAIN, OR NATURAL WATERCOURSE.

THE CONTRACTOR SHALL CONDUCT THEIR OPERATIONS IN SUCH A MANNER THAT STORM RUNOFF WILL BE CONTAINED WITHIN THE PROJECT OR CHANNELLED INTO THE STORM DRAINAGE SYSTEM WHICH SERVES THE RUNOFF AREA. STORM RUNOFF FROM ONE AREA SHALL NOT BE ALLOWED TO DIVERT TO ANOTHER RUNOFF AREA.

ANY EROSION AND SEDIMENT CONTROL PLAN CONTAINED IN THE PROJECT PLANS SHOULD BE CONSIDERED A GENERAL GUIDELINE TO BE UTILIZED FOR EROSION CONTROL PREVENTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL EROSION AND DISPLACED SEDIMENT DOES NOT MIGRATE OFF SITE. IF UNEXPECTED EROSION OR SEDIMENTATION OCCURS, OR IF THE EROSION PLAN STRUCTURES BECOME DAMAGED, THE CONTRACTOR SHALL PROVIDE SUFFICIENT MEASURES TO REPAIR, REPLACE, OR INSTALL EROSION CONTROL STRUCTURES TO ENSURE OFF-SITE DAMAGE DOES NOT OCCUR. ANY SEDIMENT OR EROSION DAMAGE WHICH OCCURS OFF-SITE SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.

CONFORMANCE WITH THE REQUIREMENTS OF THESE PLANS SHALL IN NO WAY RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITIES TO THE SITE AND ADJACENT PROPERTIES. TEMPORARY EROSION CONTROL SHALL CONSIST OF, BUT NOT LIMITED TO, CONSTRUCTING SUCH FACILITIES AND TAKING SUCH MEASURES AS ARE NECESSARY TO PREVENT, CONTROL AND ABATE WATER, MUD, AND EROSION DAMAGE TO PUBLIC AND PRIVATE PROPERTY AS A RESULT OF THE CONSTRUCTION OF THIS PROJECT.

FILL AREAS WHILE BEING BROUGHT UP TO GRADE AND DURING PERIODS OF COMPLETION PRIOR TO FINAL GRADE, SHALL BE PROTECTED BY VARIOUS MEASURES TO ELIMINATE EROSION AND THE SILTATION OF DOWNSTREAM FACILITIES AND ADJACENT AREAS. THESE MEASURES MAY INCLUDE, BUT SHALL NOT BE LIMITED TO: TEMPORARY DOWNDRAINS, EITHER IN THE FORM OF PIPES OR PAVED DITCHES WITH PROTECTED OUTFALL AREAS; CONFINED PONDING AREAS TO DESILT RUNOFF; TEMPORARY CHECK DAMS IN THE TOE SLOPE DITCHES TO DESILT RUNOFF; PROTECTION SUCH AS SAND BAGS AROUND INLETS WHICH HAVE NOT BEEN BROUGHT UP TO GRADE; AND EARTH BERMS AND APPROPRIATE GRADING TO DIRECT DRAINAGE AWAY FROM THE EDGE OF THE TOP OF SLOPES SHALL BE CONSTRUCTED AND MAINTAINED ON FILL AREAS WHERE EARTHWORK OPERATIONS AREA NOT IN PROGRESS.

CLEARING AND GRUBBING SHOULD BE LIMITED TO AREAS THAT WILL RECEIVE IMMEDIATE GRADING. EROSION CONTROL MEASURES WILL BE REQUIRED TO PROTECT AREAS THAT HAVE BEEN CLEARED AND GRUBBED PRIOR TO GRADING OPERATIONS. THESE MEASURES MAY INCLUDE BUT SHALL NOT BE LIMITED TO: GRADED DITCHES, BRUSH BARRIERS, AND SILT FENCES. CARE SHALL BE EXERCISED TO PRESERVE VEGETATION BEYOND THE LIMITS OF GRADING.

PAVED SURFACES WITH ACCUMULATED MATERIALS SHALL BE WASHED AND SWEEPED WITH MECHANICAL EQUIPMENT AFTER PAVEMENT IS CONSTRUCTED, BUT PRIOR TO FINAL ACCEPTANCE.

THE CONTRACTOR SHALL PLACE FILTER FABRIC AROUND ALL INLETS. BARRIERS AROUND INLETS IN STREETS OR PAVED AREAS SHALL BE REMOVED PRIOR TO FINAL ACCEPTANCE OF PUBLIC IMPROVEMENTS.

CITY APPROVAL OF THESE PLANS DOES NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS AND OMISSIONS DISCOVERED DURING CONSTRUCTION. UPON REQUEST, THE REQUIRED PLAN REVISIONS SHALL BE PROMPTLY SUBMITTED TO THE ENGINEER FOR APPROVAL.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 13 DAYS SHALL BE STABILIZED WITH MULCH AND TEMPORARY SEEDING.

CIVIL SIGNAGE AND STRIPING NOTES:

ALL SIGNS SHALL BE STANDARD SIZE AND TO CURRENT MUTCD STANDARDS, INCLUDING SUPPLEMENTS FOR THE STATE OF MINNESOTA, UNLESS OTHERWISE NOTED.

ALL PARKING RESTRICTION SIGNS SHALL HAVE ENGINEERING REFLECTIVE SHEETING. ALL OTHER SIGNS SHALL HAVE DIAMOND GRADE REFLECTIVE SHEETING.

ALL SIGNS SHALL BE MOUNTED WITH VANDAL-RESISTANT HARDWARE.

POST MOUNTED SIGNS SHALL BE MOUNTED SO THAT THE BOTTOM OF THE SIGN IS AT LEAST 6 FEET FROM THE FINISHED GRADE IN AREAS WHERE PEDESTRIANS MAY BE PRESENT. EVEN IN AREAS WHERE NO SIDEWALKS ARE PRESENT, UNLESS OTHERWISE NOTED, TO SATISFY THIS REQUIREMENT, EXISTING POSTS MAY NEED TO BE REPLACED IF ADDITIONAL SIGNS ARE REQUIRED.

WHERE POSSIBLE, AT LEAST 2 FEET OF CLEARANCE SHALL BE PROVIDED FROM THE CURB FACE TO THE EDGE OF THE SIGN.

ALL PERMANENT STRIPING AND PAVEMENT MARKINGS SHALL BE THERMOPLASTIC UNLESS OTHERWISE NOTED. YELLOW THERMOPLASTIC SHALL BE LEAD-FREE ORGANIC MATERIAL. ALL CURB MARKINGS SHALL BE PAINTED.

ALL STRIPING AND PAVEMENT MARKINGS SHALL BE REFLECTORIZED UNLESS OTHERWISE NOTED.

ALL EXISTING STRIPING AND PAVEMENT MARKINGS THAT CONFLICT WITH THE PROPOSED STRIPING AND PAVEMENT MARKINGS SHALL BE REMOVED BY WET SANDBLASTING OR GRINDING. PAVEMENT LEGENDS AND ARROWS THAT ARE TO BE REMOVED SHALL BE REMOVED IN A BLOCK PATTERN. ALL STRIPING AND PAVEMENT MARKING REMOVAL AREAS SHALL BE TREATED WITH AN APPROVED PAVEMENT SEALER.

CIVIL PAVEMENT, SUB-GRADE, AND TRAFFIC CONTROL NOTES:

MATERIALS AND CONSTRUCTION TECHNIQUES SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION PUBLISHED BY MINNESOTA DEPARTMENT OF TRANSPORTATION (ALDOT).

ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WYOMING REQUIREMENTS AND THE REQUIREMENTS PRESENTED IN THE CURRENT BUILDING CODE.

COMPACTION TESTING OF THE SUB-GRADE WILL BE PERFORMED BY THE CONTRACTOR.

ENTRANCE PAVEMENT SHALL BE COORDINATED WITH THE CITY OF WYOMING PRIOR TO CONSTRUCTION PROCEEDING.

ALL TRAFFIC CONTROL (INCLUDING, BUT NOT LIMITED TO WORK ZONE, TEMPORARY, OR PERMANENT) SHALL BE FURNISHED, INSTALLED, MAINTAINED, RELOCATED, AND/OR REMOVED ACCORDING TO THE LATEST EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION (ALDOT) STANDARD SPECIFICATIONS.

CONTRACTOR TO REMOVE ALL EXISTING ITEMS (CONC. WALK CONC. PAD, POSTS, PAVEMENT, TREES, SHRUBS, ETC.) THAT INTERFERE WITH NEW CONSTRUCTION, AT NO ADDITIONAL COST TO THE CONTRACT.

THE CONTRACTOR MUST SUBMIT A MAINTENANCE OF TRAFFIC PLAN AT LEAST FIVE (5) WORKING DAYS PRIOR TO RESTRICTION OR CLOSURE OF ANY STREET.

CIVIL GRADING, EARTHWORK, AND BACKFILL NOTES:

ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE CITY OF WYOMING REQUIREMENTS, THE GUIDELINES PRESENTED IN THE CURRENT BUILDING CODE, AND THE GEOTECHNICAL REPORT. THE CONTRACTOR SHALL FOLLOW ALL PROCEDURES, RECOMMENDATIONS, AND REQUIREMENTS CONTAINED IN THE CODE AND REPORT, AND THESE REQUIREMENTS SHALL SUPERCEDE ALL INFORMATION AS NOTED ON THESE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF DISCREPANCIES BEFORE ANY ACTION IS TAKEN.

ALL IMPORTED MATERIAL SHALL BE APPROVED BY AN EXPERIENCED GEOTECHNICAL ENGINEER OR THEIR FIELD REPRESENTATIVE.

ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GEOTECHNICAL SOILS REPORT.

AREA TO BE CUT OR TO RECEIVE FILL SHOULD BE STRIPPED OF SURFACE VEGETATION AND ORGANIC TOPSOIL. THE STRIPPING SHOULD BE REMOVED FROM THE BUILDING OR PAVEMENT AREA AND STOCKPILED FOR LATER PLACEMENT IN LANDSCAPED OR COMMON GROUND AREAS, AS APPROPRIATE. ORGANIC TOPSOIL CAN BE RE-USED AS FILL, IF THOROUGHLY MIXED WITH OTHER, ACCEPTABLE, NON-ORGANIC, FILL MATERIALS, AS APPROVED BY THE ENGINEER.

FILL AREAS IN PAVEMENT AND BUILDING AREAS SHALL BE PLACED TO AT LEAST 95% OF THE MATERIALS STANDARD PROCTER MAXIMUM DRY DENSITY (ASTM D698). THE UPPER 9 INCHES OF NATIVE SUBGRADE IN FILL AREAS AND DETENTION BASIN FILL AREAS SHALL BE RECOMPACTED TO AT LEAST 95% OF THE MATERIAL'S STANDARD PROCTER MAXIMUM DRY DENSITY (ASTM D698).

COMPACTION TESTS ARE REQUIRED FOR EACH FILL LIFT. NO LIFT TO EXCEED 12" IN DEPTH. CONTRACTOR IS RESPONSIBLE FOR ALL PROCTOR AND COMPACTION TEST ON MATERIALS.

ALL DUST SHALL BE CONTROLLED BY WATERING WHEN NECESSARY.

THE CONTRACTOR SHALL REMOVE ALL VEGETATION AND DEBRIS PRIOR TO ANY GRADING.

THE SUB-GRADE OF ALL FOUNDATION AREAS SHALL BE OBSERVED BY AN EXPERIENCED LICENSED GEOTECHNICAL ENGINEER OR THEIR FIELD REPRESENTATIVE PRIOR TO THE PLACEMENT OF ANY CONCRETE OR FILL MATERIAL.

ALL GRADES SHALL BE TO WITHIN +/- 1 INCH OF THOSE SHOWN ON THE GRADING PLAN WHILE MAINTAINING POSITIVE DRAINAGE.

CIVIL ACCESSIBILITY NOTES:

ALL WORK SHALL BE IN CONFORMANCE WITH THE CURRENT VERSION OF THE LOCAL ACCESSIBILITY CODE (BOTH CITY AND STATE) AND WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT (ADA).

ALL RAMPS SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 OR 8.33%.

RAMPS ARE DEFINED AS ANY WALKWAY BETWEEN SLOPES 1:20 OR 5.00% AND 1:12 OR 8.33% AND SHALL HAVE A MINIMUM CLEAR WIDTH OF 3 FEET AND A MAXIMUM CROSS-SLOPE OF 1:50 OR 2.00%. RAMPS EXCEEDING 30 INCHES OF VERTICAL CHANGE SHALL HAVE INTERMEDIATE (2.00% MAX. SLOPE) LANDINGS HAVING A MINIMUM LENGTH IN THE DIRECTION OF TRAVEL OF 60 INCHES. BOTTOM LANDINGS SHALL HAVE A MINIMUM LENGTH OF 60 INCHES IN THE DIRECTION OF TRAVEL. LANDINGS SHALL BE AT LEAST THE WIDTH AS THE WIDEST RAMP RUN LEADING TO THE LANDING. LANDINGS AT RAMP DIRECTION CHANGES SHALL HAVE A MINIMUM WIDTH AND LENGTH OF 60 INCHES.

THE MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMP SHALL BE 2.00%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2.00% IN ALL DIRECTIONS.

ALL ACCESSIBLE ROUTES OF TRAVEL SHALL HAVE A MINIMUM OF THREE (3) FOOT CLEAR WIDTH FOR ACCESSIBLE CONFORMANCE, UNLESS OTHERWISE NOTED PER THE PLANS.

TRUNCATED DOMES AS DETECTABLE WARNINGS MAY BE REQUIRED ON WALKS THAT CROSS OR ADJOIN A VEHICULAR WAY WITHOUT A VERTICAL SEPARATION BETWEEN THE WALKWAY AND VEHICULAR WAY.

CITY OF WYOMING AND DOT CONSTRUCTION NOTES:

CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE CITY OF WYOMING AND MINNESOTA DEPARTMENT OF TRANSPORTATION (MNDOT), AT LEAST 48 HOURS PRIOR TO POURING CONCRETE. INSTALLING STORM SEWER, INSTALLING SANITARY SEWER, OR OTHERWISE PROVIDING SUCH ADVANCE NOTICE AS MAY BE REQUIRED BY THESE JURISDICTIONS.

ALL WORK, MATERIALS, AND INSTALLATION SHALL NOT BE DEEMED SATISFACTORY UNTIL SUCH TIME AS ALL APPROVALS ARE OBTAINED FROM THE JURISDICTIONAL AUTHORITY.

THE CONTRACTOR SHALL PROCEED AT THEIR OWN RISK IN PERFORMING ANY WORK PRIOR TO VERIFYING OR RECEIVING ALL NECESSARY PERMITS FOR THE WORK TO BE COMPLETED.

CONTRACTOR SHALL BE REQUIRED TO REMOVE AND REPLACE ANY SIGNS THAT NEED TO BE MOVED TO COMPLETE THE WORK. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.

THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES.

ANY SIDEWALKS, CURB AND GUTTER, OR STREET ROADWAY PAVEMENT DAMAGED IN THE COURSE OF CONSTRUCTION ACTIVITY ON ADJACENT PRIVATE PROPERTY MUST BE REPLACED IN KIND.

ALL DISTURBED AREAS WITHIN THE CITY OF WYOMING AND MINNESOTA DEPARTMENT OF TRANSPORTATION (ALDOT) RIGHT OF WAY SHALL BE RESTORED PER THEIR REQUIREMENTS.

ALL WORK WITHIN MNDOT AND COUNTY RIGHT OF WAY WILL REQUIRE A RIGHT OF WAY PERMIT.

MAXIMUM SLOPES ARE NOT TO EXCEED 3:1.

INSPECTION OF SILTATION CONTROL DEVICES SHALL TAKE PLACE ONCE EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS OF ANY ONE (1) INCH RAIN PER 24 HOUR RAIN EVENT.

ANY SILTATION CONTROL IN NEED OF REPAIR SHALL BE FIXED IMMEDIATELY AND ADDITIONAL SILTATION CONTROLS SHALL BE INSTALLED AS DIRECTED BY THE CITY INSPECTOR.

SILTATION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL UPSLOPE AREAS HAVE BEEN PERMANENT STABILIZED WITH GRASS OR PAVEMENT.

CONTRACTOR TO SUPPLY CITY OF WYOMING INSPECTOR WITH COPIES OF THE COMPACTION TEST REPORTS.

SILTATION CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY OF WYOMING INSPECTOR, PRIOR TO ANY LAND DISTURBANCE.

ALL TRENCH BACKFILLS UNDER PAVED AREAS SHALL BE GRANULAR BACKFILL (WITHOUT VOIDS), AND SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST". (ASTM D-1557).

ALL FILL PLACED UNDER PROPOSED STORM AND SANITARY SEWER LINES AND/OR PAVED AREAS INCLUDING TRENCH BACKFILLS WITHIN OR OFF HE ROAD RIGHT-OF-WAY SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE "MODIFIED AASHTO T-180 COMPACTION TEST". (ASTM D-1557). ALL TESTS SHALL BE VERIFIED BY A SOILS ENGINEER CONCURRENT WITH GRADING AND BACKFILLING OPERATIONS.

CIVIL STORM AND DRAINAGE NOTES:

STORM AND DRAINAGE SYSTEM CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF WYOMING STANDARD SPECIFICATIONS AND STANDARD DRAWINGS, LATEST EDITION.

STORMWATER AND ALL OTHER UNPOLLUTED DRAINAGE SHALL BE DISCHARGED INTO SUCH SEWERS AS ARE SPECIFICALLY DESIGNED AS STORM SEWER OR TO A NATURAL OUTLET.

ALL STORM SEWER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT. SINKHOLES ARE NOT ADEQUATE DISCHARGE POINTS.

ALL STORM SEWER STRUCTURES AND BEDDING REQUIRED FOR STORM SEWER PIPE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WYOMING STANDARDS, LATEST EDITION.

ALL TRENCHES UNDER AREAS TO BE PAVED AND UNDER EXISTING PAVED AREAS SHALL BE BACKFILL AND PLACED IN ACCORDANCE WITH THE CITY OF WYOMING STANDARDS.

ALL TRENCH BACKFILL UNDER PAVEMENT WITHIN PUBLIC RIGHT OF WAY SHALL BE GRANULAR BACKFILL (WITHOUT VOIDS). TRENCH BACKFILL UNDER PAVED AREAS AND OUTSIDE OF PUBLIC RIGHT OF WAY SHALL BE GRANULAR BACKFILL IN LIEU OF EARTH BACKFILL. COMPACTED TO 98% OF THE MODIFIED AASHTO T-180 COMPACTION TEST ASTM D-1557.

ALL BACKFILL MATERIAL SHALL BE MECHANICALLY COMPACTED TO AT LEAST 95% OF THE MATERIALS STANDARD PROCTOR MAXIMUM DRY DENSITY.

CIVIL SANITARY SEWER NOTES:

SANITARY SEWER SYSTEM CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL STATE AND LOCAL REGULATIONS AND GUIDELINES.

SANITARY SEWER PIPE SHALL BE 4 INCH - 8 INCH PVC AS PER INDICATED ON THE PLANS AND SHALL BE IN ACCORDANCE WITH ASIM D3034, SDR 35 WITH JOINTS IN ACCORDANCE WITH ASIM D3212.

ALL SANITARY SEWERS SHALL BE BOTH AIR AND MANDREL TESTED IN ACCORDANCE WITH THE TESTING PROCEDURES IN THE STANDARD SPECIFICATIONS OF THE WYOMING UTILITIES FOR ALL PIPE LENGTHS.

ALL SANITARY SEWER MANHOLES LOCATED IN OR ADJACENT TO DRAINAGE WAYS SHALL BE PROVIDED WITH BOLT DOWN, SOLID, GASKETED AND WATER TIGHT LIDS.

FOUNDATION DRAINS, IF INSTALLED, SHALL NOT CONNECT TO THE SANITARY SEWER.

MANHOLE LIDS MAY BE ADJUSTED WITH ADJUSTING RINGS UP TO 12 INCHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL ADJUSTMENTS UP TO AND INCLUDING 12 INCHES.

FOUR (4) OR SIX (6) INCH WYE FITTINGS WITH FOUR (4) OR SIX (6) INCH LATERALS SHALL BE CONSTRUCTED FROM THE SANITARY SEWER MAIN TO THE BUILDING LINE AT THE ELEVATION INDICATED. EACH LATERAL SHALL EXTEND AT A 45° ANGLE TO THE SEWER MAIN AND EXTEND UPWARD TO APPROXIMATELY ONE (1) FOOT FROM THE SANITARY MAIN FLOWLINE TO THE LATERAL FLOWLINE. LATERALS SHALL BE EXTENDED AT 1% AND TERMINATED THREE (3) FEET ABOVE GRADE.

ALL TESTS SHALL BE WITNESSED BY THE CONTRACTORS ENGINEER AND WYOMING UTILITIES. COPIES OF ALL TEST RECORDS SHALL BE PROVIDED TO WYOMING UTILITIES FOR PROJECT ACCEPTANCE.

CIVIL WATERMAIN NOTES:

ALL WATERMAIN CONSTRUCTION AND MATERIALS SHALL COMPLY WITH ALL STATE AND LOCAL REGULATIONS AND GUIDELINES INCLUDING MINNESOTA DNR MINIMUM DESIGN GUIDE, APWA, AND WYOMING UTILITIES.

WATER MAIN SHALL HAVE A MINIMUM COVER OF 42" FROM FINISHED GRADE TO TOP OF PIPE.

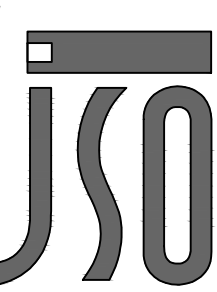
ALL WATER PIPE SHALL BE CONSTRUCTED OF POLY-VINYL (P.V.C.) PIPE CONFORMING TO NSF STANDARD 14 AND AWWA C-900. THE PIPE SHALL CONFORM TO ASTM D2241 AND SHALL BE CONSTRUCTED OF PIPING MATERIALS DESIGNED AS CLASS 124548 (PVC 1120). THE PIPE SHALL HAVE A STANDARD DIMENSION RATIO (SDR) OF 18. SCHEDULE RATINGS SHALL BE IN ACCORDANCE WITH ASTM B 1785 (PVC). JOINTS FOR PVC WATER MAIN SHALL BE "O" RING SUB ON JOINTS IN CONFORMANCE TO ASTM D3139-98. *STANDARD SPECIFICATION FOR JOINTS FOR PLASTIC PRESSURE PIPES USING FLEXIBLE ELASTOMERIC SEALS. ALL 1-1/2" DOMESTIC WATER SERVICE LINES SHALL BE FLEXIBLE TYPE "K" COPPER. WATER PIPE BETWEEN THE CITY WATER MAIN AND THE METER AND/OR BACKFLOW PREVENTER SHALL BE CLASS 350 DUCTILE IRON OR TYPE K COPPER TUBING.

BEVELED SPIGOT ENDS MUST HAVE A MINIMUM BEVEL OF 8 DEGREES TO A MAXIMUM BEVEL OF 15 DEGREES. THE VERTICAL FACE OF THE SPIGOT END MAY NOT EXCEED 75% OF PIPE WALL THICKNESS AND THE HORIZONTAL LENGTH OF THE BEVEL SHALL NOT EXCEED 1.25 INCHES. FIELD BEVELED SPIGOT END SHALL BE MADE PER MANUFACTURERS RECOMMENDATION AND AS APPROVED BY WYOMING UTILITIES. THE DEGREE OF BEVEL SHALL BE APPROVED FOR THE TYPE OF PIPE BEING INSTALLED.

WATER PIPE SHIPPING, HANDLING & STORAGE - THE FRONT END OF ALL PIPE DELIVERED BY TRUCK SHALL BE COVERED FOR PROTECTION AGAINST EXHAUST FUMES. PIPE SHALL BE PROTECTED FROM EXPOSURE TO SUNLIGHT ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. PIPE WILL NOT BE ACCEPTED FOR INSTALLATION IF DISCOLORATION IS EVIDENT DUE TO SUNLIGHT OR OTHER EXPOSURE. PIPE SHALL BE STORED IN SUCH A MANNER TO PREVENT BEAMING THE PIPE.

ALL WORK PERFORMED ON ANY WATER LINES AND/OR APPURTENANCES THAT ARE OWNED OR ANTICIPATED TO BE OWNED BY WYOMING UTILITIES SHALL BE COMPLETED UNDER THE DIRECTION OF WYOMING UTILITIES ADHERING TO AN ACCEPTABLE PLAN APPROVED BY WYOMING UTILITIES. A MINIMUM 2 BUSINESS DAYS NOTICE SHALL BE GIVEN TO WYOMING UTILITIES BY THE CONTRACTOR PRIOR TO THE START OF WATER LINE WORK. ONE SET OF CITY APPROVED PLANS SHALL BE ON THE JOB SITE DURING CONSTRUCTION. WATER LINE CONSTRUCTION WILL NOT BE PERMITTED TO START UNTIL ALL APPROVALS ARE RECEIVED. THERE SHALL BE NO DEVIATION FROM THE APPROVED PLANS WITHOUT WRITTEN APPROVAL FROM WYOMING UTILITIES.

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I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE: 
NAME: TODD JEFFREY REYLING
DATE: 11.04.2024 LICENSE NUMBER: 50973

ENGINEER OF RECORD:
Todd J. Reyling, PE
Minnesota PE 50973

ISSUED / REVISED	DATE
ISSUED FOR REVIEW	11.04.2024

EXISTING CONDITIONS/DEMOLITION PLAN NOTES:

CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND/OR PROTECTION OF THE EXISTING ITEMS AS NOTED ON THIS PLAN.

THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES.

CONTRACTOR IS TO DISPOSE OF ALL MATERIAL RESULTING FROM PREVIOUS AND CURRENT DEMOLITION IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL REGULATIONS.

THE CONTRACTOR IS CAUTIONED TO LOCATE ALL EXISTING UTILITIES AND CONFLICTS. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY CONSTRUCTION ACTIVITY IN ORDER TO FIELD VERIFY EXISTING UTILITY INFORMATION.

CONTRACTOR SHALL PROTECT EXISTING STREET LIGHTS & POSTS, TRAFFIC CONTROL DEVICES, SIGNS, UTILITY BOXES, ELECTRIC, TELEPHONE, GAS, FIBER OPTIC, CABLE, WATER, STORM SEWER, SANITARY SEWER, AND ALL OTHER UTILITIES UNLESS OTHERWISE NOTED ON THE PLANS.

CONTRACTOR TO CLEAR AND GRUB THE EXISTING SITE AS NECESSARY TO PERFORM DEMOLITION, PROPOSED CONSTRUCTION, AND FINAL IMPROVEMENTS.

EXISTING CONDITIONS KEY NOTES:

- 1
- EXISTING UTILITY LINES TO REMAIN, CONTRACTOR PROTECT IN PLACE.
- 2
- EXISTING STORM SEWER TO REMAIN, CONTRACTOR PROTECT IN PLACE.
- 3
- EXISTING WATER LINE TO REMAIN, CONTRACTOR PROTECT IN PLACE.
- 4
- EXISTING SANITARY SEWER MAIN TO REMAIN, CONTRACTOR PROTECT IN PLACE.
- 5
- EXISTING CURB AND PAVEMENT TO REMAIN. CONTRACTOR TO PROTECT IN PLACE AND MATCH INTO NEW PAVEMENT.
- 6
- EXISTING RETAINING WALL AND FENCE TO REMAIN, CONTRACTOR PROTECT IN PLACE.
- 7
- EXISTING MENU BOARD AND SPEAKER TO REMAIN.
- 8
- EXISTING PORTION OF BUILDING TO REMAIN.
- 9
- EXISTING CONCRETE SIDEWALK TO REMAIN.

DEMOLITION LEGEND/KEY NOTES:

- CLEAR AND GRUB AREAS OF PROPOSED GRADING. REFER TO GEOTECHNICAL REPORT FOR ALL SPECIFICATIONS.
- A

----- SAWCUT PAVEMENT AND CONFORM TO A CLEAN, NEAT EDGE. CONTRACTOR TO COORDINATE WITH CITY BEFORE REMOVAL.
- B

--- LIMITS OF DISTURBANCE, CLEARING AND GRUBBING, AND SOIL STRIPPING.
- C

----- CONTRACTOR REMOVE PORTION OF EXISTING BUILDING IN ITS ENTIRETY.
- D

----- CONTRACTOR TO REMOVE EXISTING ASPHALT PAVEMENT.
- E

----- CONTRACTOR TO REMOVE EXISTING CONCRETE CURB.
- F

----- CONTRACTOR TO REMOVE EXISTING CONCRETE SIDEWALK.
- G

----- CONTRACTOR TO REMOVE EXISTING MENU BOARD AND SPEAKER.
- H

----- CONTRACTOR TO REMOVE EXISTING FUEL TANKS. CONTRACTOR TO COORDINATE WITH MPCA FOR REMOVALS WITH POTENTIAL ENVIRONMENTAL IMPACT OR SOILS REMEDIATION.
- I

----- CONTRACTOR TO REMOVE EXISTING COLUMNS AND CANOPIES.

FLOOD PLAIN NOTE:

THE SUBJECT PROPERTY IS LOCATED IN ZONE X AND A, ACCORDING TO THE FLOOD INSURANCE RATE MAP (FIRM), COMMUNITY PANEL NO. 27025C0350D WITH AN EFFECTIVE DATE OF APRIL 17, 2012.

TITLE DISCLAIMER:

IT IS NOT WARRANTED THAT THESE DRAWINGS CONTAIN COMPLETE INFORMATION REGARDING EASEMENTS, RESERVATIONS, RESTRICTIONS, RIGHT-OF-WAYS, BUILDING LINE SETBACKS, AND OTHER ENCUMBRANCES. FOR COMPLETE INFORMATION, A TITLE OPINION OR COMMITMENT FOR TITLE INSURANCE SHOULD BE OBTAINED AND THOROUGHLY REVIEWED.

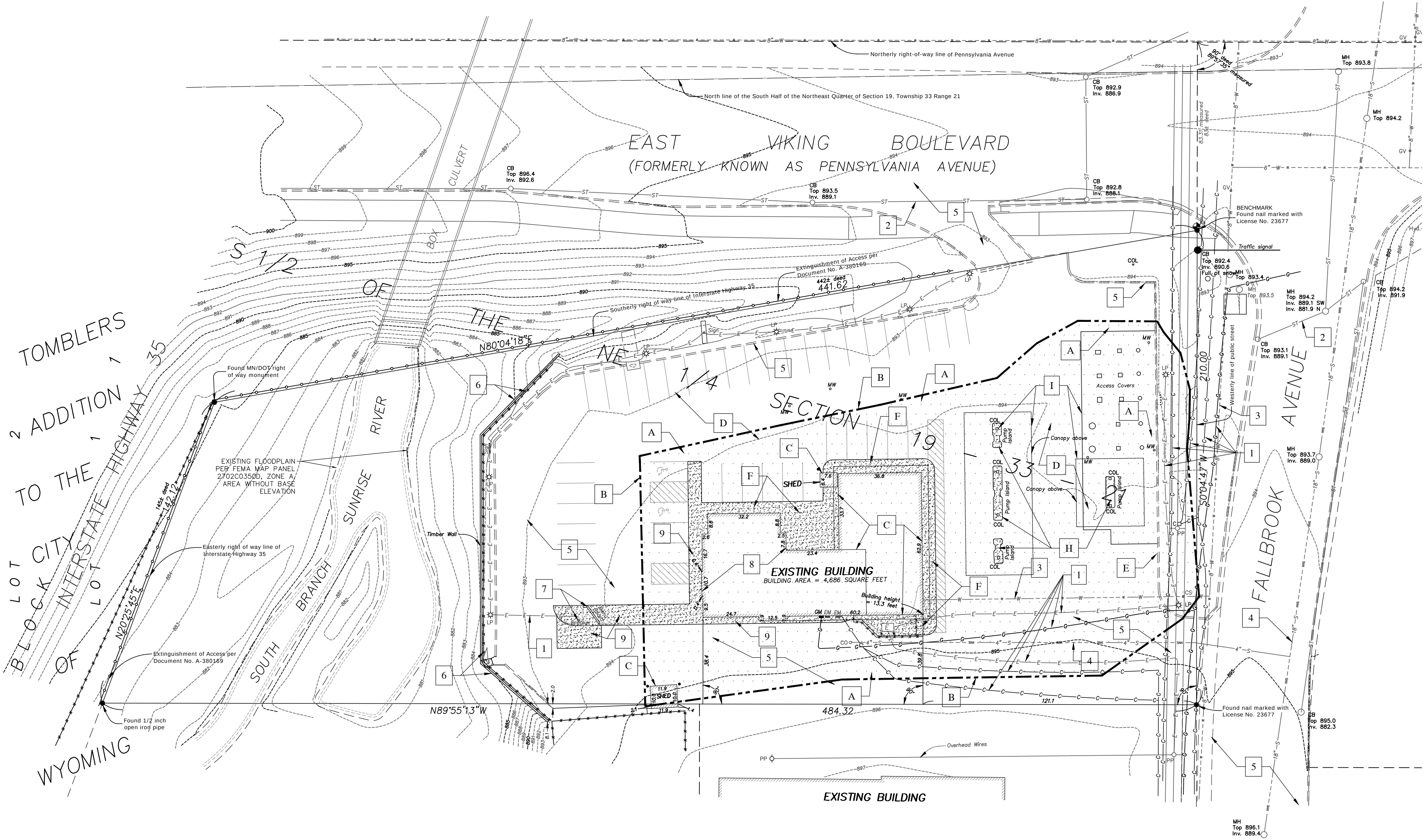
UTILITY INFORMATION:

UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES, AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION, OR CONSTRUCTION OF IMPROVEMENTS.

LEGAL DESCRIPTION:

THAT PART OF THE SOUTH HALF OF THE NORTHEAST QUARTER (S1/2 OF NE1/4) OF SECTION NINETEEN (19), TOWNSHIP THIRTY-THREE (33), RANGE TWENTY-ONE (21), CHISAGO COUNTY, MINNESOTA AND THAT PART OF LOTS ONE (1) AND TWO (2), BLOCK ONE (1), OF THE RECORDED PLAT OF TOMBLERS ADDITION TO THE VILLAGE OF WYOMING DESCRIBED JOINTLY AS FOLLOWS:

COMMENCING AT THE POINT OF INTERSECTION OF THE EAST LINE OF SAID SECTION 19 WITH THE NORTHERLY RIGHT-OF-WAY LINE OF PENNSYLVANIA AVENUE, SAID POINT ALSO BEING THE NORTHEAST CORNER OF SAID SOUTH HALF OF NORTHEAST QUARTER (S1/2 OF NE1/4); THENCE WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE A DISTANCE OF 718 FEET; THENCE SOUTH AT RIGHT ANGLES A DISTANCE OF 83 FEET, MORE OR LESS, TO THE INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 35 AND THE WESTERLY LINE OF A PUBLIC STREET, BEING THE POINT OF BEGINNING; THENCE CONTINUING SOUTH, ALONG SAID WESTERLY LINE OF PUBLIC STREET, A DISTANCE OF 210 FEET; THENCE WEST AT RIGHT ANGLES TO THE EASTERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 35; THENCE NORTHERLY, ALONG SAID EASTERLY RIGHT-OF-WAY LINE A DISTANCE OF 145 FEET, MORE OR LESS; THENCE EASTERLY ALONG THE SOUTHERLY RIGHT-OF-WAY LINE OF INTERSTATE HIGHWAY 35, A DISTANCE OF 442 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.



LEGEND:

- Iron Monument Found
- S

Sanitary Sewer
- ST

Storm Sewer
- W

Watermain
- Hyd

Hydrant
- GV

Gate Valve
- MH

Manhole
- CB

Catch Basin
- CO

Cleanout
- Guard Post
- PP

Power Pole
- LP

Light Pole
- Electrical Transformer
- Communications Pedestal
- Concrete Surface
- Bituminous Surface
- G

Buried Gas
- C

Buried Communications
- E

Buried Electric
- Guy Wire
- GM

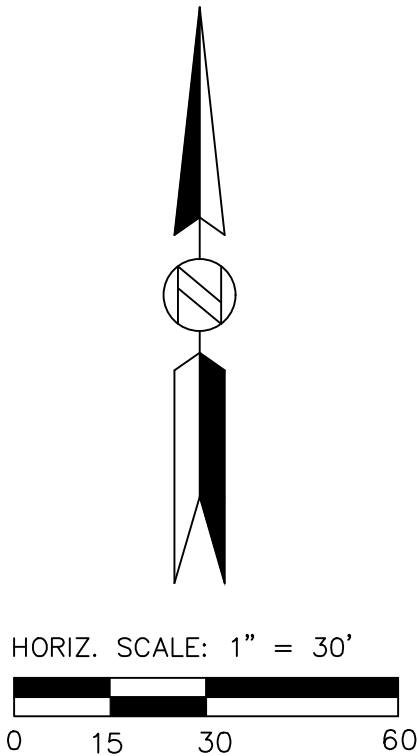
Gas Meter
- EM

Electric Meter
- COL

Column
- CS

Curb Stop
- MW

Monitoring Well
- Chain Link Fence



MINNESOTA UTILITY LOCATION SERVICE
PHONE: 800.252.1166 OR WWW.GOPHERSTATEONECALL.ORG

Architect:



Civil Engineer:



4516 Boardwalk | Smithton, IL | 62285
reylingdc@gmail.com

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SIGNATURE:

NAME: TODD JEFFREY REYLING
DATE: 11.04.2024 LICENSE NUMBER: 50973

ENGINEER OF RECORD:
Todd J. Reyling, PE
Minnesota PE 50973

ISSUED / REVISED	DATE
ISSUED FOR REVIEW	11.04.2024

PROJECT NUMBER: 22-142

New Ground Up Building:
Dairy Queen

5111 East Viking Blvd.
Wyoming, MN 55092
Chisago County

Existing
Topography
and Demolition
Plan

C100

GENERAL SITE NOTES:

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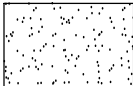
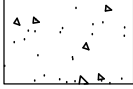
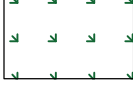
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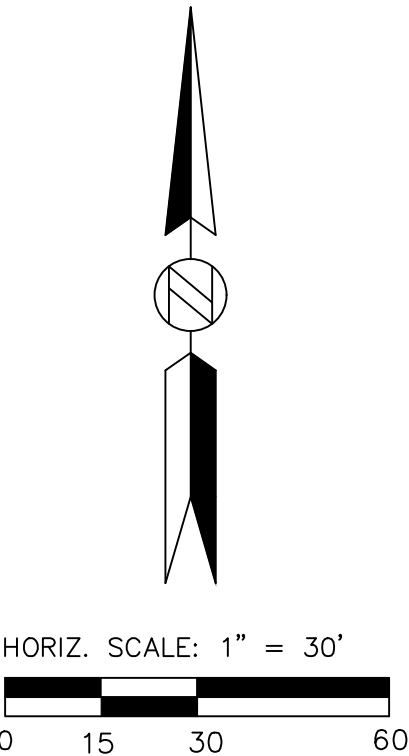
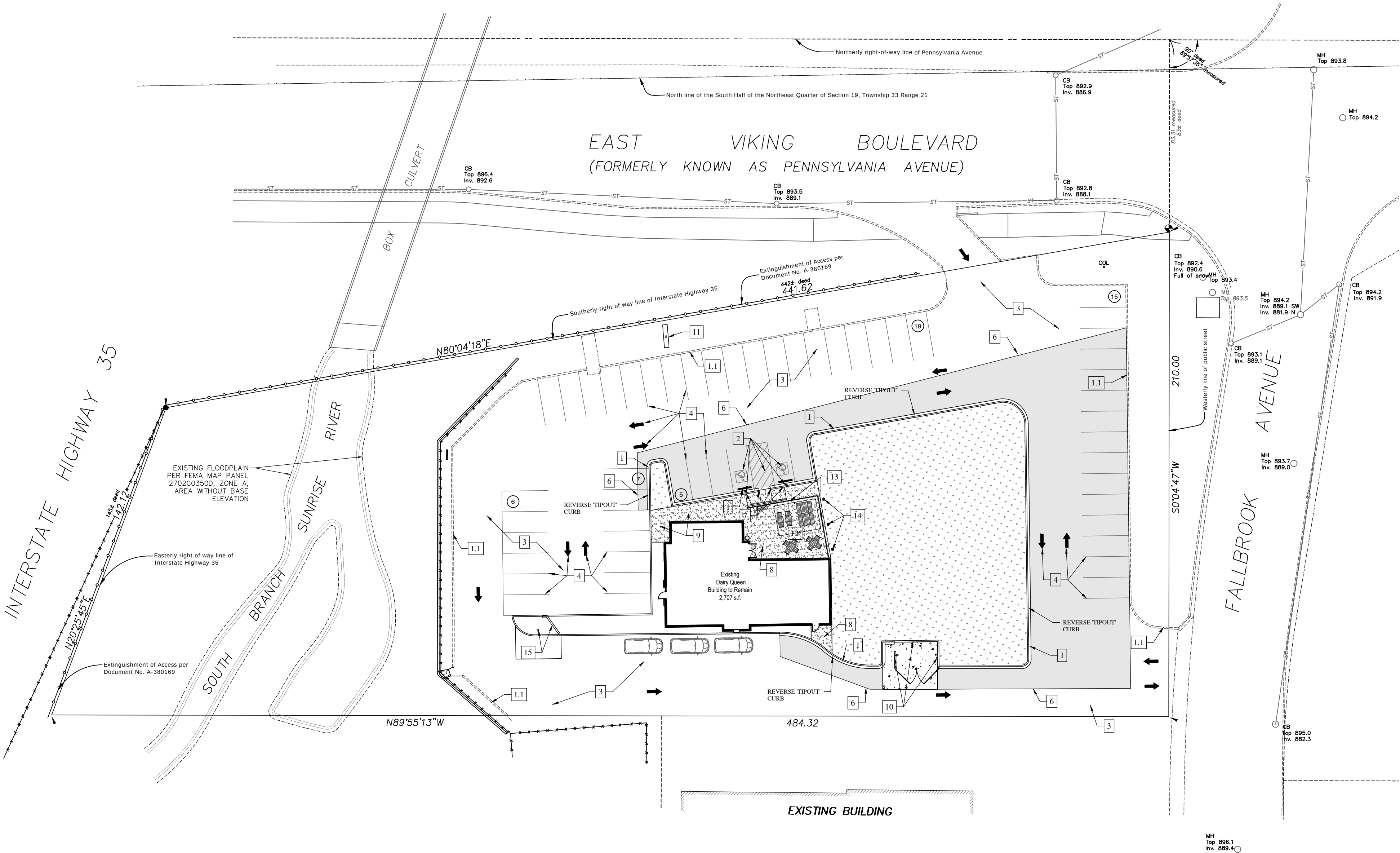
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SITE PAVING LEGEND:

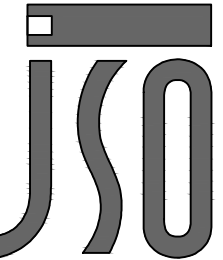
-  PROPOSED PCC CONCRETE SIDEWALK
(4" PCC/4" AB), SEE DETAIL
-  PROPOSED PCC CONCRETE PAVEMENT
(7" PCC/4" AB), SEE DETAIL
-  PARKING LOT-PROPOSED ASPHALT
(3.5" AC/6" AB), SEE DETAIL
-  PROPOSED LANDSCAPE AND GRASS AREA,
SEE LANDSCAPE PLAN

CIVIL SITE KEY NOTES:

- 1 PROPOSED MNDOT B612 CURB, SEE DETAIL.
- 1.1 EXISTING CURB TO REMAIN, CONTRACTOR TO PROTECT IN PLACE.
- 2 PROPOSED ACCESSIBLE PARKING STALL STRIPING AND SIGNAGE, SEE DETAIL.
- 3 EXISTING ROADWAY AND ASPHALT PAVEMENT TO REMAIN – PROTECT IN PLACE.
- 4 PROPOSED 4" WIDE PARKING STALL STRIPING AND WHITE PAVEMENT MARKING, TRAFFIC WHITE PAINT PER DETAIL. SEE PLAN FOR TYPICAL DIMENSIONS.
- 5 PROPOSED CONCRETE PARKING BLOCK, SEE DETAILS.
- 6 CONTRACTOR TO SAWCUT EXISTING PAVEMENT TO MAKE SMOOTH TRANSITION FROM PARKING LOT/DRIVE LANE PAVEMENT.
- 7 PROPOSED PCC CURB TAPER TO MATCH PAVEMENT AND/OR SIDEWALK GRADE.
- 8 PROPOSED CONCRETE SIDEWALK, CONTRACTOR SHALL CONSTRUCT TO MEET CURRENT ADA STANDARDS.
- 9 PROPOSED INTEGRAL/TURNDOWN CURB AND SIDEWALK, SEE DETAIL. CONTRACTOR SHALL CONSTRUCT TO MEET CURRENT ADA STANDARDS.
- 10 PROPOSED TRASH ENCLOSURE WITH PIPE BOLLARDS, SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS.
- 11 EXISTING PYLON SIGN.
- 12 PROPOSED OUTDOOR CONCRETE PATIO AREA.
- 13 PROPOSED HANDRAIL, SEE ARCHITECTURAL PLANS FOR DETAILS.
- 14 PROPOSED PATIO LIGHTING, SEE SITE LIGHTING PLAN FOR DETAILS.
- 15 EXISTING SPEAKER AND AND MENU BOARD.



Architect:



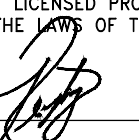
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ISSUED / REVISED	DATE
ISSUED FOR REVIEW	11.04.2024

PROJECT NUMBER: 22-142

New Ground Up Building:
Dairy Queen

5111 East Viking Blvd.
Wyoming, MN 55092
Chicago County

Civil Site
Plan

C200

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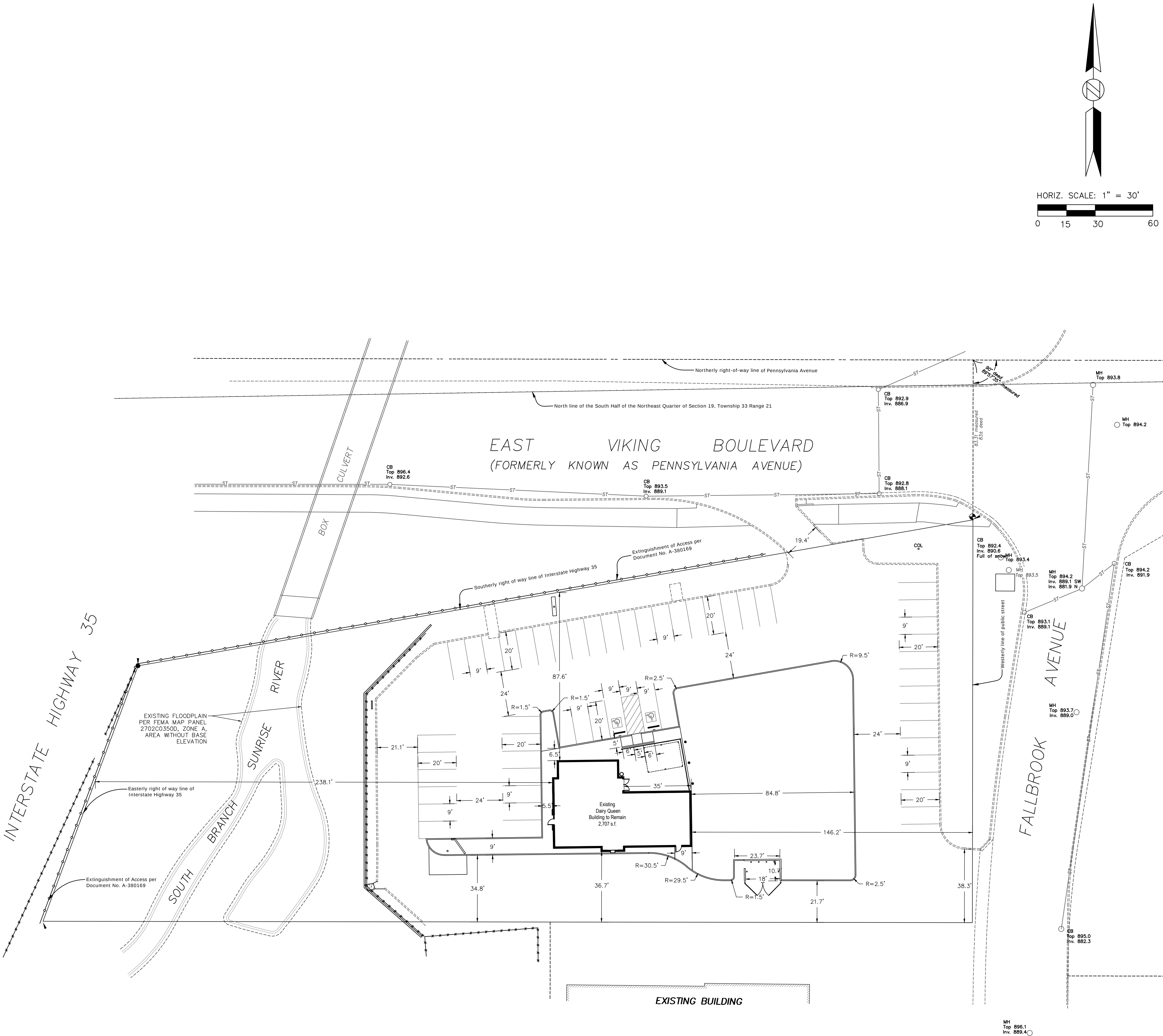
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HORIZONTAL CONTROL NOTES

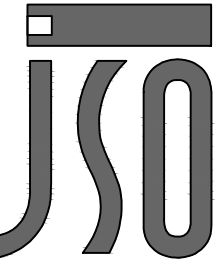
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT PROJECT SITE PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY THE ENGINEER OF DISCREPANCIES.

ALL DIMENSIONS ARE TO FACE OF CURB/EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

ALL PARKING LOT CURB RADII ARE DIMENSIONED TO THE BACK OF CURB.



Architect:



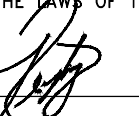
JOHN S. ODOM, ARCHITECT
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Civil Engineer:



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Minnesota PE 50973

ISSUED / REVISED	DATE
ISSUED FOR REVIEW	11.04.2024

PROJECT NUMBER: 22-142

New Ground Up Building:

Dairy Queen

5111 East Viking Blvd.
Wyoming, MN 55092
Chicago County

Civil Site Plan
Horizontal
Control

C201

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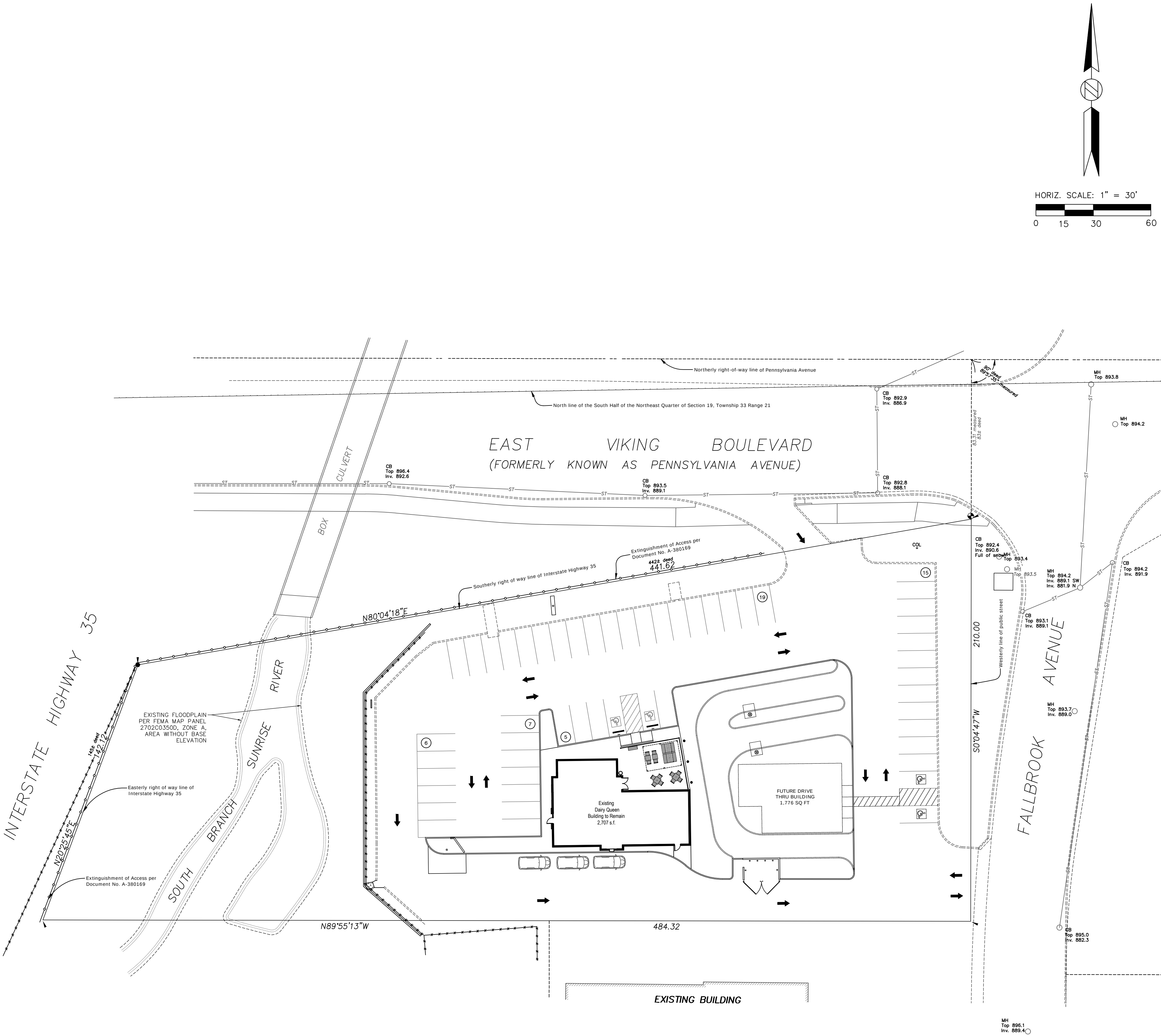
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PROJECT NUMBER: 22-142

New Ground Up Building:
Dairy Queen

5111 East Viking Blvd.
Wyoming, MN 55092
Chicago County

Civil Site Plan
Future Site
C202

GENERAL GRADING AND DRAINAGE NOTES:

CONTRACTOR SHALL COORDINATE WITH THE CITY OF WYOMING REGARDING THE ENTRANCE CURB CUTS. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN ALL PERMITS FOR THE ENTRANCE CURB CUT RECONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ALL TRAFFIC CONTROL REQUIREMENTS.

CONTRACTOR SHALL VERIFY AND PROVIDE POSITIVE DRAINAGE FROM THE PROPOSED BUILDING TO THE EXISTING PAVEMENT/GROUND TIE-IN POINTS.

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GRADING LEGEND/KEYNOTES:

ALL GRADES ARE PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED

- XXX.XX MATCH EX.

MATCH EXISTING GRADE
- XXX.XX PV

PROPOSED SPOT GRADE PAVEMENT
- XXX.XX BC

PROPOSED SPOT GRADE AT BACK OF CURB
- XXX.XX SW

PROPOSED SPOT GRADE AT SIDEWALK
- XXX.XX BLD

PROPOSED SPOT GRADE AT BUILDING
- XXX

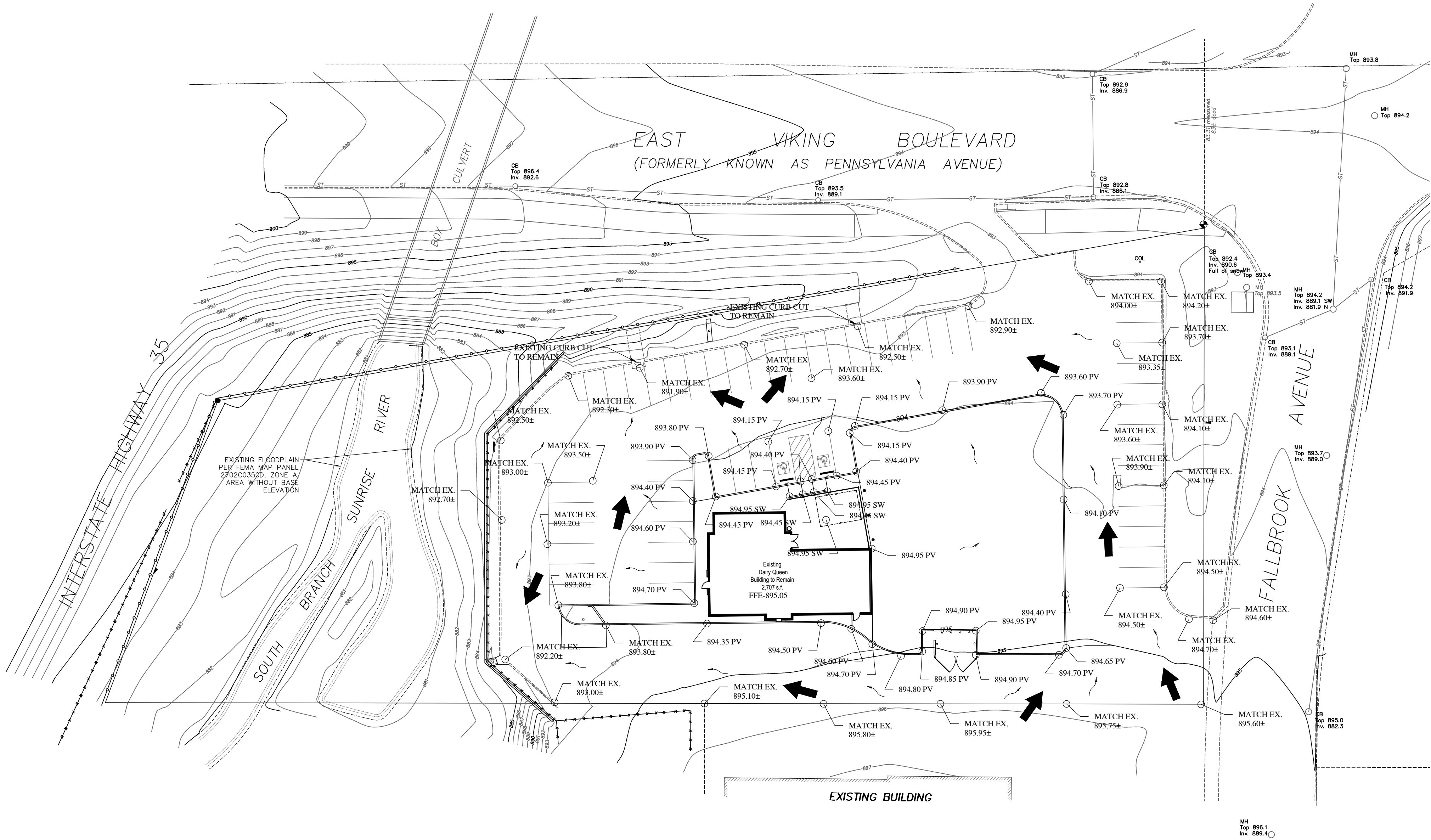
EXISTING 1-FT CONTOUR LINE
- XXX

EXISTING 5-FT CONTOUR LINE
- XXX

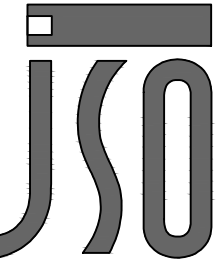
PROPOSED 1-FT CONTOUR LINE
- XXX

PROPOSED 5-FT CONTOUR LINE

- DIRECTION OF OVERLAND FLOW PATH.
- DIRECTION OF OVERLAND FLOW PATH DURING FLOOD EVENT.



Architect:



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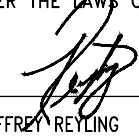
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New Ground Up Building:
Dairy Queen

5111 East Viking Blvd.
Wyoming, MN 55092
Chisago County

Grading
Plan

C300

STORMWATER MANAGEMENT NOTE:

PER THE CITY OF WYOMING REQUIREMENTS THE CONSTRUCTION OF THE PROPOSED DAIRY QUEEN SITE, THE STORMWATER FLOWS FOR THE NEW PROJECT WERE CONSIDERED. THE PROPOSED SITE WILL HAVE LESS IMPERVIOUS AREA THAN THE EXISTING SITE THEREFORE, NO ADDITIONAL ON-SITE DETENTION/RETENTION WILL BE PROVIDED. ALL EXISTING AND PROPOSED STORMWATER DRAINAGE WILL DRAIN INTO THE EXISTING STORM SEWER SYSTEM. BASED BMPS, AS SHOWN ON THESE PLANS HAVE BEEN PROPOSED.

STORM DRAIN KEY NOTES:

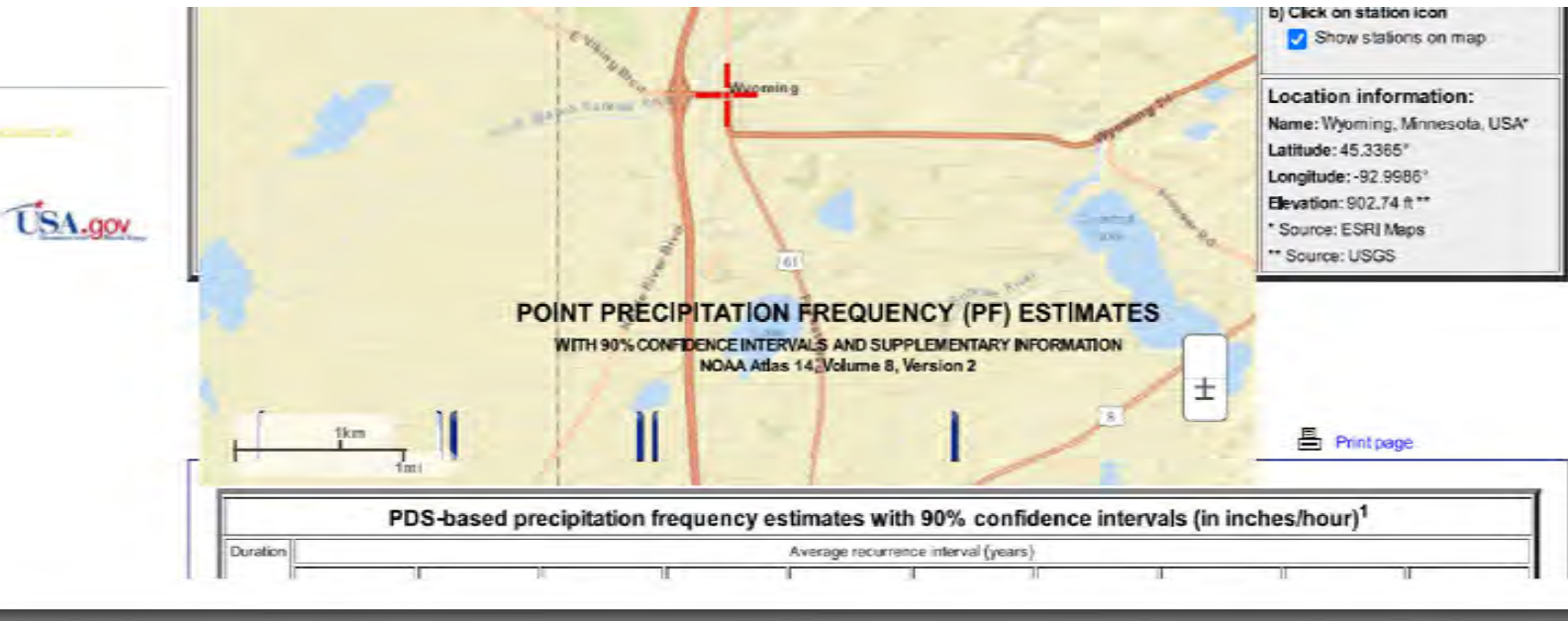
- 1
- PROPOSED STORM DRAIN INLET IN PAVEMENT AREAS. STORM DRAIN INLETS SHALL HAVE TRAFFIC RATED CAST IRON FRAME WITH SITE CAST CONCRETE

HYDRAULIC ANALYSIS:

ANALYSIS OPTIONS

FLOW UNITS CFS
SUBBASIN HYDROGRAPH METHOD. RATIONAL
TIME OF CONCENTRATION..... SCS TR-55
RETURN PERIOD..... 2,10,100 YEARS
LINK ROUTING METHOD HYDRODYNAMIC
STORAGE NODE EXFILTRATION.. CONSTANT FLOW
STARTING DATE JUL-28-2022 00:00:00
ENDING DATE JUL-28-2022 02:00:00
REPORT TIME STEP 00:00:10

IDF DATA (2,10,100-YEAR STORM)



	1	2	5	10	25	50	100	200	500	1000
5-min	4.31 (3.35-5.47)	5.08 (3.96-6.45)	6.34 (4.93-8.06)	7.38 (5.71-9.42)	8.81 (6.65-11.5)	9.92 (7.36-13.1)	11.0	12.2	13.7	14.8 (8.64-21.5)
15-min	3.16 (2.44-4.01)	3.71 (2.90-4.72)	4.61 (3.61-5.90)	5.49 (4.18-6.93)	6.45 (4.87-8.43)	7.27 (5.38-9.69)	8.08	9.00	10.00	10.8 (7.20-15.3)
30-min	2.56 (2.03-3.26)	3.02 (2.38-3.84)	3.77 (2.93-4.89)	4.39 (3.40-5.61)	5.24 (3.99-6.85)	5.80 (4.39-7.79)	6.57	7.24	8.13	8.80 (5.81-11.4)
60-min	1.81 (1.41-2.35)	2.14 (1.67-2.72)	2.68 (2.09-3.42)	3.13 (2.40-4.03)	3.74 (2.82-4.89)	4.21 (3.12-5.56)	4.68	5.16	5.78	6.25 (4.16-8.88)
1-hr	1.17 (0.915-1.49)	1.38 (1.06-1.78)	1.71 (1.35-2.22)	2.05 (1.59-2.62)	2.35 (1.80-2.98)	2.65 (2.03-3.35)	3.00	3.32	3.68	4.04 (2.62-6.43)
2-hr	0.717 (0.565-0.902)	0.847 (0.665-1.07)	1.07 (0.842-1.35)	1.27 (0.964-1.61)	1.50 (1.10-2.04)	1.68 (1.25-2.25)	2.00	2.21	2.48	2.68 (1.69-4.19)
3-hr	0.529 (0.419-0.662)	0.624 (0.494-0.781)	0.793 (0.626-0.995)	0.945 (0.744-1.19)	1.10 (0.806-1.54)	1.27 (1.03-1.60)	1.50	1.66	1.86	2.06 (1.29-3.31)

CATCHMENT SUMMARY (2-YEAR STORM)

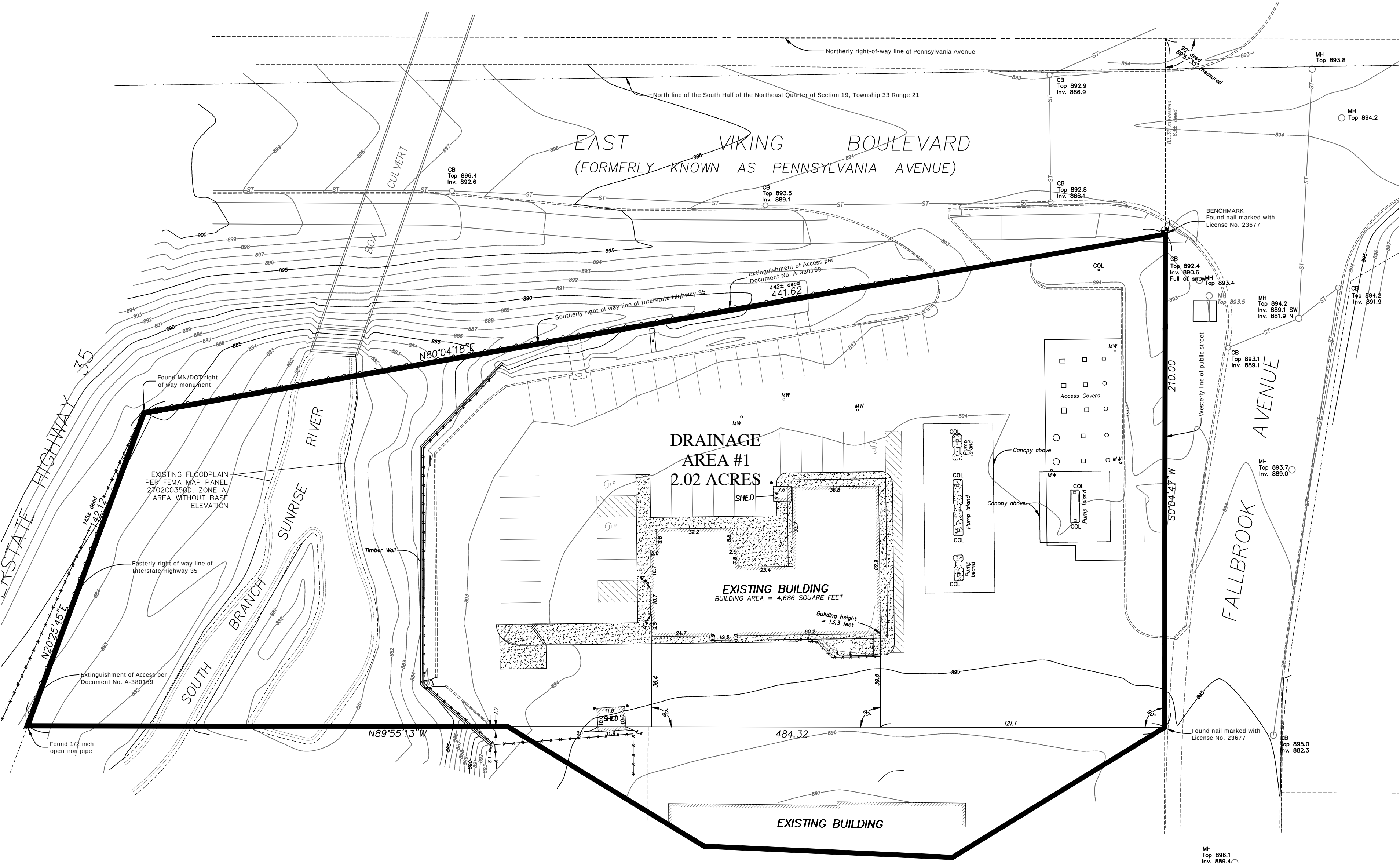
SN	Element ID	Area	Drainage Node ID	Weighted Runoff Coefficient	Accumulated Precipitation	Total Runoff	Peak Runoff	Rainfall Intensity	Time of Concentration
		(acres)			(inches)	(inches)	(cfs)	(inches/hr)	(days hh:mm:ss)
1	{AREA}.Catchment : 1	2.02	Out-02	0.9000	0.71	0.64	5.87	3.227	0 00:13:09

CATCHMENT SUMMARY (10-YEAR STORM)

SN	Element ID	Area	Drainage Node ID	Weighted Runoff Coefficient	Accumulated Precipitation	Total Runoff	Peak Runoff	Rainfall Intensity	Time of Concentration
		(acres)			(inches)	(inches)	(cfs)	(inches/hr)	(days hh:mm:ss)
1	{AREA}.Catchment : 1	2.02	Out-02	0.9000	1.03	0.93	8.53	4.693	0 00:13:09

CATCHMENT SUMMARY (100-YEAR STORM)

SN	Element ID	Area	Drainage Node ID	Weighted Runoff Coefficient	Accumulated Precipitation	Total Runoff	Peak Runoff	Rainfall Intensity	Time of Concentration
		(acres)			(inches)	(inches)	(cfs)	(inches/hr)	(days hh:mm:ss)
1	{AREA}.Catchment : 1	2.02	Out-02	0.9000	1.54	1.39	12.77	7.024	0 00:13:09



Architect:



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NAME: TODD JEFFREY REYLING
DATE: 11.04.2024 LICENSE NUMBER: 50973

ENGINEER OF RECORD:
Todd J. Reyling, PE
Minnesota PE 50973

ISSUED / REVISED	DATE
ISSUED FOR REVIEW	11.04.2024

PROJECT NUMBER: 22-142

New Ground Up Building:
Dairy Queen
5111 East Viking Blvd.
Wyoming, MN 55092
Chisago County

Existing
Drainage Area
Plan
C400

STORMWATER MANAGEMENT NOTE:

PER THE CITY OF WYOMING REQUIREMENTS THE CONSTRUCTION OF THE PROPOSED DAIRY QUEEN SITE, THE STORMWATER FLOWS FOR THE NEW PROJECT WERE CONSIDERED. THE PROPOSED SITE WILL HAVE LESS IMPERVIOUS AREA THAN THE EXISTING SITE THEREFORE, NO ADDITIONAL ON-SITE DETENTION/RETENTION WILL BE PROVIDED. ALL EXISTING AND PROPOSED STORMWATER DRAINAGE WILL DRAIN INTO THE EXISTING STORM SEWER SYSTEM. BASED BMPS, AS SHOWN ON THESE PLANS HAVE BEEN PROPOSED.

STORM DRAIN KEY NOTES:

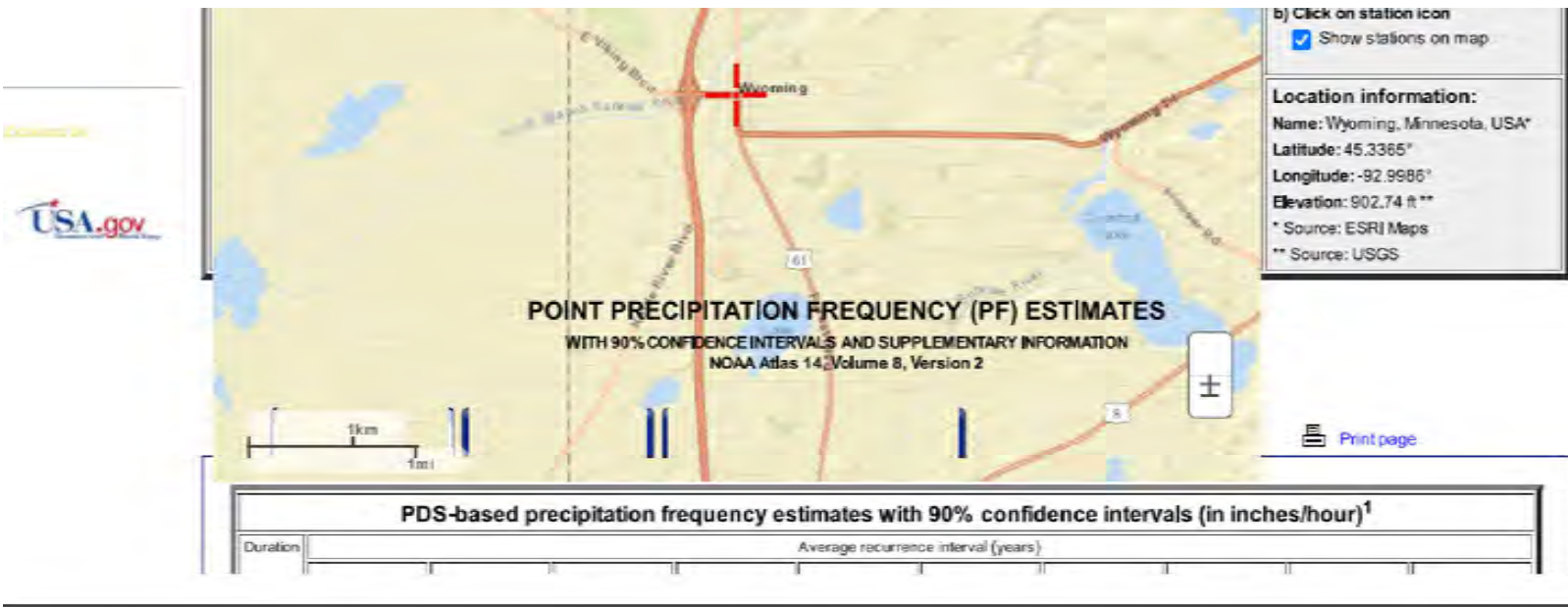
- 1
- PROPOSED STORM DRAIN INLET IN PAVEMENT AREAS. STORM DRAIN INLETS SHALL HAVE TRAFFIC RATED CAST IRON FRAME WITH SITE CAST CONCRETE

HYDRAULIC ANALYSIS:

ANALYSIS OPTIONS

FLOW UNITS CFS
SUBBASIN HYDROGRAPH METHOD. SCS TR-55
TIME OF CONCENTRATION..... 2,10,100 YEARS
RETURN PERIOD..... HYDRODYNAMIC
LINK ROUTING METHOD..... CONSTANT FLOW
STORAGE NODE EXFILTRATION.. JUL-28-2022 00:00:00
STARTING DATE JUL-28-2022 02:00:00
ENDING DATE 00:00:10
REPORT TIME STEP

IDF DATA (2,10,100-YEAR STORM)



	1	2	5	10	25	50	100	200	500	1000
5-min	4.31 (3.35-5.47)	5.08 (3.96-6.45)	6.34 (4.93-8.00)	7.38 (5.71-9.42)	8.81 (6.65-11.5)	9.92 (7.36-13.1)	11.0 (8.17-14.8)	12.2 (8.50-16.7)	13.7 (9.26-19.1)	14.8 (9.64-21.1)
10-min	3.16 (2.48-4.01)	3.71 (2.84-4.72)	4.64 (3.41-6.00)	5.49 (4.18-7.13)	6.45 (4.83-8.43)	7.27 (5.39-9.59)	8.08 (5.83-10.9)	8.86 (6.22-12.2)	10.0 (6.78-14.0)	10.8 (7.25-15.3)
15-min	2.56 (2.00-3.26)	3.02 (2.38-3.84)	3.77 (2.83-4.89)	4.39 (3.40-5.61)	5.34 (4.00-6.95)	5.96 (4.39-7.79)	6.57 (4.74-8.82)	7.24 (5.06-9.92)	8.13 (5.31-11.4)	8.60 (5.89-12.5)
30-min	1.81 (1.41-2.30)	2.14 (1.67-2.72)	2.69 (2.08-3.42)	3.13 (2.40-4.00)	3.74 (2.82-4.89)	4.21 (3.18-5.56)	4.68 (3.38-6.29)	5.16 (3.60-7.07)	5.79 (3.92-8.09)	6.25 (4.18-8.98)
60-min	1.17 (0.913-1.49)	1.38 (1.05-1.78)	1.74 (1.30-2.22)	2.05 (1.50-2.62)	2.50 (1.82-3.29)	2.85 (2.03-3.78)	3.22 (2.33-4.35)	3.60 (2.53-4.95)	4.13 (2.81-5.89)	4.54 (3.02-6.43)
2-hr	0.717 (0.568-0.902)	0.847 (0.668-1.07)	1.07 (0.842-1.35)	1.27 (0.984-1.61)	1.56 (1.125-2.04)	1.80 (1.35-2.37)	2.05 (1.50-2.75)	2.31 (1.64-3.17)	2.68 (1.88-3.75)	2.88 (1.99-4.19)
3-hr	0.559 (0.415-0.682)	0.624 (0.484-0.781)	0.793 (0.606-0.999)	0.945 (0.744-1.19)	1.18 (0.906-1.54)	1.37 (1.03-1.80)	1.57 (1.16-2.11)	1.80 (1.25-2.48)	2.11 (1.48-2.90)	2.36 (1.69-3.31)

CATCHMENT SUMMARY (2-YEAR STORM)

SN	Element ID	Area	Drainage Node ID	Weighted Runoff Coefficient	Accumulated Precipitation	Total Runoff	Peak Runoff	Rainfall Intensity	Time of Concentration
		(acres)			(inches)	(inches)	(cfs)	(inches/hr)	(days hh:mm:ss)
1	{AREA}.Catchment : 1	2.02	Out-02	0.8500	0.71	0.60	5.54	3.227	0 00:13:09

CATCHMENT SUMMARY (10-YEAR STORM)

SN	Element ID	Area	Drainage Node ID	Weighted Runoff Coefficient	Accumulated Precipitation	Total Runoff	Peak Runoff	Rainfall Intensity	Time of Concentration
		(acres)			(inches)	(inches)	(cfs)	(inches/hr)	(days hh:mm:ss)
1	{AREA}.Catchment : 1	2.02	Out-02	0.8500	1.03	0.88	8.06	4.693	0 00:13:09

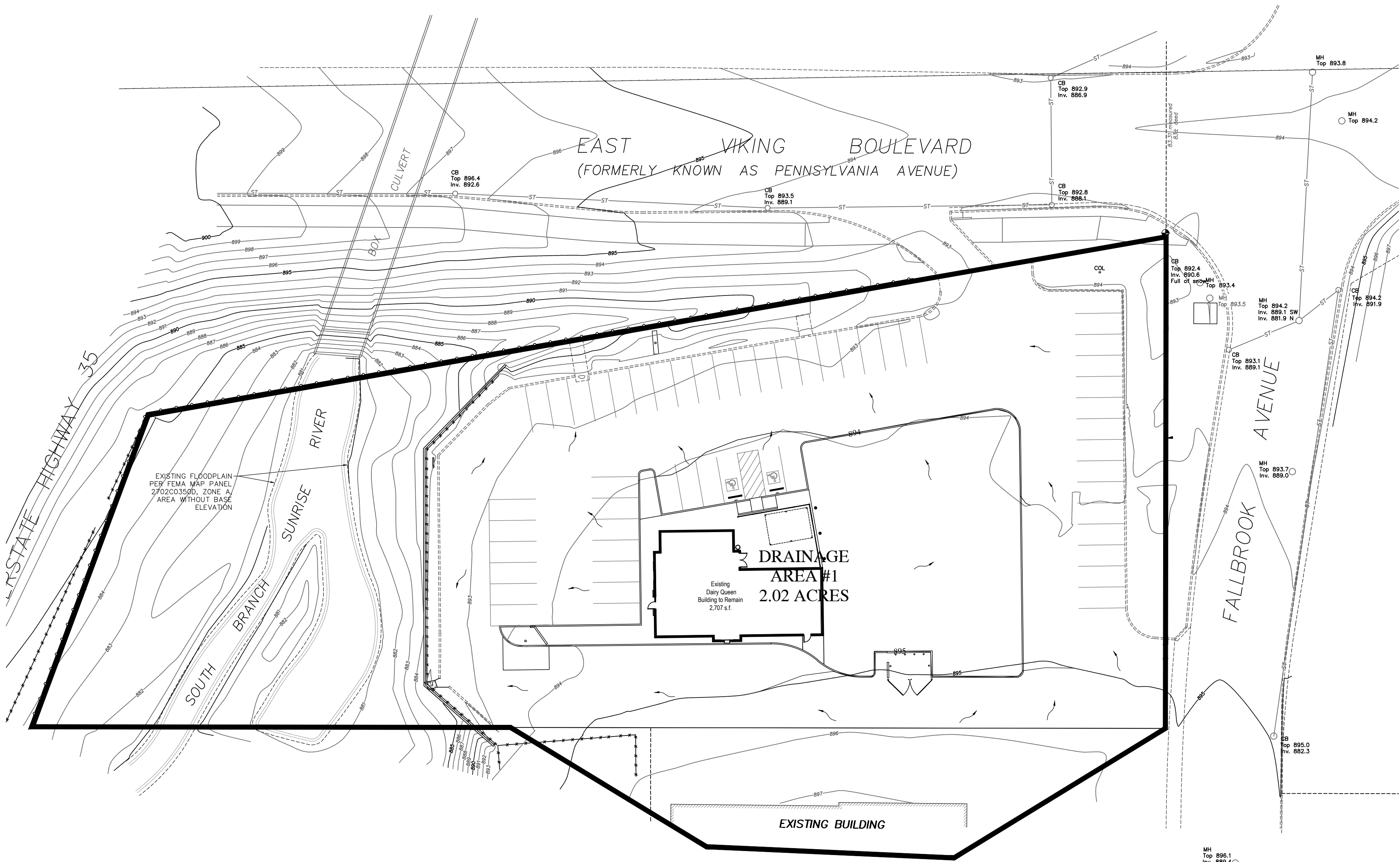
CATCHMENT SUMMARY (100-YEAR STORM)

SN	Element ID	Area	Drainage Node ID	Weighted Runoff Coefficient	Accumulated Precipitation	Total Runoff	Peak Runoff	Rainfall Intensity	Time of Concentration
		(acres)			(inches)	(inches)	(cfs)	(inches/hr)	(days hh:mm:ss)
1	{AREA}.Catchment : 1	2.02	Out-02	0.8500	1.54	1.31	12.06	7.024	0 00:13:09

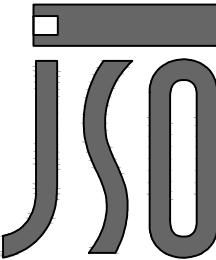
NOTE:

ALL EXISTING DOWNSPOUTS WILL REMAIN AND FLOW TO THE EXISTING STORM SEWER SYSTEM.

DIRECTION OF OVERLAND FLOW PATH.



Architect:



JOHN S. ODOM, ARCHITECT
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BALLWIN, MISSOURI 63011
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WWW.JOHNSODOM.COM
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Civil Engineer:



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Chisago County

Proposed
Drainage Area
Plan
C401

UTILITY INFORMATION:

UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE DO NOT NECESSARILY REFLECT THE ACTUAL EXISTENCE, NON-EXISTENCE, SIZE, TYPE, NUMBER, OR LOCATION OF THESE FACILITIES, STRUCTURES, AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL LOCATION OF ALL UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS. THE UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES SHALL BE LOCATED IN THE FIELD PRIOR TO ANY GRADING, EXCAVATION, OR CONSTRUCTION OF IMPROVEMENTS.



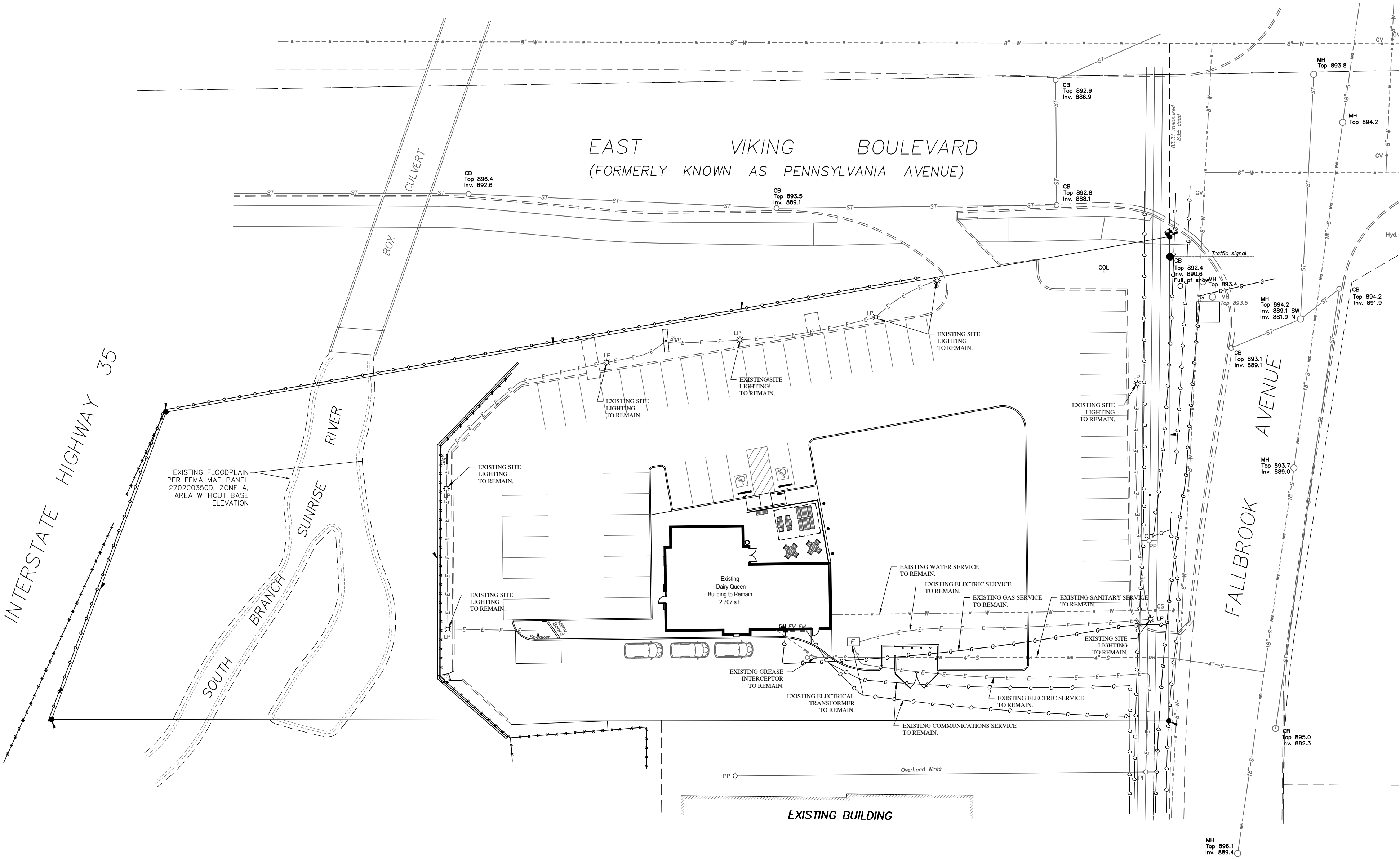
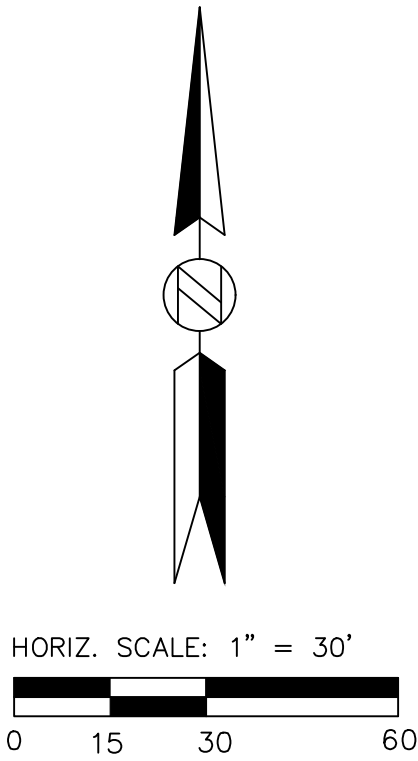
MINNESOTA UTILITY LOCATION SERVICE
PHONE: 800.252.1166 OR WWW.GOPHERSTATEONECALL.ORG

NOTES:

ALL BUILDING POC SIZES AND LOCATIONS ARE FOR REFERENCE ONLY. CONTRACTOR TO CONSULT THE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEER TO CONFIRM EXACT BUILDING SIZES AND LOCATIONS.

UTILITY CONTACTS

WATER:	WYOMING PUBLIC WORKS 651.462.0580
ELECTRIC:	XCEL ENERGY 800.895.4999
GAS:	XCEL ENERGY 800.895.4999
SANITARY SEWER:	WYOMING PUBLIC WORKS 651.462.0580
STORM SEWER:	WYOMING PUBLIC WORKS 651.462.0575
COMMUNICATIONS:	FRONTIER 866.226.5170



Architect:



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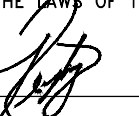
Civil Engineer:



REYLING DESIGN & CONSULTING

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Wyoming, MN 55092
Chicago County

Site Utility
Plan

C500

SEDIMENT AND EROSION CONTROL NOTES:

ALL SEDIMENT AND EROSION CONTROL PRACTICES SHALL BE IN COMPLIANCE WITH CITY OF WYOMING, MN. AND THE MINNESOTA POLLUTION CONTROL AGENCY.

APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN.

THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR/ESC RESPONSIBLE PARTY UNTIL ALL CONSTRUCTION IS APPROVED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL EROSION AND SEDIMENT CONTROL PERMITTING.

THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY SURVEY TAPE OR FENCING, PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE CONTRACTOR/ESC RESPONSIBLE PARTY FOR THE DURATION OF THE CONSTRUCTION.

THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS CONSTRUCTED WHEEL WASH SYSTEMS OR WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN AND THAT TRACK OUT TO ROAD RIGHT OF WAY DOES NOT OCCUR FOR THE DURATION OF THE PROJECT.

THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.

THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED CONSTRUCTION ACTIVITIES. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS.

THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE CONTRACTOR/ESC RESPONSIBLE PARTY AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEW OF THE ESC FACILITIES.

ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING WET SEASON OR SEVEN DAYS THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC COVER METHODS (SEEDING, MULCHING, ETC.)

ANY AREA NEEDING ESC MEASURES, NOT REQUIRING IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN SEVEN DAYS.

THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 24 HOURS FOLLOWING A STORM EVENT.

ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE PERMANENT FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE ROUGH GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.

PRIOR TO THE BEGINNING OF THE WET SEASON, ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER WEATHER. DISTURBED AREAS SHALL BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON. A SKETCH MAP OF THOSE AREAS TO BE SEEDED AND THOSE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE ESC INSPECTOR FOR REVIEW.

EROSION CONTROL BLANKETS, SOIL BINDERS, OR HYDROSEEDING SHALL BE USED TO PREVENT SOIL EROSION. AREAS THAT ARE EXPOSED FOR 14 DAYS OR MORE ARE INACTIVE AND MUST BE COVERED. ALL OTHER AREAS SHALL BE PROTECTED AS REQUIRED TO PREVENT SOIL EROSION.

STREET SWEEPING NOTE:

CONTRACTOR SHALL SWEEP/REMOVE ALL SEDIMENT AND DEBRIS WITHIN THE ROADWAY AT THE END OF EACH DAY

LAND DISTURBANCE NOTE:

THE TOTAL SITE DISTURBANCE FOR THIS DEVELOPMENT IS 0.71 ACRES. THIS IS LESS THAN ONE (1.00) ACRE, THEREFORE A NOTICE OF INTENT (NOI), LAND DISTURBANCE PERMIT WILL NOT BE REQUIRED. THE CONTRACTOR WILL STILL BE REQUIRED TO PROVIDE AND MEET THE EROSION AND SEDIMENT CONTROL MEASURES PER THE MINNESOTA POLLUTION CONTROL AGENCY AND THE CITY OF WYOMING, MN.

EROSION AND SEDIMENT CONTROL BASIC PRACTICES:

PRESERVE AND PROTECT AREAS OF NATURAL VEGETATION. AREAS TO BE PRESERVED SHALL BE PROTECTED WITH SILT FENCING TO PREVENT DAMAGE FROM CONSTRUCTION OPERATIONS.

TAKE SPECIAL PRECAUTIONS TO PREVENT DAMAGE THAT COULD RESULT FROM DEVELOPMENT ACTIVITIES NEAR WATERCOURSES, LAKES, AND WETLANDS.

MINIMIZE THE EXTENT AND DURATION OF THE DEVELOPMENT AREA EXPOSED AT ONE TIME.

APPLY TEMPORARY EROSION CONTROL PRACTICES AS SOON AS POSSIBLE TO STABILIZE EXPOSED SOILS AND PREVENT ON-SITE DAMAGE.

INSTALL SEDIMENT BASINS OR TRAPS, FILTER BARRIERS, DIVERSIONS, AND PERIMETER CONTROL MEASURES PRIOR TO SITE CLEARING AND GRADING TO PROTECT THE DISTURBED AREA FROM OFF-SITE AND ON-SITE RUNOFF AND TO PREVENT SEDIMENT TRANSPORT TO AREAS DOWNSTREAM OF THE DEVELOPMENT SITE.

KEEP RUNOFF VELOCITIES LOW, AND RETAIN RUNOFF ON SITE AS MUCH AS POSSIBLE.

PROVIDE MEASURES TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS.

IMPLEMENT FINAL GRADING AND INSTALL PERMANENT VEGETATION ON DISTURBED AREAS AS SOON AS POSSIBLE.

SITE AND BEST MANAGEMENT PRACTICE (BMPS) INSPECTIONS MUST BE COMPLETED WEEKLY, OR AFTER EACH STORM EVENT RESULTING IN MORE THAN 0.5 INCH OF RAINFALL. THE PURPOSE OF THE INSPECTIONS IS TO ASSESS AND DETERMINE WHETHER THE SOIL EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE EROSION CONTROL PLAN ARE OPERATING PROPERLY AND EFFECTIVELY, AND TO INITIATE MAINTENANCE AS NEEDED. INSPECTIONS SHOULD INCLUDE A VISUAL OBSERVATION OF ALL DISTURBED AREAS OF THE REGULATED DEVELOPMENT, MATERIAL STORAGE AREAS, SEDIMENT AND EROSION CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER AND EXIT THE SITE, AND ACCESSIBLE DISCHARGE POINTS/OUTFALLS.

INSPECTIONS SHOULD BE COMPLETED AND CONDUCTED BY QUALIFIED INSPECTORS WHO ARE FAMILIAR WITH THE EROSION CONTROL PLAN AND THE BMPS IMPLEMENTED AT THE SITE. IN GENERAL, IF INSPECTIONS INDICATE THAT A BMP IS NOT OPERATING PROPERLY, IT IS RECOMMENDED THAT MAINTENANCE AND MODIFICATION OF THE BMP BE PERFORMED AS SOON AS POSSIBLE AND BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE AND NO LATER THAN SEVEN (7) CALENDAR DAYS FROM THE INSPECTION DATE. TO ENSURE ITS CONTINUED EFFECTIVENESS, MINIMUM MAINTENANCE STANDARDS FOR EACH SPECIFIC BMP ARE INCLUDED IN THE EROSION CONTROL PLAN.

THE REGULATED DEVELOPMENT MUST KEEP A COPY OF THE EROSION CONTROL PLAN ON SITE AT ALL TIMES DURING CONSTRUCTION AND MAKE THE PLAN AVAILABLE FOR REVIEW BY A FIELD REPRESENTATIVE UPON REQUEST.

EROSION AND SEDIMENTATION CONTROL
RECOMMENDED CONSTRUCTION SEQUENCE:

1. CONTRACTOR TO CONDUCT A PRE-CONSTRUCTION MEETING.
2. CONTRACTOR TO POST A SIGN WITH NAME AND PHONE NUMBER OF ESC RESPONSIBLE PARTY.
3. CONTRACTOR TO FLAG AND FENCE CLEARING LIMITS.
4. INSTALL CATCH BASIN PROTECTION, IF REQUIRED.
5. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S).
6. CONTRACTOR TO INSTALL PERIMETER BARRIER, SILT FENCE, ETC.
7. CONSTRUCT SEDIMENT PONDS AND TRAPS, IF REQUIRED.
8. GRADE AND STABILIZE CONSTRUCTION ROADS.
9. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
10. MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH APPLICABLE STANDARDS AND MANUFACTURER RECOMMENDATIONS.
11. RELOCATED EROSION CONTROL MEASURES OR INSTALL NEW MEASURES AS SITE CONDITIONS CHANGE TO ENSURE THE SEDIMENT AND EROSION CONTROL IS ALWAYS IN ACCORDANCE WITH APPLICABLE STANDARDS.
12. COVER ALL AREAS THAT WILL NOT BE WORKED ON FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST OR EQUIVALENT.
13. STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN SEVEN DAYS.
14. SEED OR SOD ANY AREAS THAT WILL NOT BE WORKED ON FOR MORE THAN 30 DAYS.
15. UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BMPS REMOVED IF APPROPRIATE.

EROSION AND SEDIMENT CONTROL KEY NOTES:

- A

LIMITS OF CONSTRUCTION
- B.X

PERIMETER EROSION BARRIER
SILT FENCE
- C.X

INLET PROTECTION AT ALL
POINTS OF STORMWATER
DISCHARGE FROM SITE
(EXISTING PROTECTION IN
PLACE)

TEMPORARY CONSTRUCTION
SANITARY FACILITIES

STAGING AREA FOR VEHICLE
AND EQUIPMENT CLEANING,
FUELING, AND MAINTENANCE

STAGING AREA FOR MATERIAL
DELIVERY AND STORAGE

WASTE STORAGE AREA

TEMPORARY CONCRETE
WASHOUT AREA

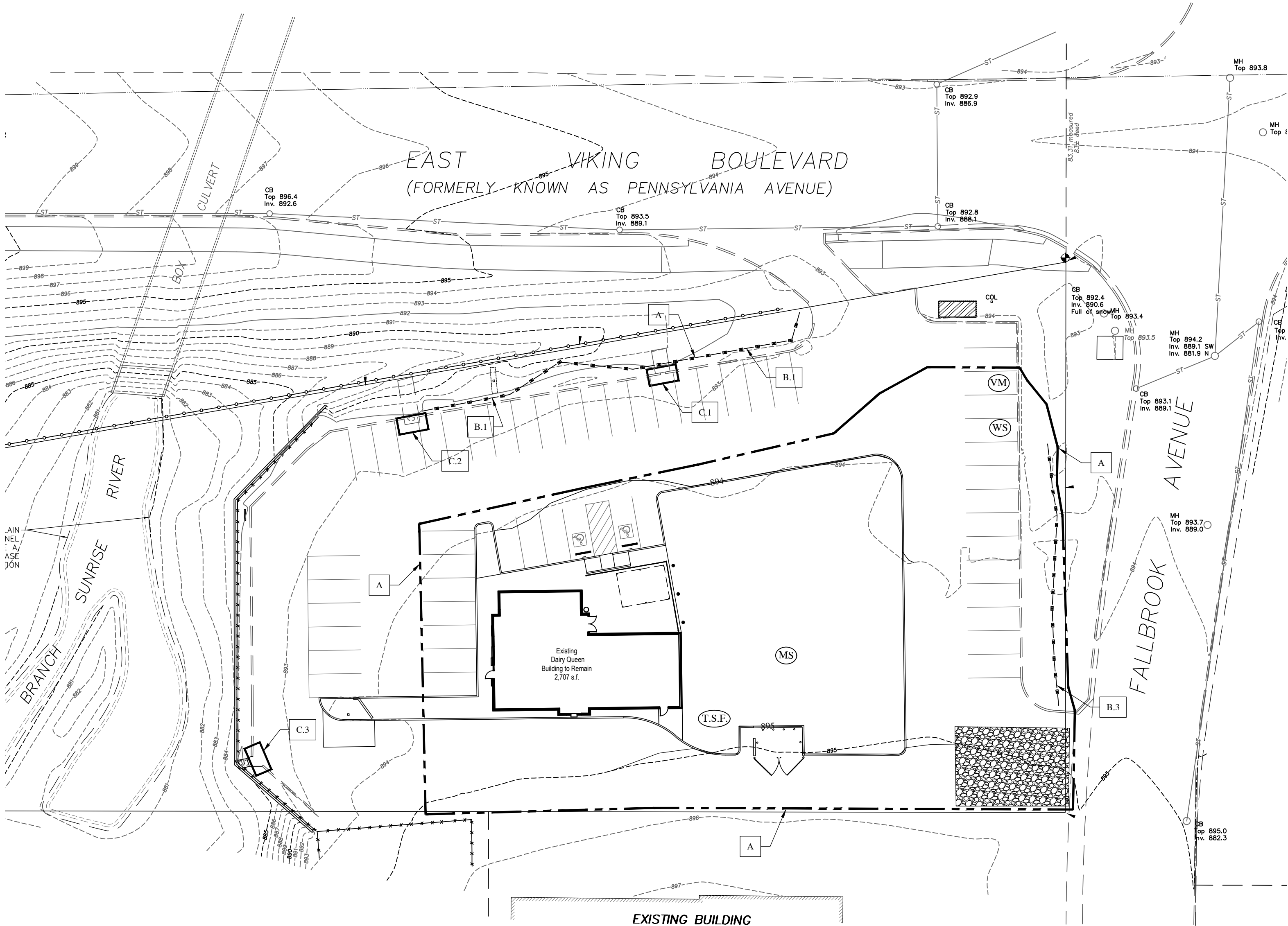
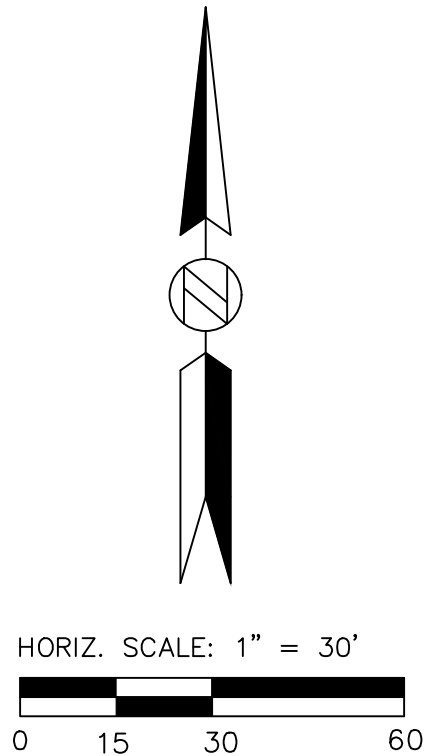
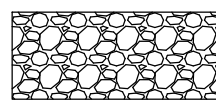
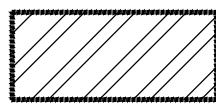
STABILIZED CONSTRUCTION
ENTRANCE

(T.S.F.)

(VM)

(MS)

(WS)



Architect:



Civil Engineer:



4516 Boardwalk | Smithton, IL | 62285
reylingdc@gmail.com

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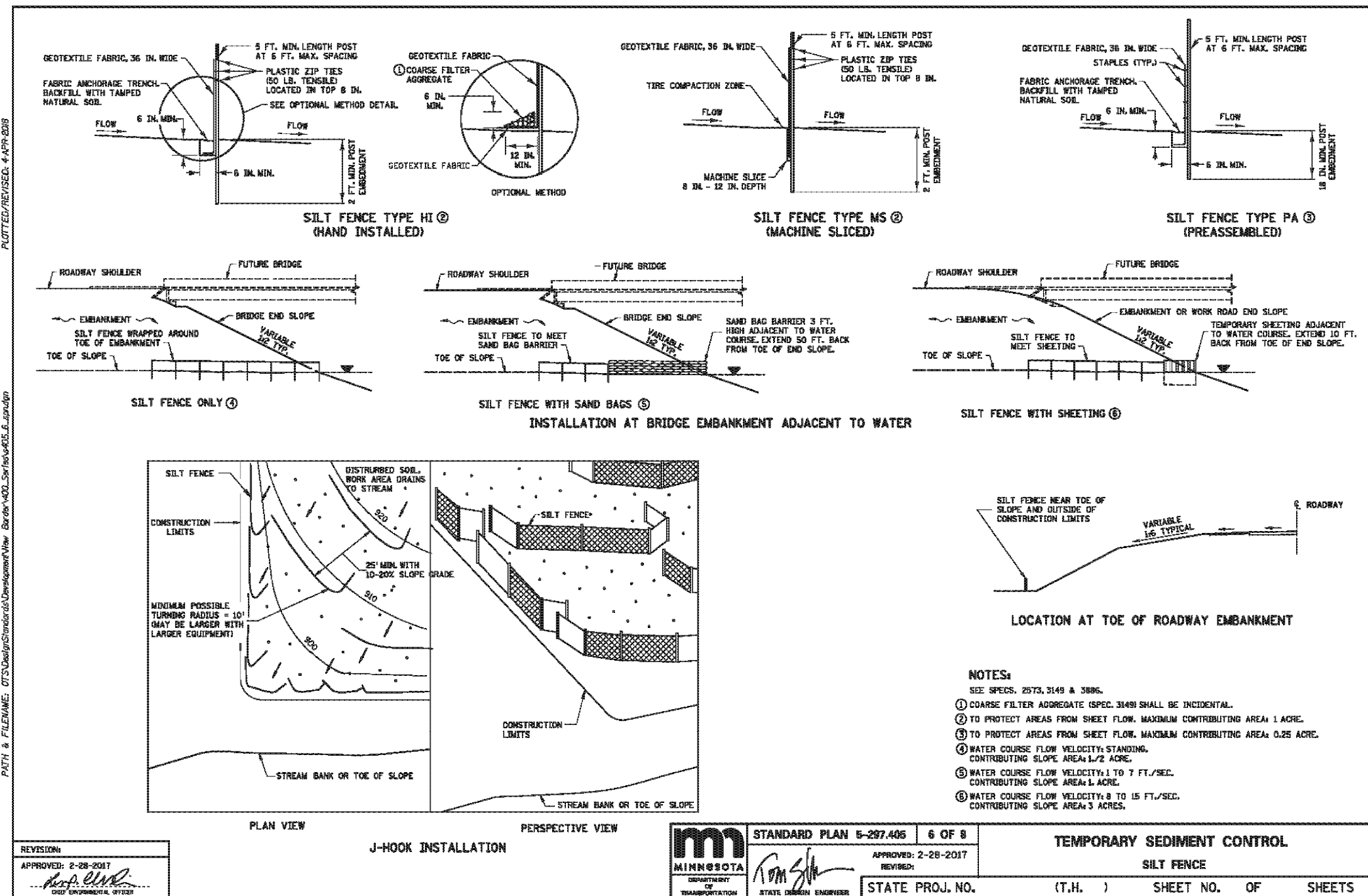
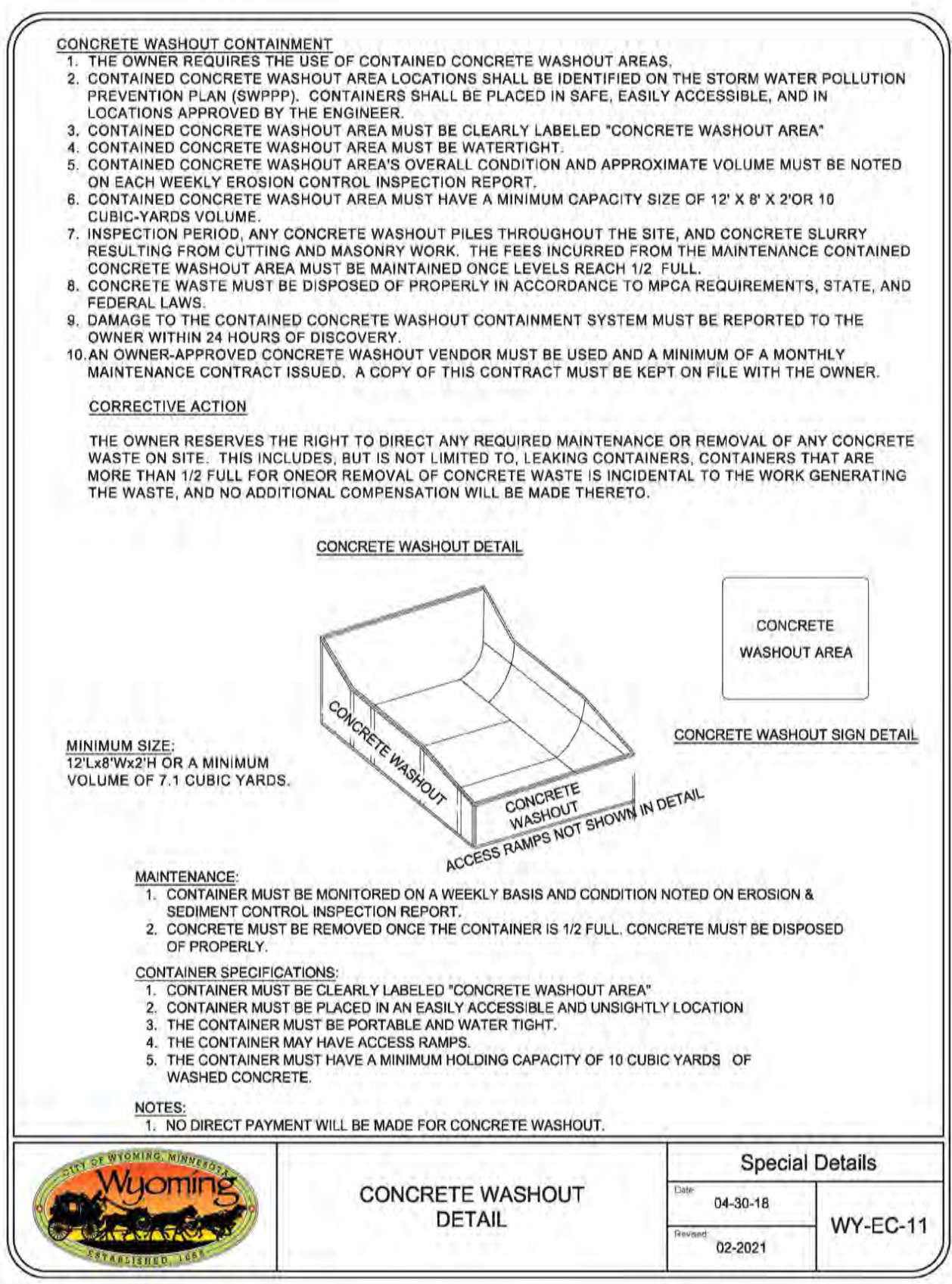
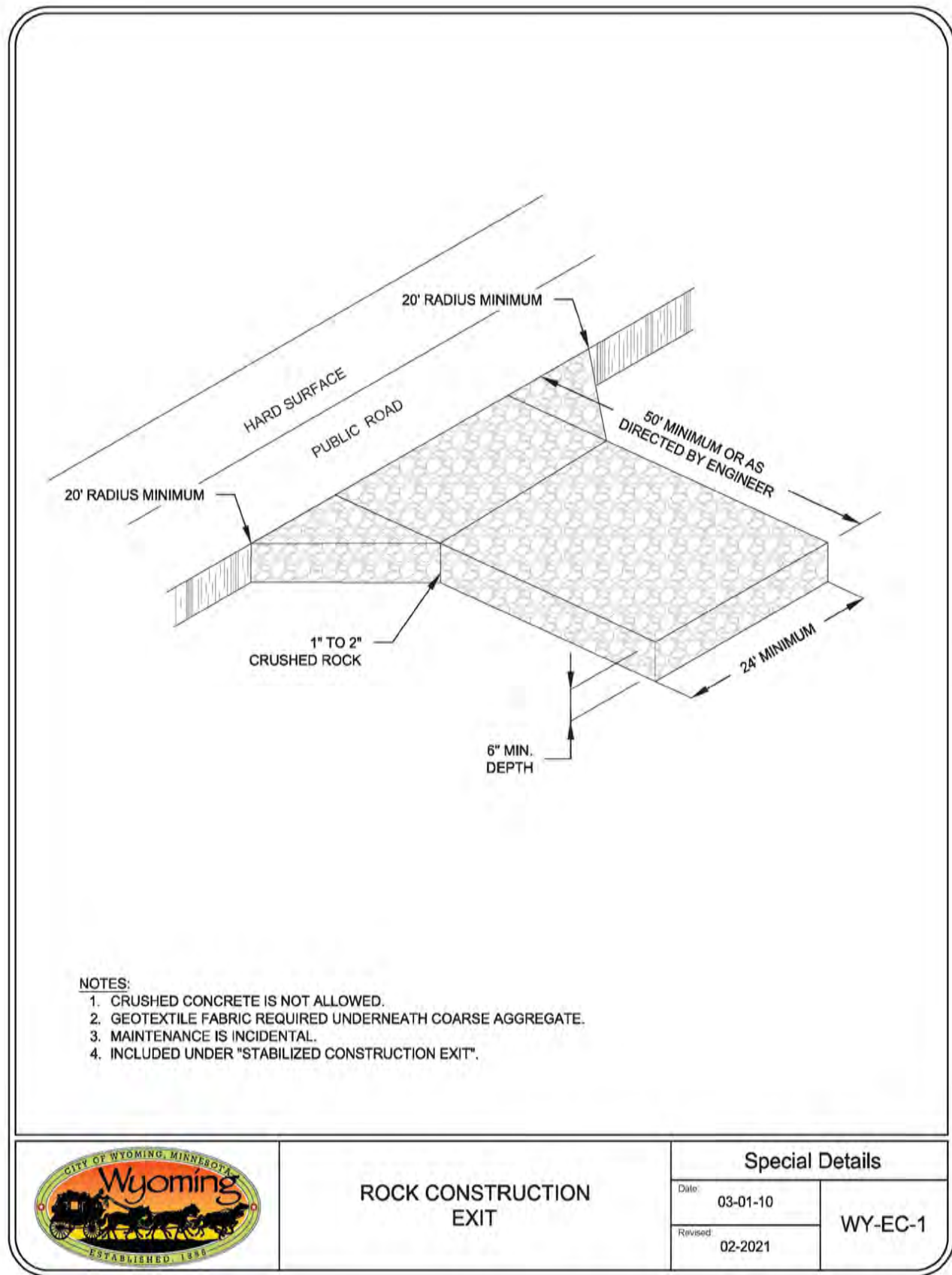
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Sediment and
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Plan

C600



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Construction
Details

C700

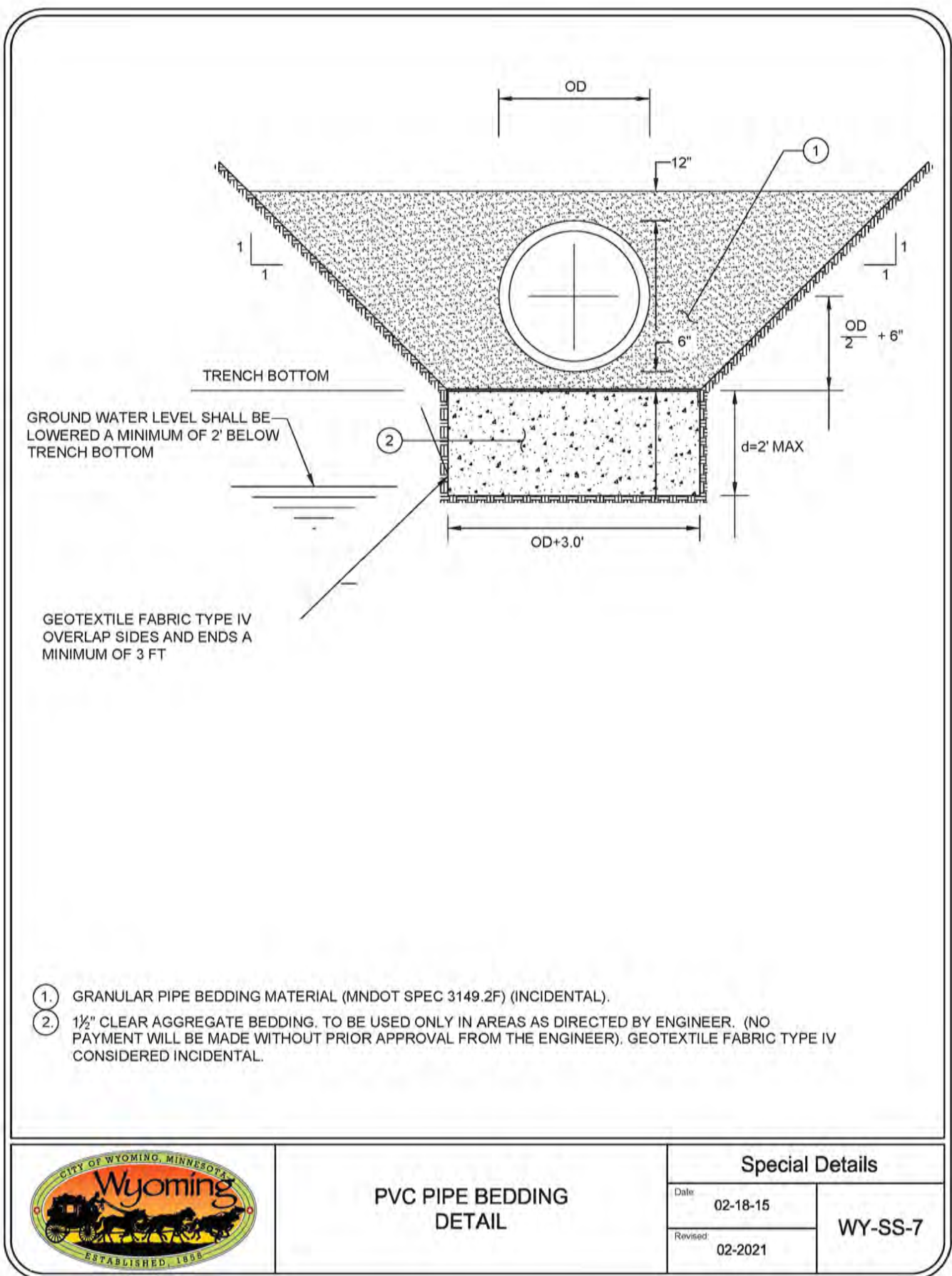
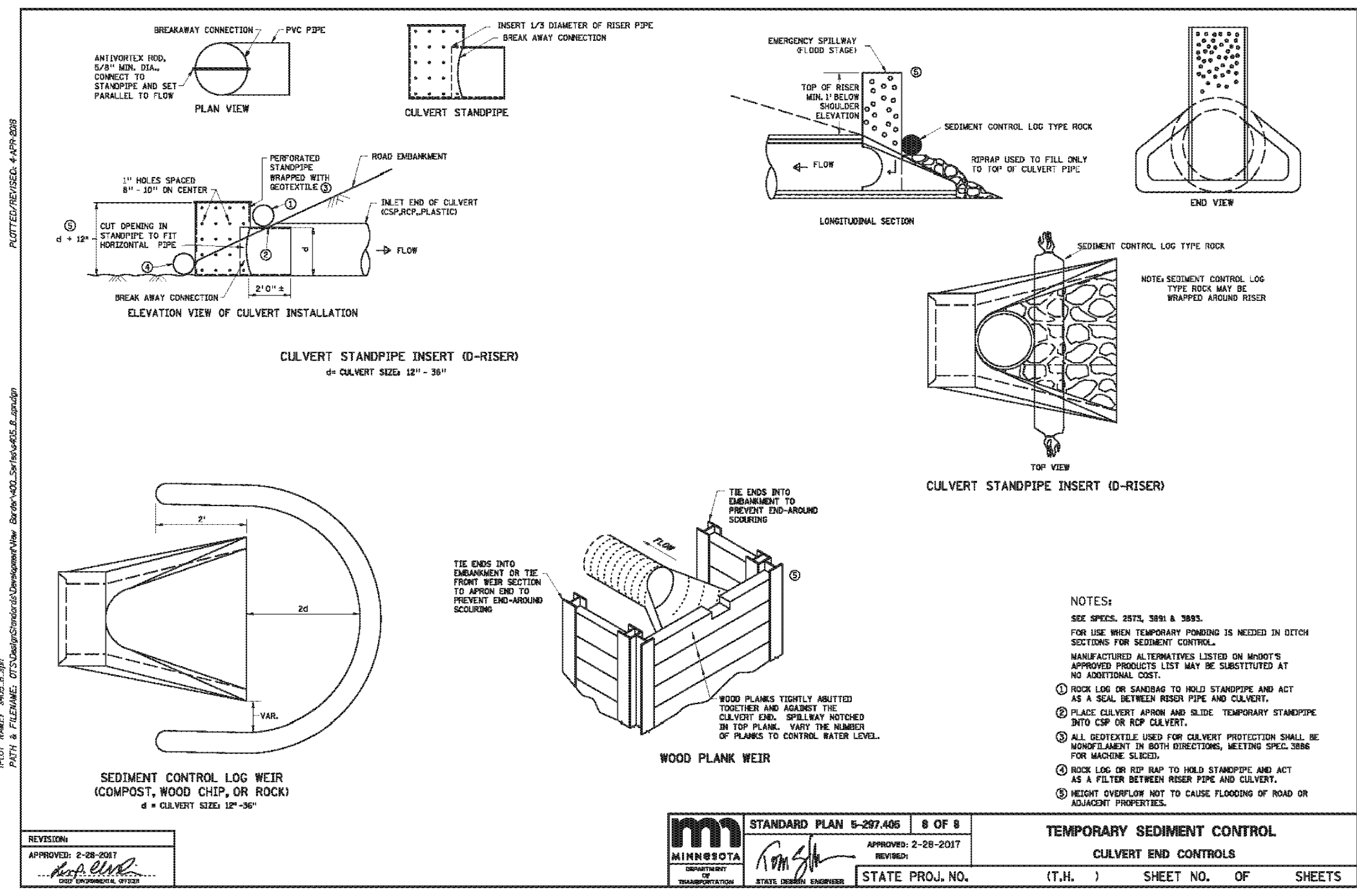
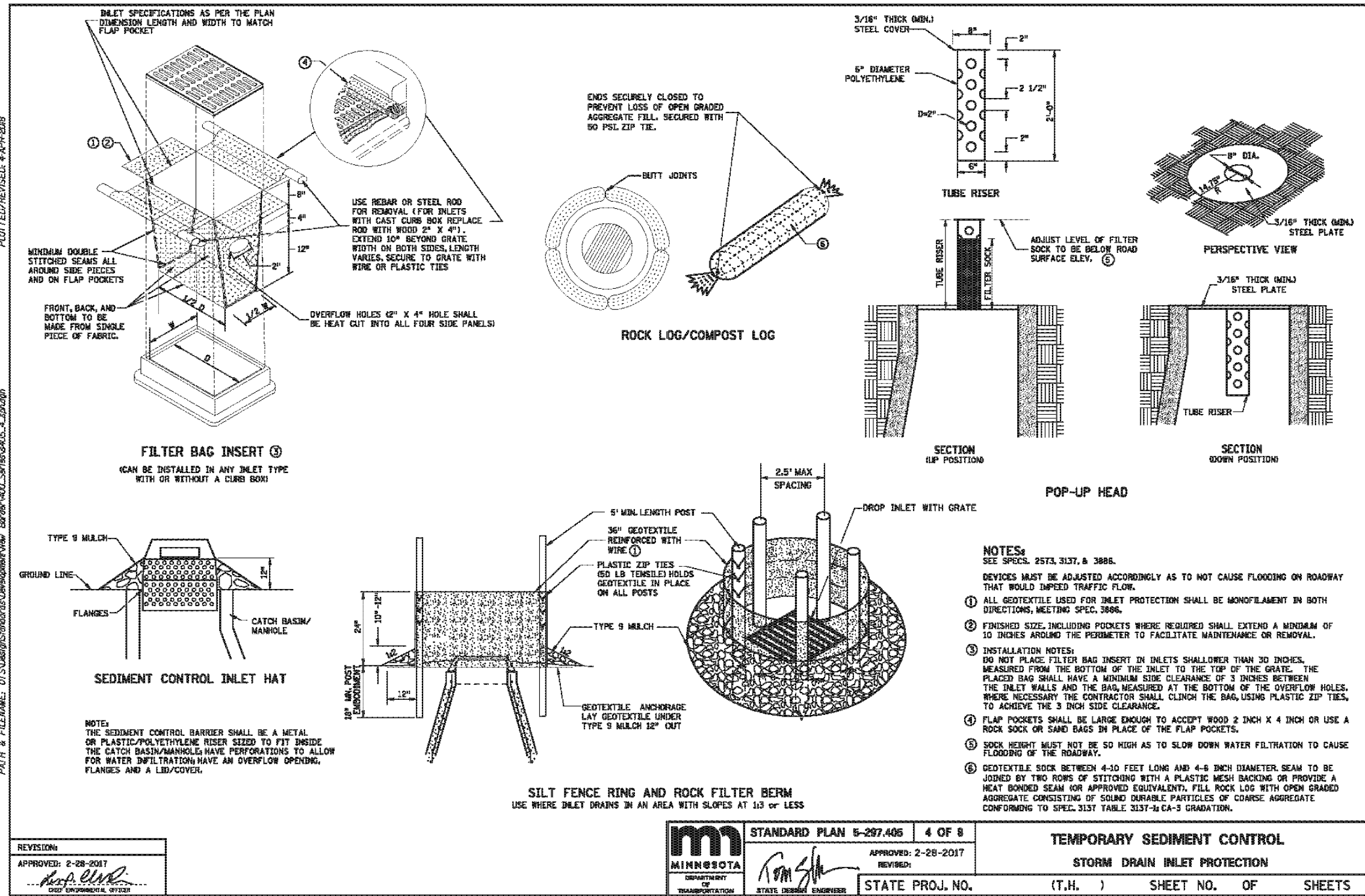


TABLE OF QUANTITIES		RCP AT OUTLETS	
SPAN ROUND PIPE (IN)	CLASS III D ₉₀ = 15"	CLASS IV D ₉₀ = 15"	CLASS V D ₉₀ = 15"
	15" DEPTH RIPRAP (CU YD)	18" DEPTH RIPRAP (CU YD)	24" DEPTH RIPRAP (CU YD)
12	2.1	1.1	2.6
15	2.9	1.4	3.5
18	3.8	1.8	4.4
21	4.6	2.3	5.6
24	5.8	2.9	6.9
27	6.9	3.4	8.3
30	8.3	4.1	9.9
36	11.0	5.5	13.2
42	13.6	6.8	16.4
48	16.8	8.4	20.1
54	19.8	9.9	23.7
60	23.0	11.5	27.6
66	27.0	13.5	32.4
72	31.1	15.6	37.4
84	40.0	20.0	48.0
90	45.5	22.6	54.6

RIPRAP AT RCP-A OR BOXES OF EQUIVALENT SPAN WIDTH		CLASS III D ₉₀ = 15"		CLASS IV D ₉₀ = 15"		CLASS V D ₉₀ = 15"	
SPAN ROUND PIPE (IN)	15" DEPTH RIPRAP (CU YD)	7.5" DEPTH RIPRAP (CU YD)	18" DEPTH RIPRAP (CU YD)	9" DEPTH RIPRAP (CU YD)	24" DEPTH RIPRAP (CU YD)	12" DEPTH RIPRAP (CU YD)	12" DEPTH RIPRAP (CU YD)
	(CU YD)	(CU YD)	(CU YD)	(CU YD)	(CU YD)	(CU YD)	(CU YD)
22	3.8	1.8	4.4	2.2	5.8	2.9	4.6
28	5.8	2.9	6.9	3.5	9.2	4.6	7.4
36	8.1	4.1	9.9	4.9	13.0	6.5	10.4
43	11.0	5.5	13.2	6.6	17.6	8.8	13.6
51	13.6	6.8	16.4	8.2	21.8	10.9	16.4
58	16.5	8.3	19.8	9.9	26.4	13.2	19.8
65	19.8	9.9	23.7	11.9	31.6	15.8	23.7
72	23.0	11.5	27.6	14.0	37.2	18.6	27.6
88	32.4	16.2	38.9	19.4	51.8	25.9	38.9
102	43.5	21.8	52.2	26.1	69.6	34.8	52.2
115	44.0	22.0	52.8	26.4	70.4	35.2	52.8
122	49.3	24.6	59.1	29.6	78.8	39.4	59.1
138	61.3	30.6	73.5	36.6	98.0	49.0	73.5
154	74.4	37.2	88.3	44.6	119.0	59.5	88.3

Architect:
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Civil Engineer:
RDC
REYLING DESIGN & CONSULTING
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reylingdc@gmail.com

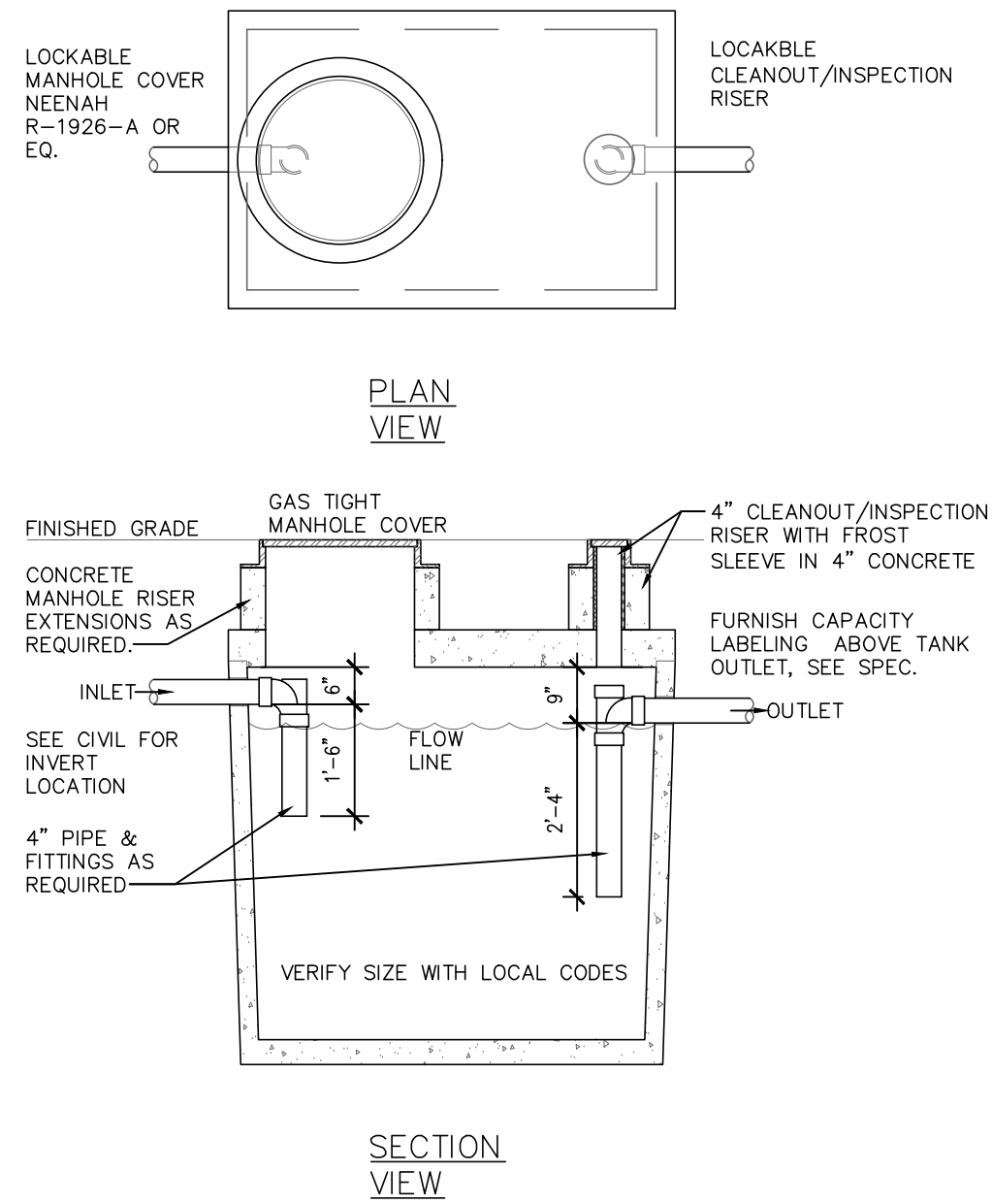
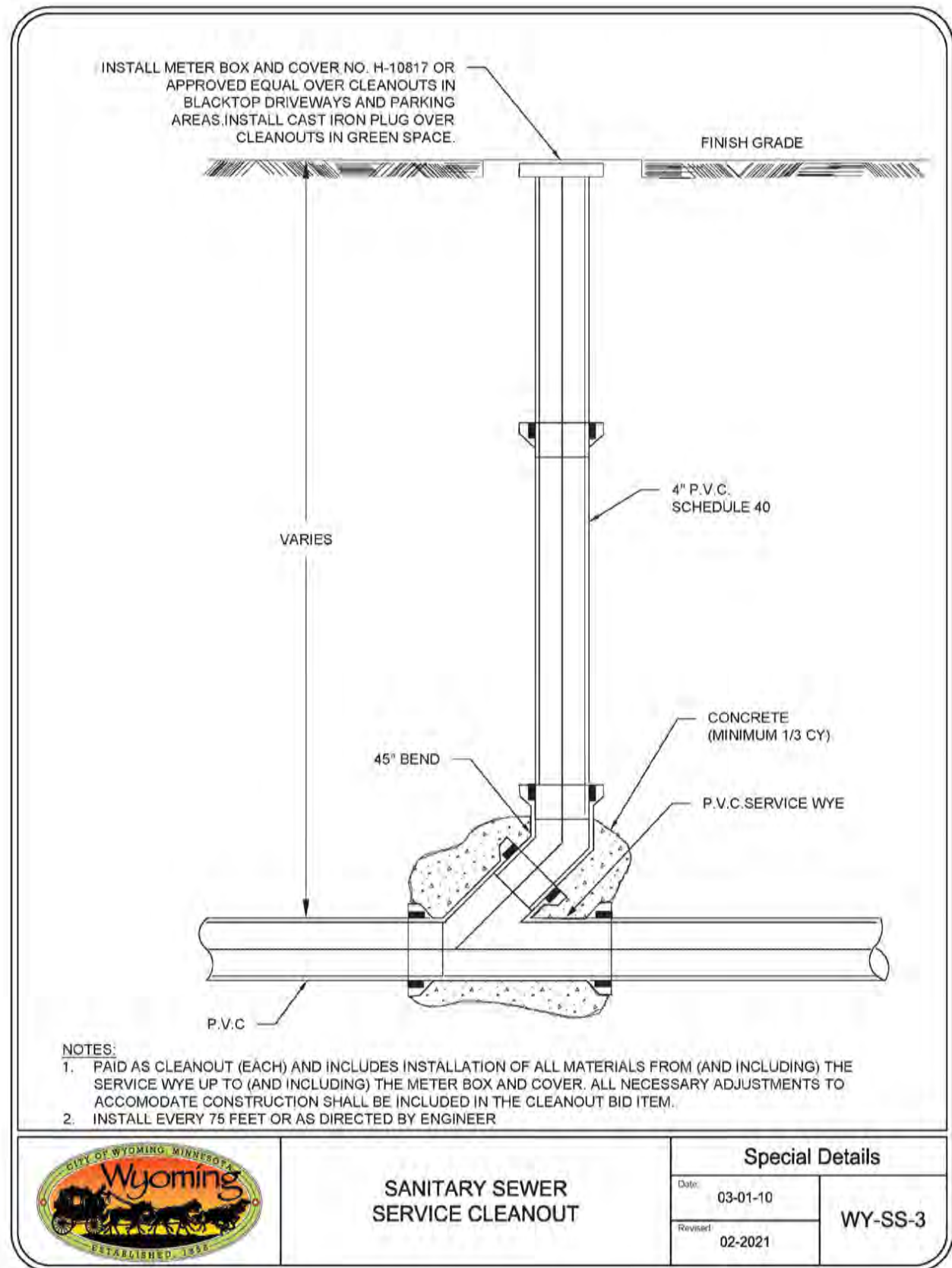
HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
SIGNATURE: *Todd J. Reyling*
NAME: TODD JEFFREY REYLING
DATE: 11.04.2024 LICENSE NUMBER: 50973

ENGINEER OF RECORD:
Todd J. Reyling, PE
Minnesota PE 50973
ISSUED / REVISED DATE
ISSUED FOR REVIEW 11.04.2024

PROJECT NUMBER: 22-142

New Ground Up Building:
Dairy Queen
5111 East Viking Blvd.
Wyoming, MN 55092
Chisago County

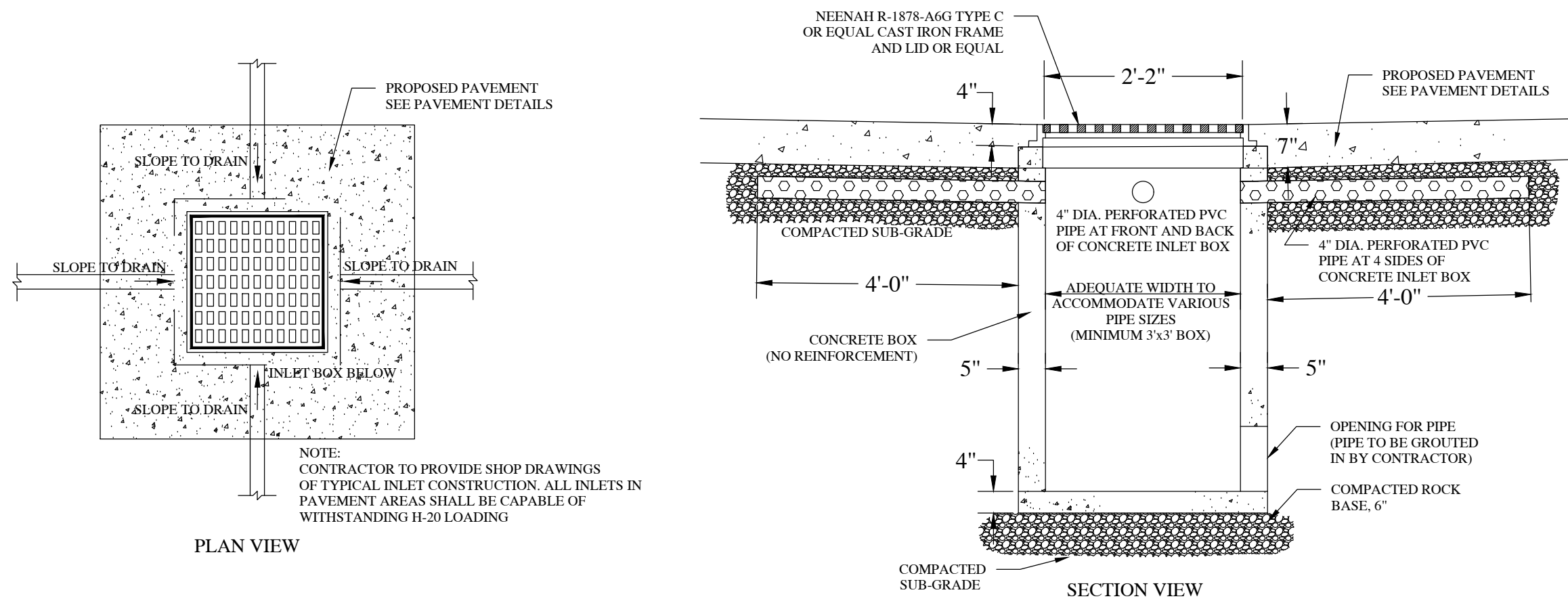
Construction
Details
C701



- GREASE TRAP REQUIRED MAINTENANCE:
1. REMOVE COVER
 2. REMOVE GREASE FROM TOP OF SEPARATION CHAMBER.
 3. REMOVE ANY SOLIDS FROM BOTTOM OF CHAMBER.
 4. INSPECT INTERCEPTOR AND CLEAN IF NECESSARY.
 5. MAKE CERTAIN ALL PASSAGES INCLUDING RELIEF ARE CLEAR OF OBSTRUCTIONS.
 6. CHECK INTEGRITY OF BAFFLES AND MAKE SURE THEY ARE IN PLACE.
 7. REPLACE COVER.
 8. TIGHTEN COVER HOLD DOWN BOLTS, SCREWS OR LATCHES.
 9. CLEAN GREASE TRAP WEEKLY, IF GREASE TRAP IS MORE THAN 50% FULL, INCREASE FREQUENCY OF CLEANING.
 10. KEEP A MAINTENANCE LOG LISTING THE FREQUENCY OF CLEANING AND VOLUME OF GREASE.

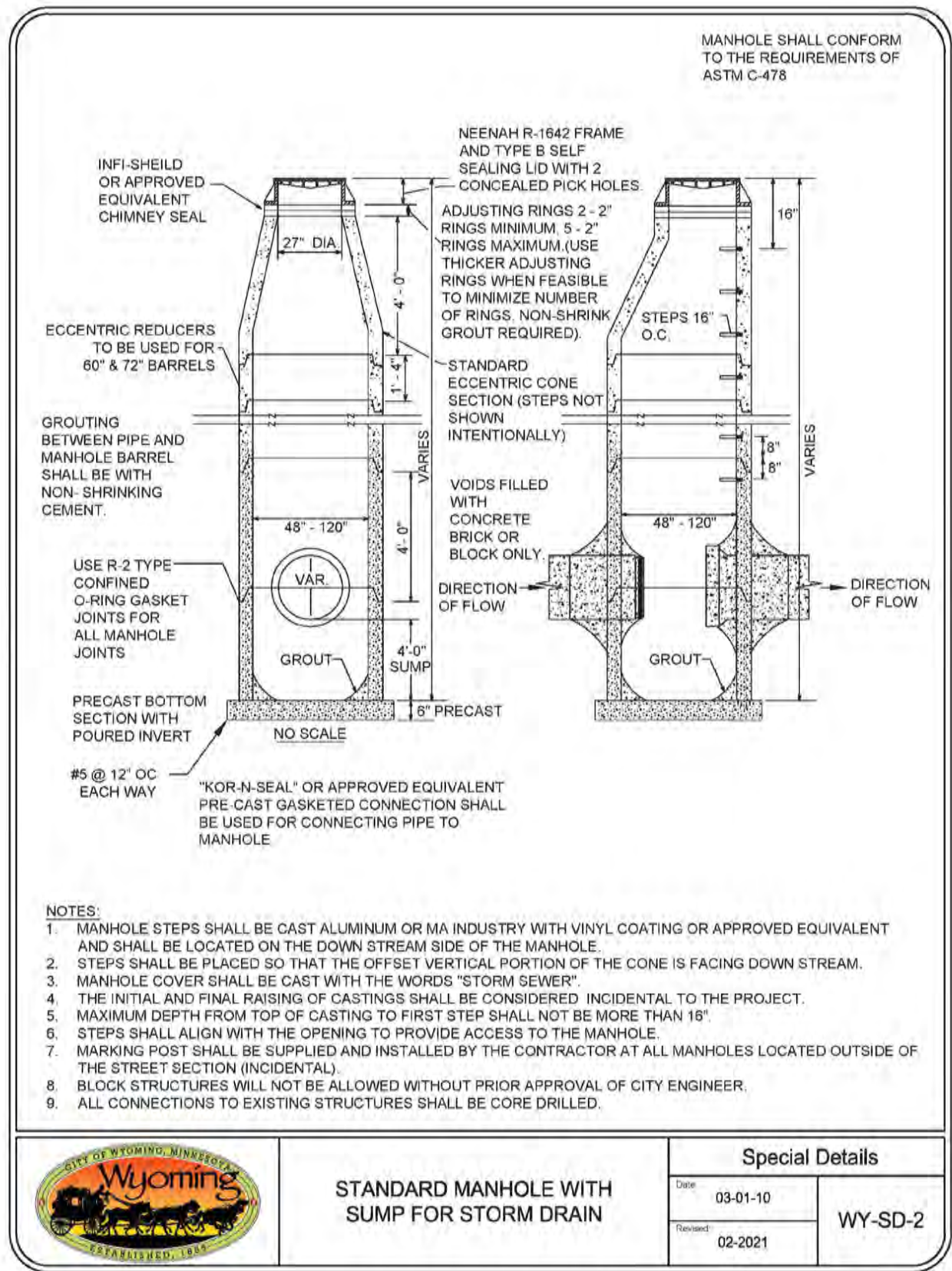
GREASE INTERCEPTOR DETAIL

NOT TO SCALE



PAVEMENT INLET DETAIL

NOT TO SCALE



Architect:

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Civil Engineer:

RDC

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reylingdc@gmail.com

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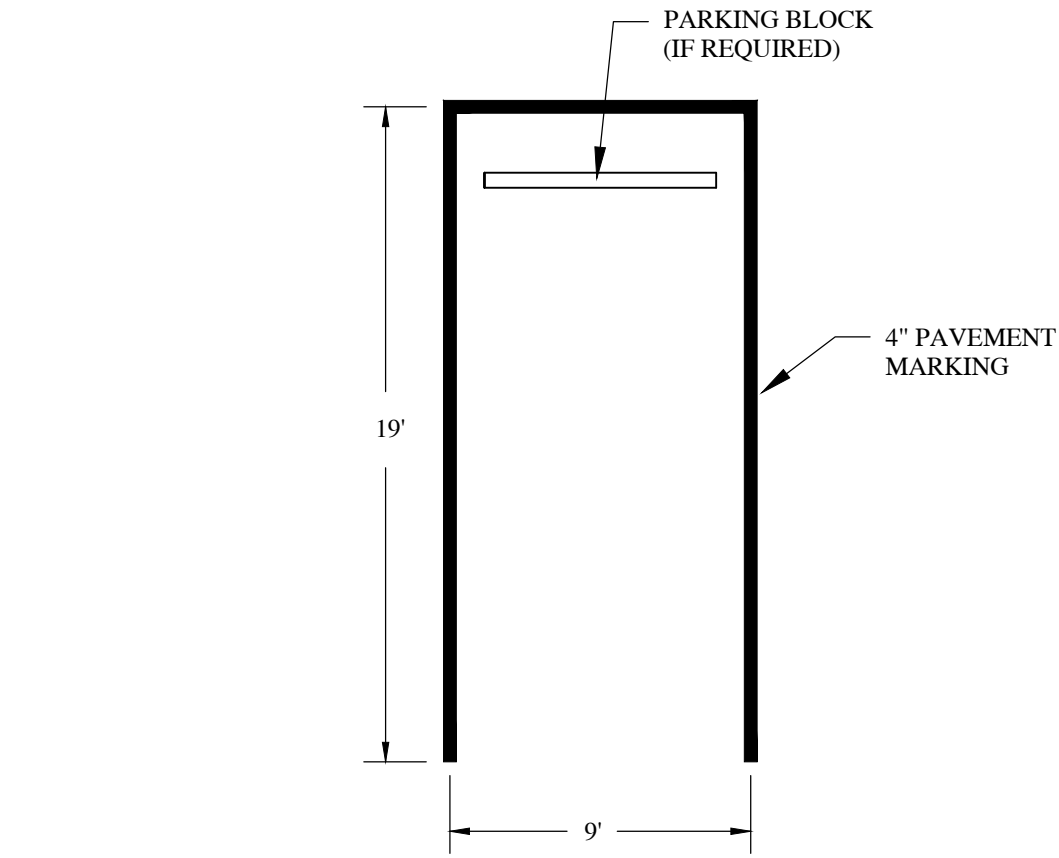
PROJECT NUMBER: 22-142

New Ground Up Building:

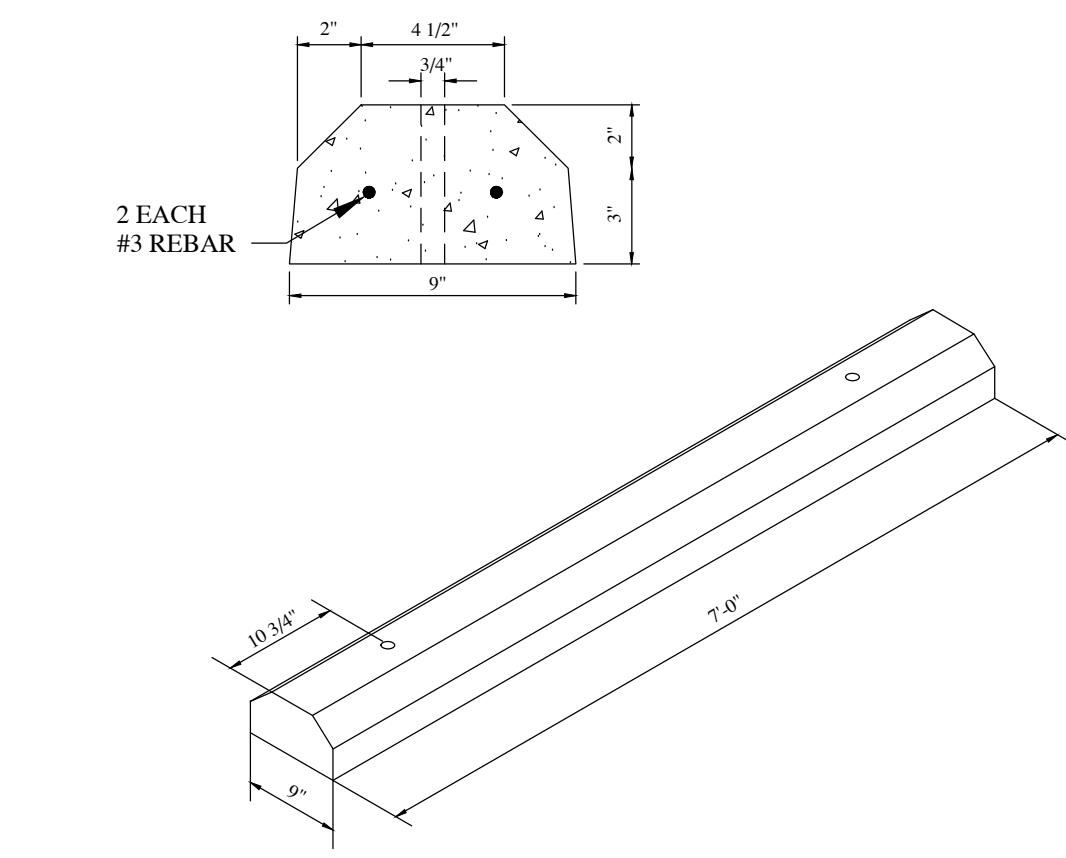
Dairy Queen

5111 East Viking Blvd.
Wyoming, MN 55092
Chisago County

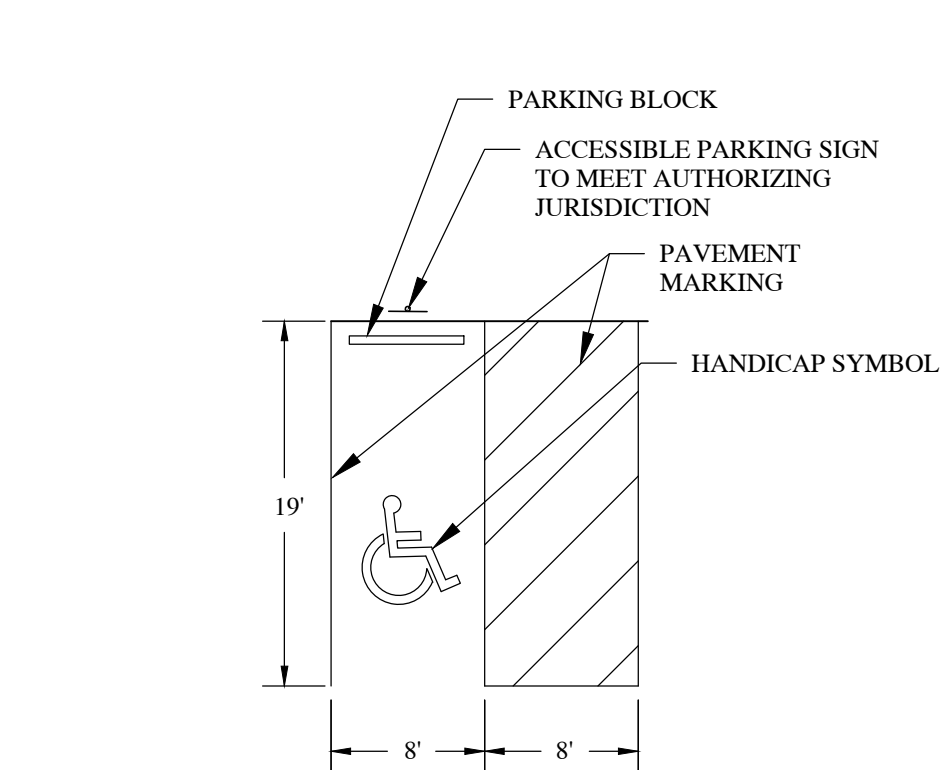
Construction
Details
C702



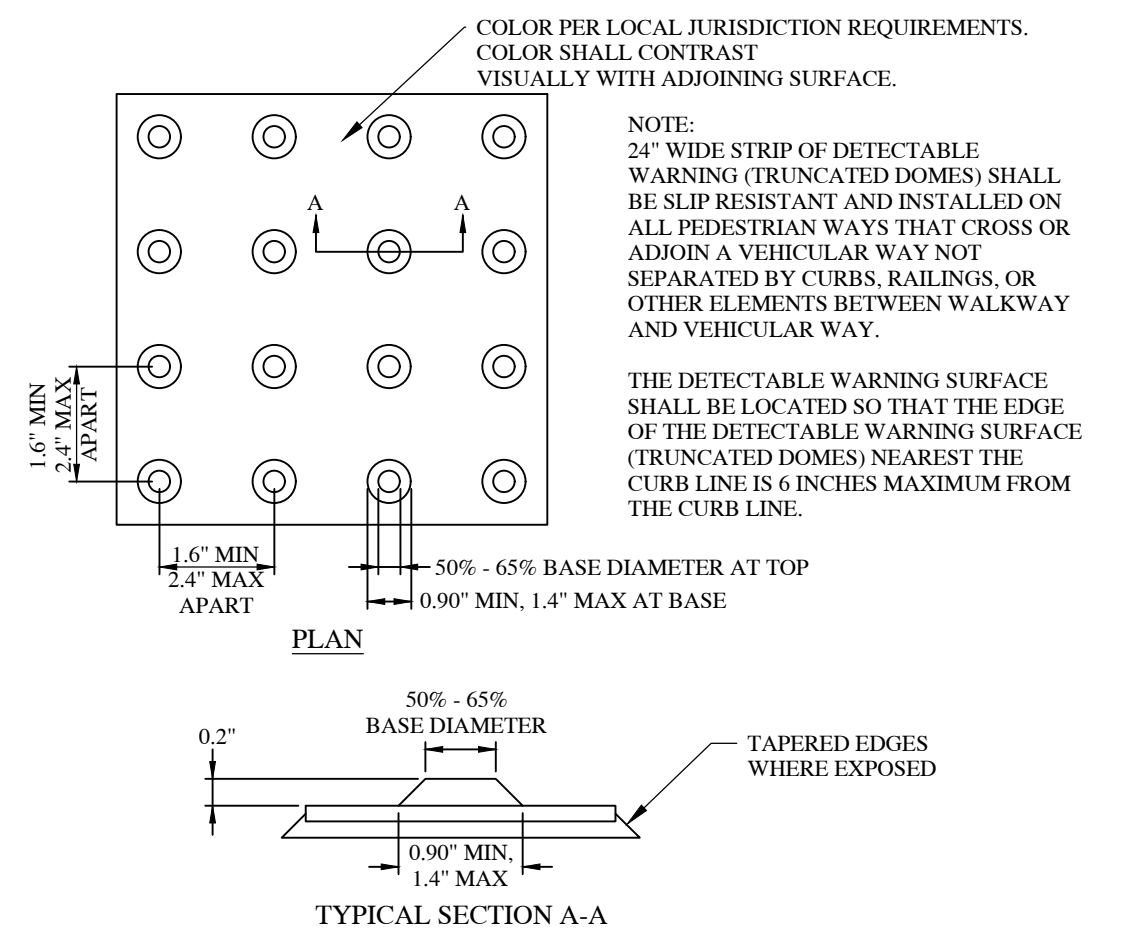
PARKING SPACE DETAIL
NOT TO SCALE



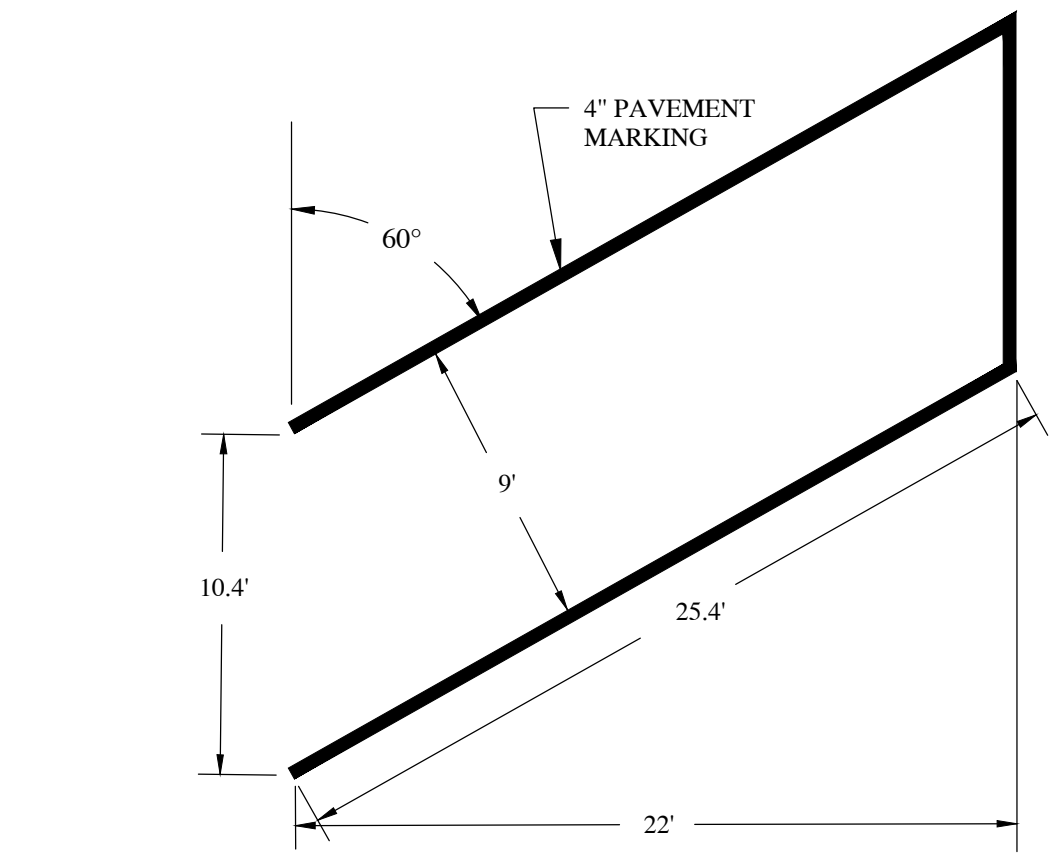
PARKING BLOCK DETAIL
NOT TO SCALE



ACCESSIBLE PARKING SPACE DETAIL
NOT TO SCALE



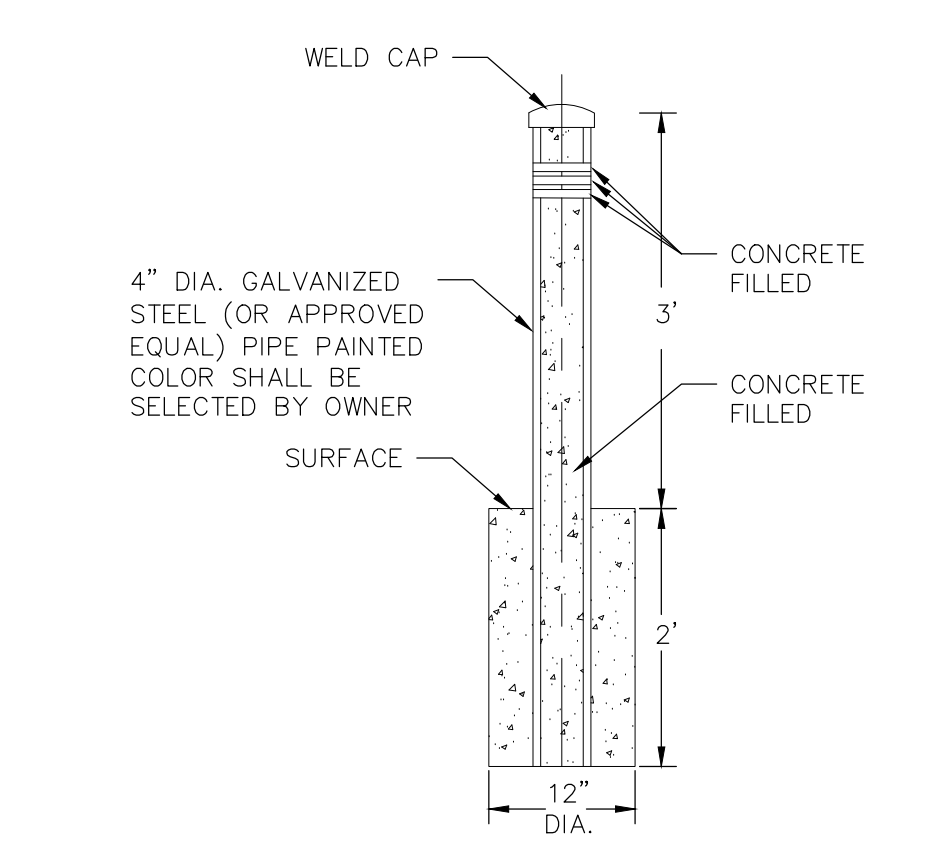
DETECTABLE WARNING (TRUNCATED DOMES) DETAIL
NOT TO SCALE



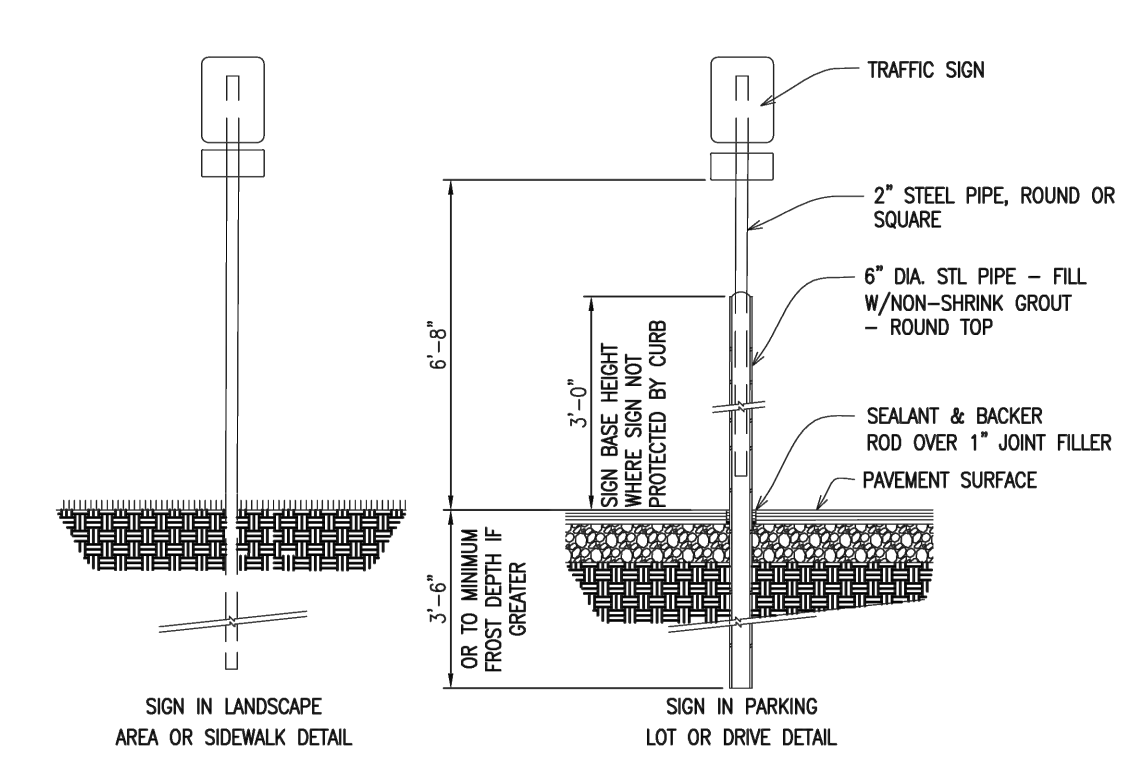
60° PARKING SPACE DETAIL
NOT TO SCALE



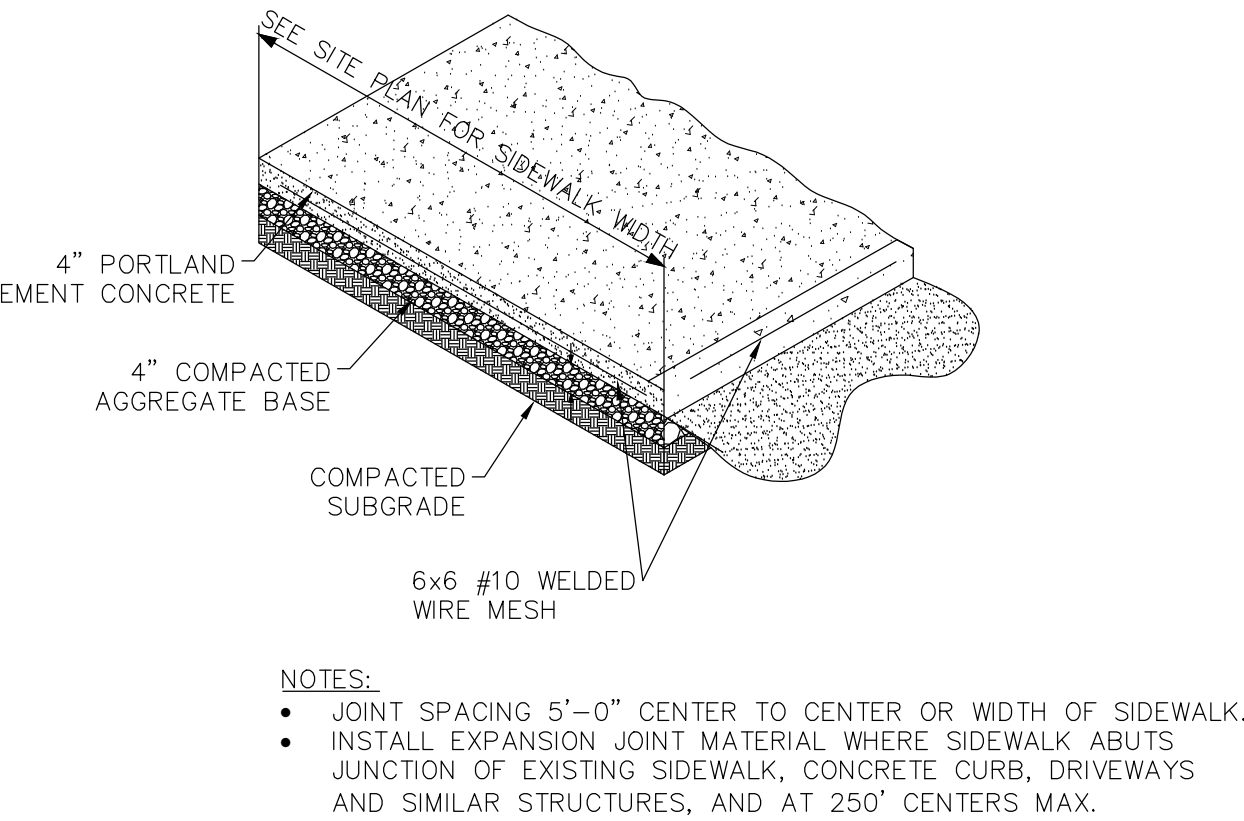
ACCESSIBLE PARKING SIGN DETAIL
NOT TO SCALE



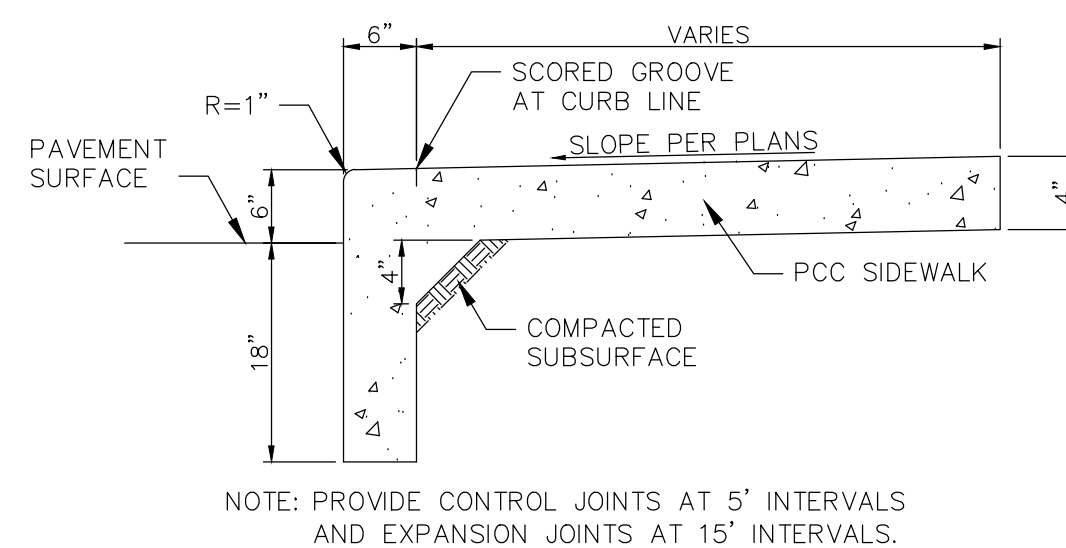
PIPE BOLLARD DETAIL
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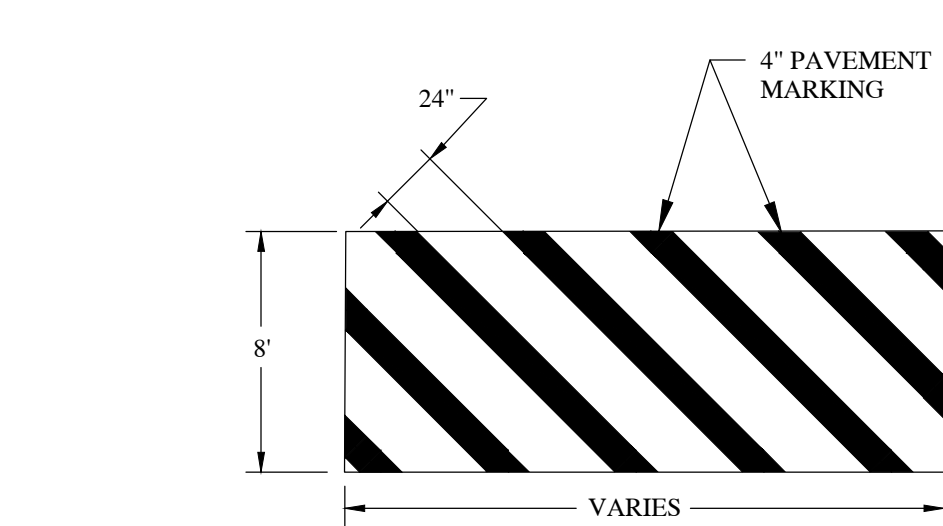
SIGN POST DETAIL
NOT TO SCALE



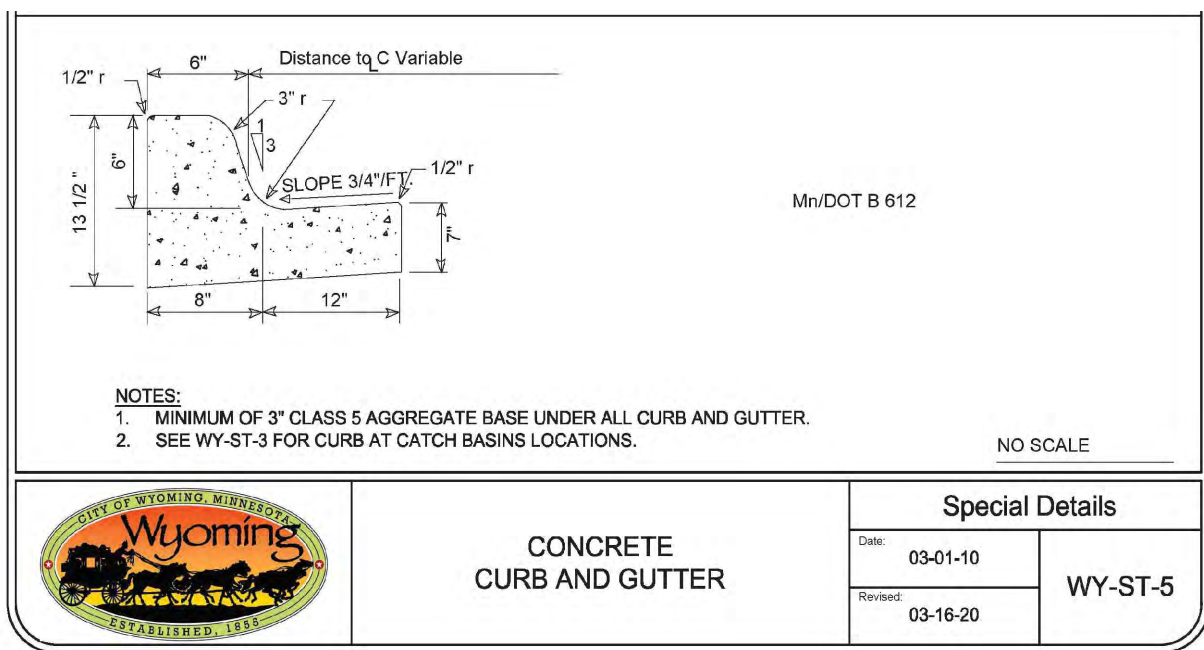
TYPICAL CONCRETE DETAIL
NOT TO SCALE



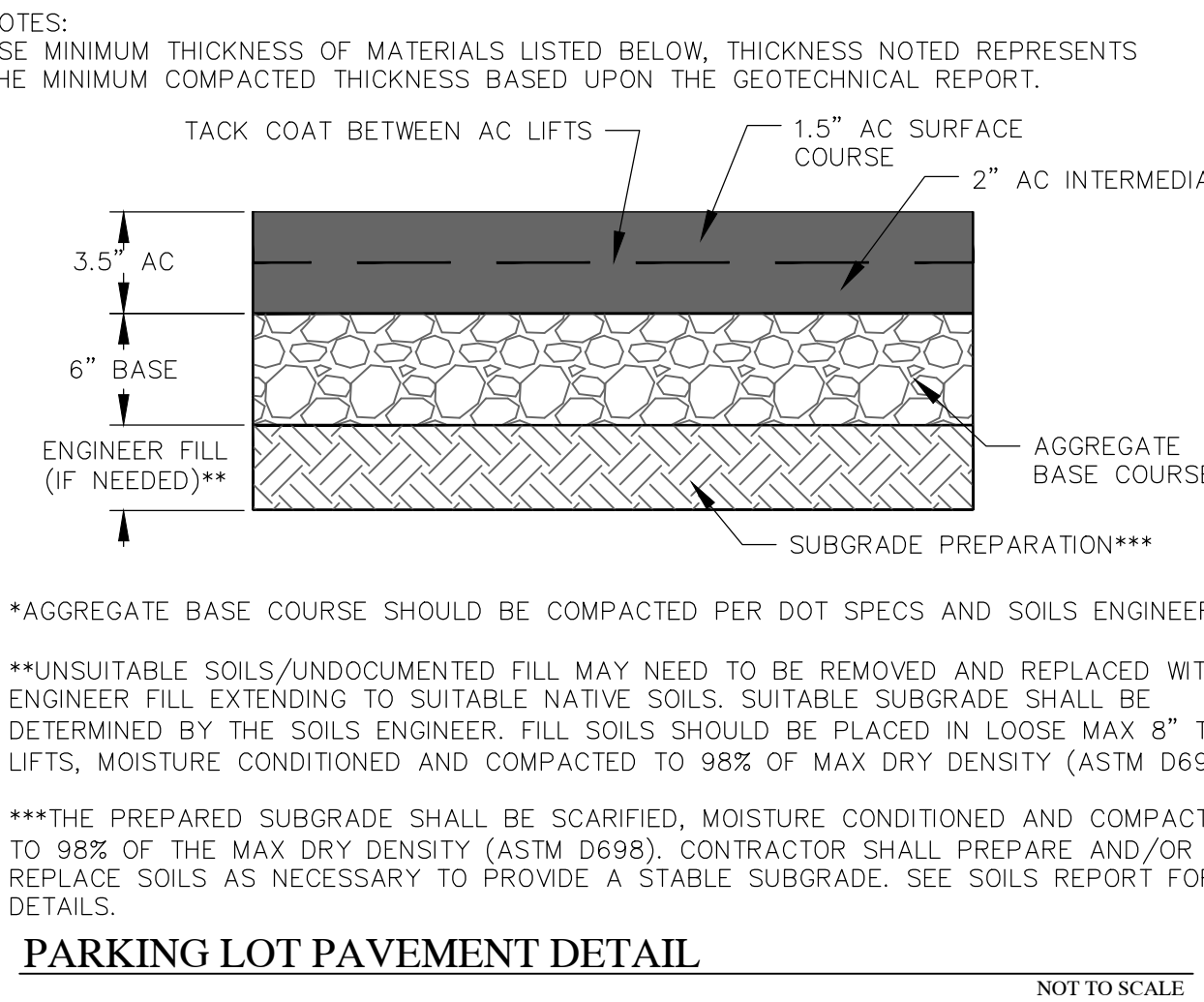
TURN DOWN CURB AND SIDEWALK
NOT TO SCALE



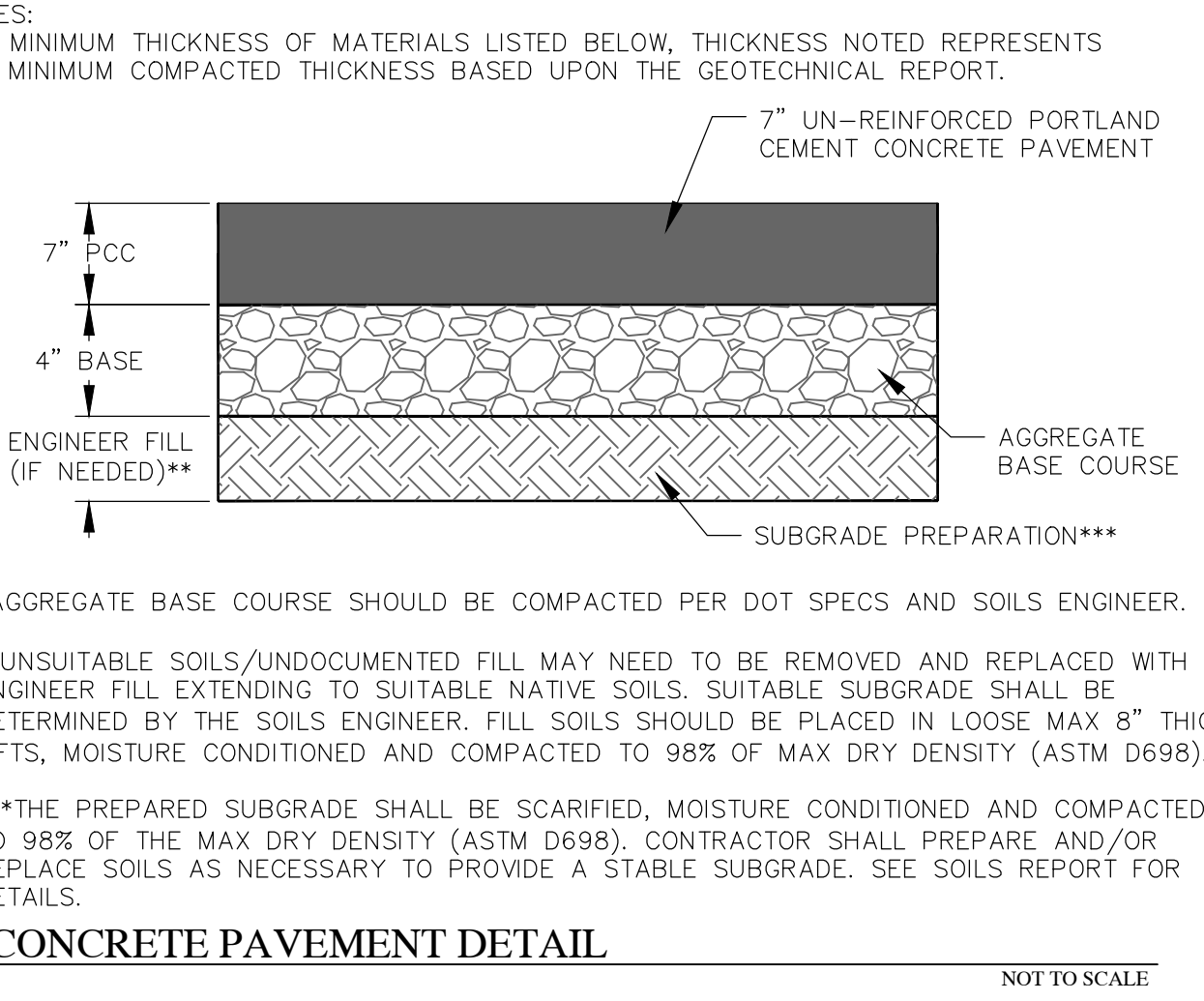
PEDESTRIAN ACCESS PAVEMENT MARKING DETAIL
NOT TO SCALE



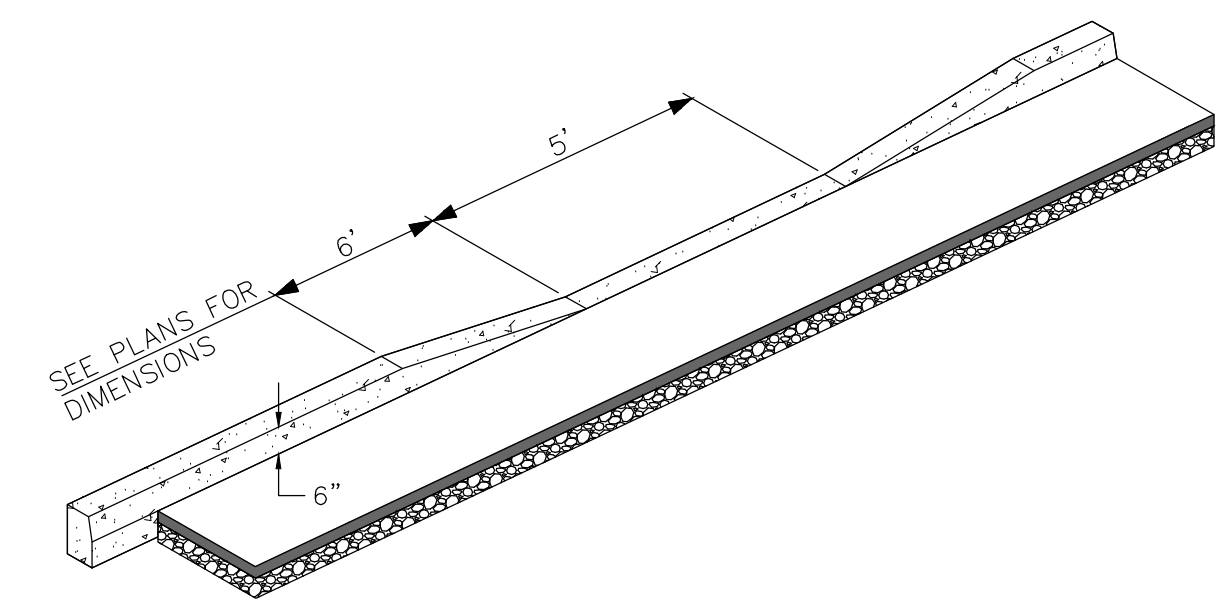
CONCRETE CURB AND GUTTER
NOT TO SCALE



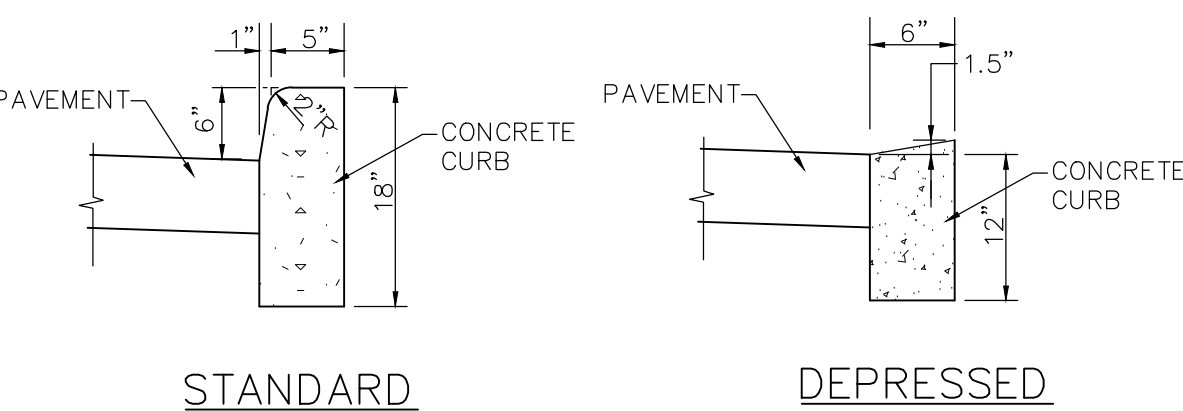
PARKING LOT PAVEMENT DETAIL
NOT TO SCALE



CONCRETE PAVEMENT DETAIL
NOT TO SCALE



CURB TAPER DETAIL
NOT TO SCALE



CONCRETE BARRIER CURB DETAIL
NOT TO SCALE

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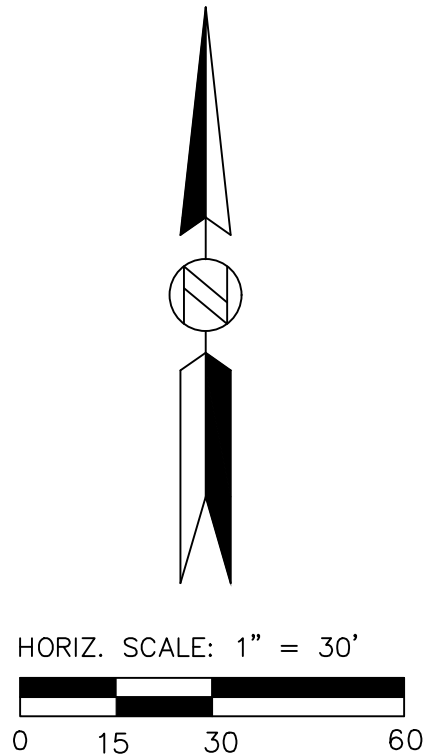
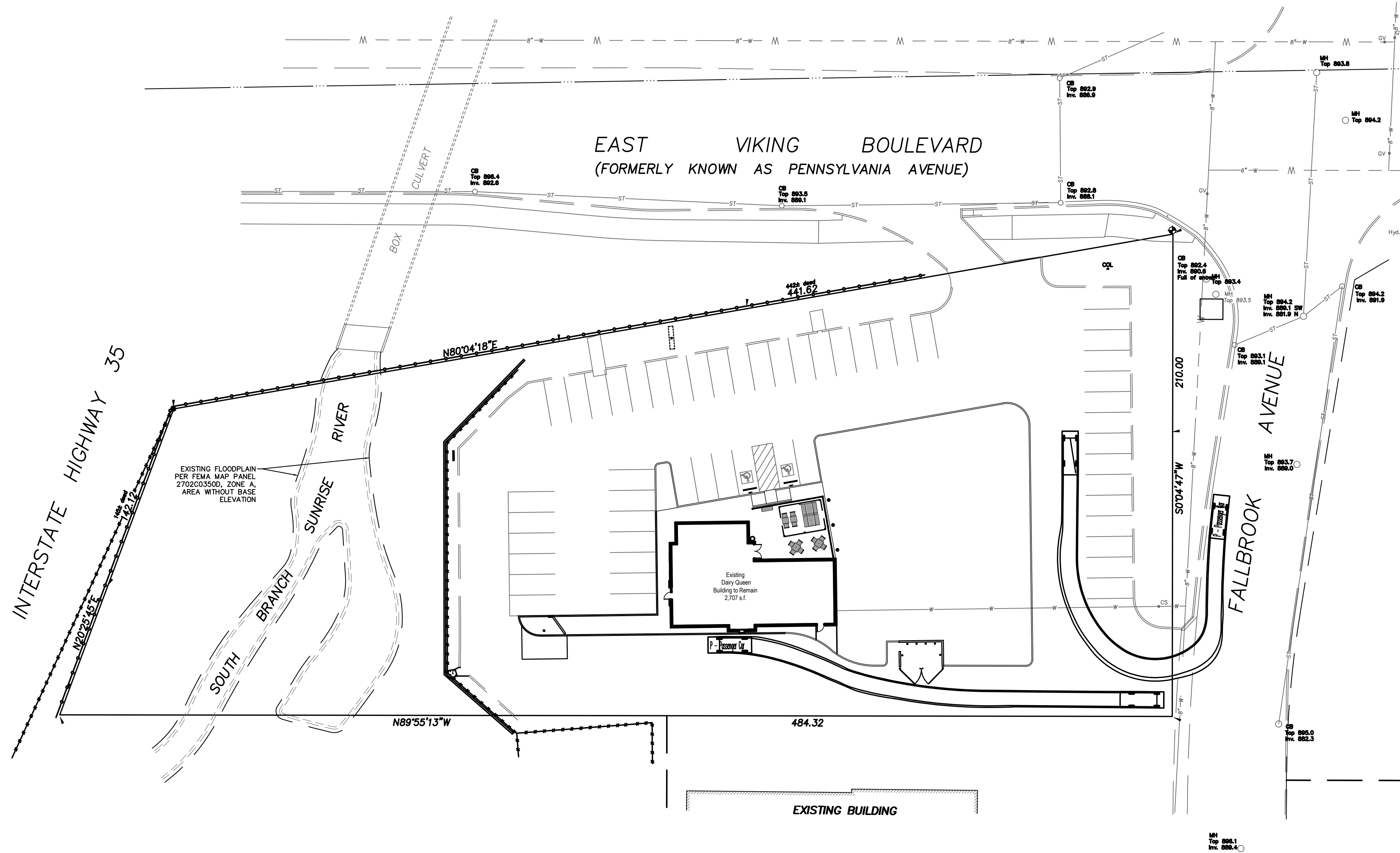
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Todd J. Reyling, PE
Minnesota PE 50973
ISSUED / REVISED DATE
ISSUED FOR REVIEW 11.04.2024

PROJECT NUMBER: 22-142

New Ground Up Building:
Dairy Queen
5111 East Viking Blvd.
Wyoming, MN 55092
Chisago County

Construction
Details
C703



Architect:
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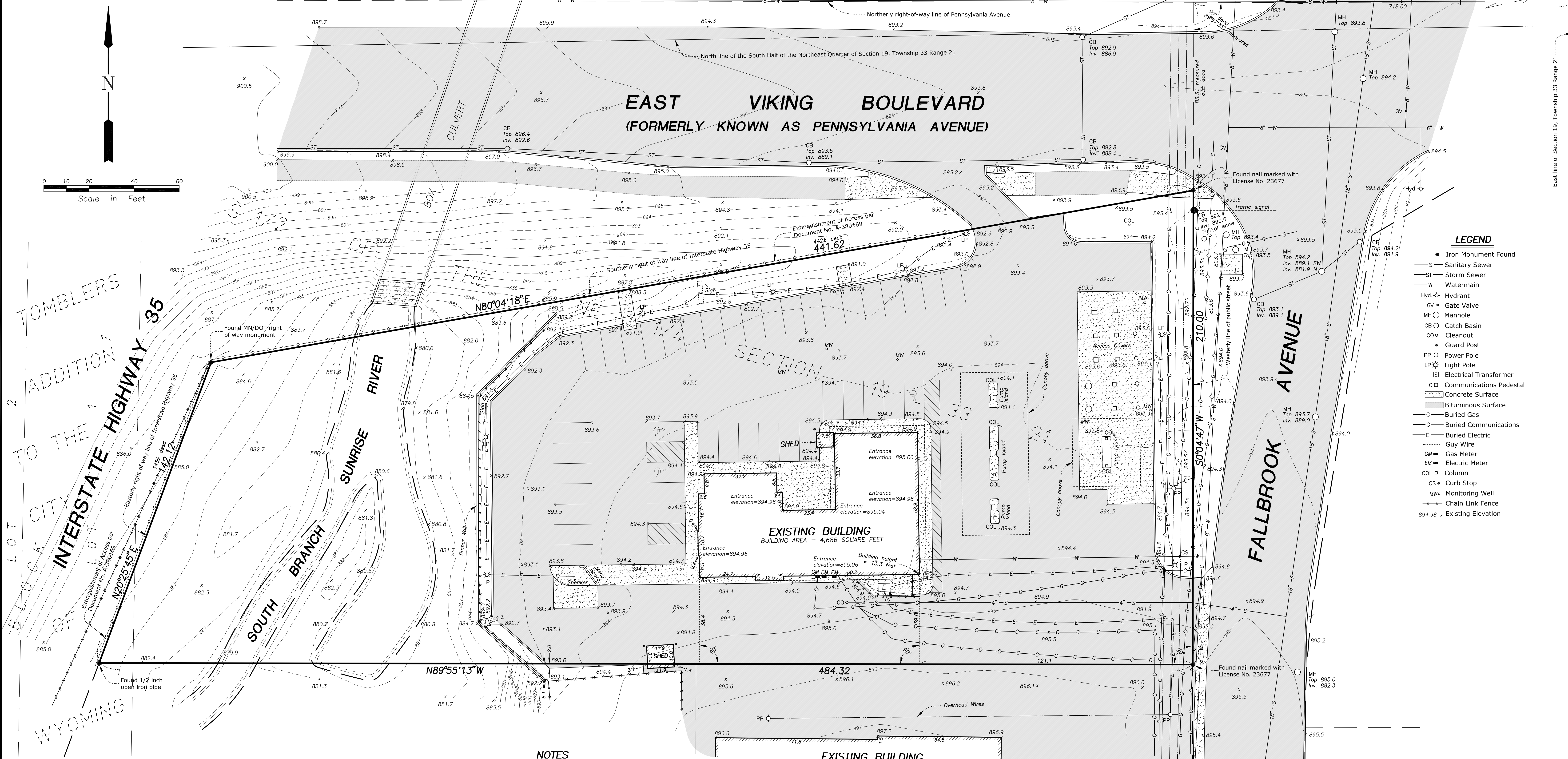
ENGINEER OF RECORD:	
Todd J. Reyling, PE Minnesota PE 50973	
ISSUED / REVISED	DATE
ISSUED FOR REVIEW	11.04.2024

PROJECT NUMBER: 22-142

New Ground Up Building:
Dairy Queen
5111 East Viking Blvd.
Wyoming, MN 55092
Chisago County

Turning
Movement
C800

ALTA/NSPS Land Title Survey for:
D7 WYOMING, LLC
at 5111 East Viking Boulevard – Wyoming, Minnesota



PROPERTY DESCRIPTION

That part of the South Half of the Northeast Quarter (S1/2 of NE1/4) of Section Nineteen (19), Township Thirty-three (33), Range Twenty-one (21), Chisago County, Minnesota and that part of Lots One (1) and Two (2), Block One (1), of the recorded plat of Tomblers Addition to the Village of Wyoming described jointly as follows:

Commencing at the point of Intersection of the East line of said Section 19 with the northerly right-of-way line of Pennsylvania Avenue, said point also being the northeast corner of said South Half of Northeast Quarter (S1/2 of NE1/4); thence West, along said northerly right-of-way line a distance of 718 feet; thence South at right angles a distance of 83 feet, more or less, to the intersection of the southerly right-of-way line of Interstate Highway 35 and the westerly line of a public street, being the point of beginning; thence continuing South, along said westerly line of public street, a distance of 210 feet; thence West at right angles to the easterly right-of-way line of Interstate Highway 35; thence northerly, along said easterly right-of-way line a distance of 145 feet, more or less; thence easterly along the southerly right-of-way line of Interstate Highway 35, a distance of 442 feet, more or less, to the point of beginning.

Abstract Property

NOTES

- * Bearings shown are based on the Chisago County Coordinate System.
- * Utilities shown are from information furnished by the City of Wyoming and respective utility companies in response to Gopher State One Call Ticket No. 190450167 and are verified where possible.
- * Contact Gopher State One Call for utility locations before any construction shall begin. Phone 651-454-0002.
- * Area = 77,933 square feet (1.79 acres).

UTILITY STATEMENT

The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although he does certify that they are shown as accurately as possible from information available. The surveyor has not physically located the underground utilities.

LEGEND

- Iron Monument Found
- S Sanitary Sewer
- ST Storm Sewer
- W Watermain
- Hyd. ⬢ Hydrant
- GV ⬢ Gate Valve
- MH ⬢ Manhole
- CB ⬢ Catch Basin
- CO ⬢ Cleanout
- Guard Post
- PP ⬢ Power Pole
- LP ⬢ Light Pole
- ⬢ Electrical Transformer
- ⬢ Communications Pedestal
- Concrete Surface
- Bituminous Surface
- G Buried Gas
- C Buried Communications
- E Buried Electric
- Guy Wire
- GM ⬢ Gas Meter
- EM ⬢ Electric Meter
- COL ⬢ Column
- CS ⬢ Curb Stop
- MW ⬢ Monitoring Well
- Chain Link Fence
- 894.98 x Existing Elevation

I hereby certify that this survey was prepared by me or under my direction and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

Dated this 6th day of January, 2022

REHDER & ASSOCIATES, INC.

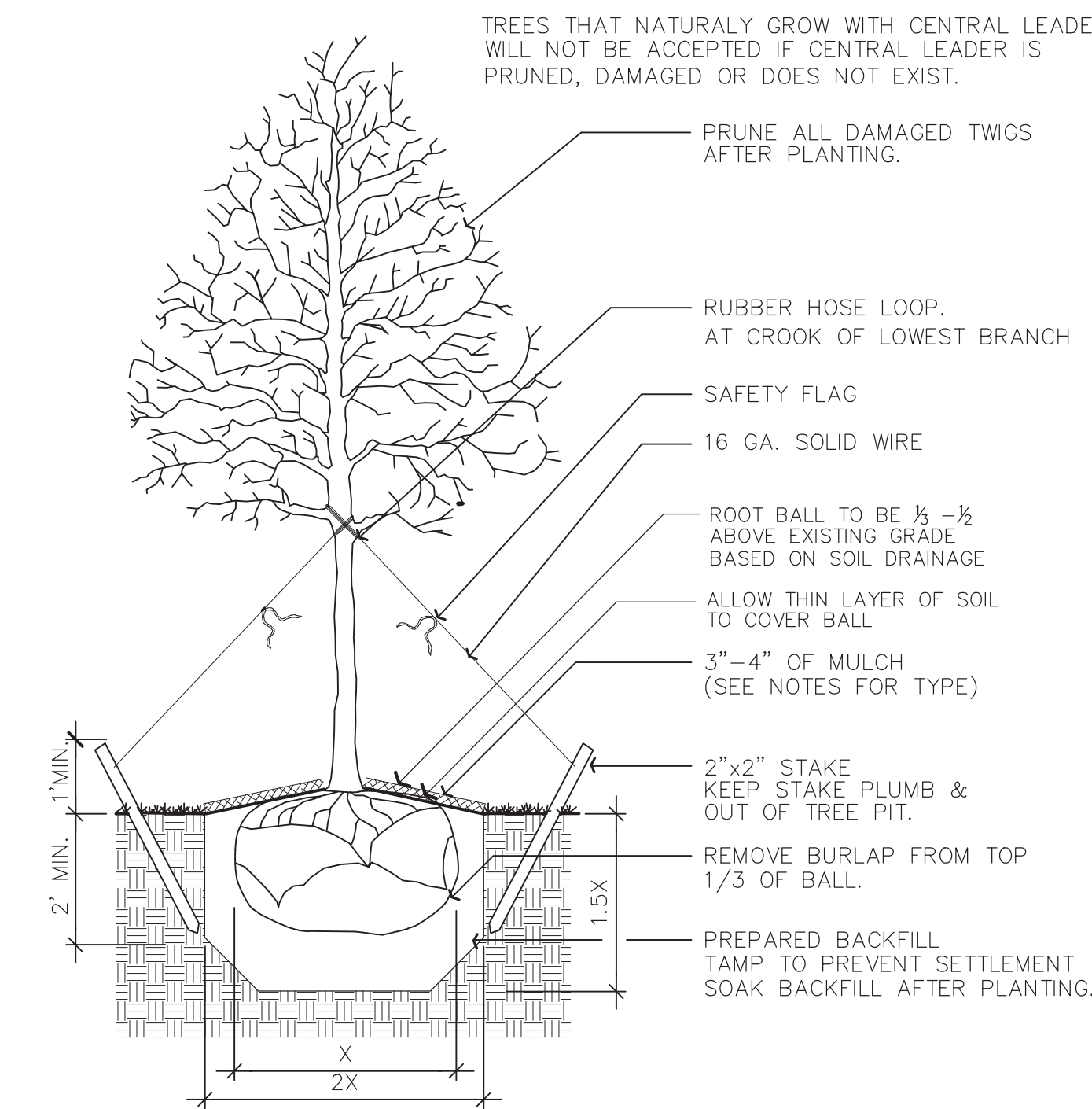
Gary C. Huber
Gary C. Huber, Land Surveyor
Minnesota License No. 22036

REHDER & ASSOCIATES, INC.
Civil Engineers & Land Surveyors

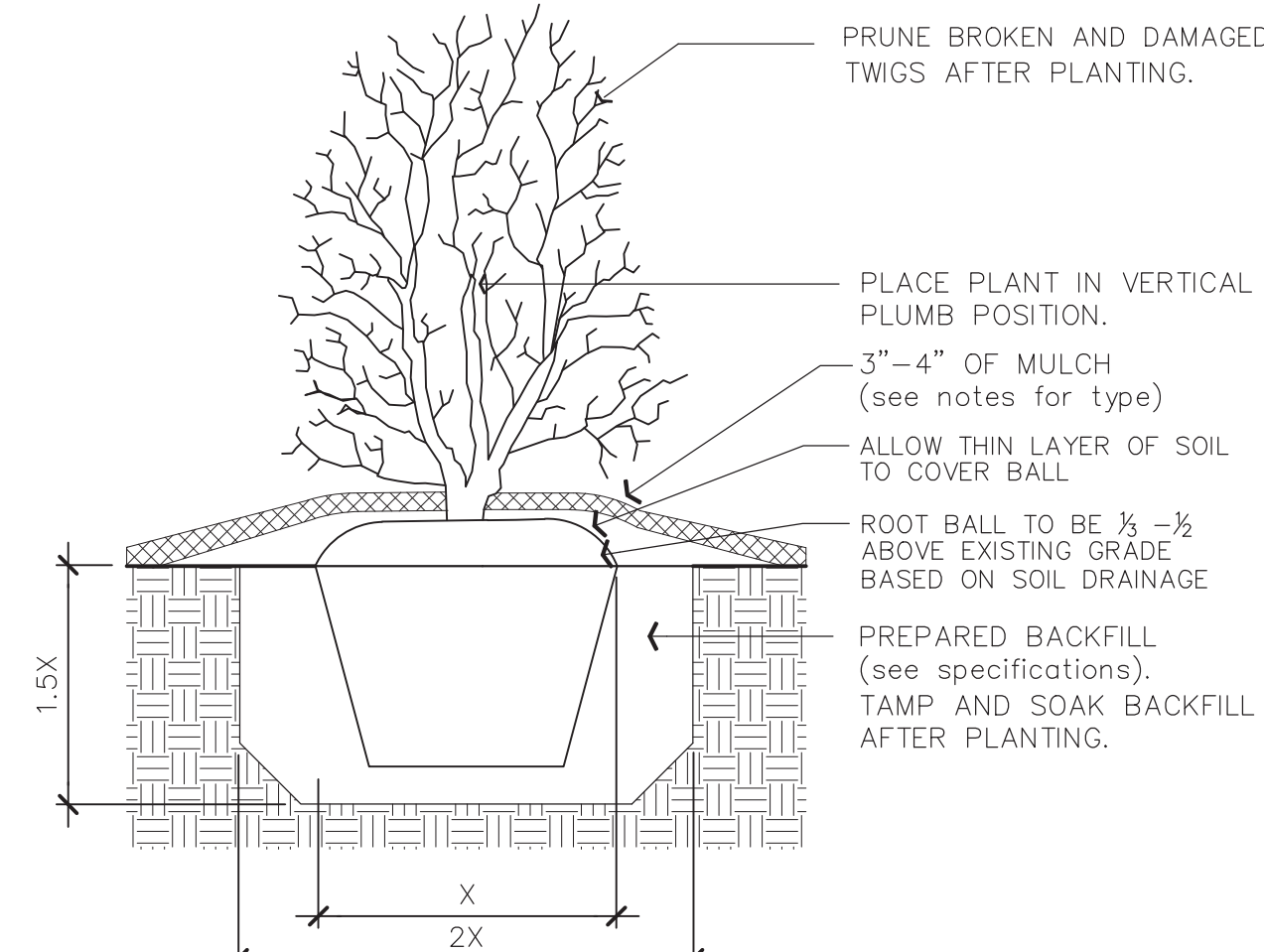
3440 Federal Drive, Suite 110
Eagan, MN 55122
Telephone: 651-452-5051
www.rehder.com

1. PRIOR TO BEGINNING ANY WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT THE OFFICE OF THE OWNER AND THE ARCH./LANDSCAPE ARCH. FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF THE WORK.
2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT LANDSCAPE ARCH. OR OWNER'S REPRESENTATIVE'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. LANDSCAPE ARCH. RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
4. ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
5. UTILITIES HAVE BEEN SHOWN ON THE PLAN FOR ROUGH LOCATION OF SERVICES. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING KANSAS ONE-CALL CENTER. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO UTILITIES.
6. SOD/SEED TYPE (PER OWNER) SHALL BE LOCALLY AVAILABLE KENTUCKY BLUEGRASS OR OTHER TURF GRASS RECOMMENDED FOR THE SPECIFIC AREA.
7. RE-ESTABLISH TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING IN THE R.O.W., TO MATCH EXISTING.
8. RE-ESTABLISH TURF IN ALL AREAS DISTURBED BY THE CONSTRUCTION PROCESS AND WITHIN THE LIMITS OF DISTURBANCE BY SEED, SOD OR PLANNED PLANTING AREAS, AS NOTED ON PLAN.
9. BACKFILL FOR PLANT EXCAVATIONS TO BE CLEAN NATURAL SOIL, EXCAVATED FROM PLANTING PITS MIXED WITH COMPOST AND WELL-ROTTED MANURE AT A RATIO OF THREE (3) PARTS SOIL TO ONE (1) PART COMPOST AND WELL-ROTTED MANURE.
10. FERTILIZE ALL PLANTS WITH 6-10-4 COMMERCIAL FERTILIZER AS DIRECTED BY INSTRUCTIONS ON FERTILIZER.
11. ALL PLANT MATERIALS SHALL HAVE BACKFILL CAREFULLY PLACED AROUND BASE AND SIDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL, THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS AND LOOSE BURLAP AROUND BASE OF TRUNK SHALL BE REMOVED AT THIS TIME. REMAINDER OF PIT SHALL THEN BE BACKFILLED, ALLOWING FOR DEPTH OF MULCH, SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.
12. ALL PLANT MATERIALS SHALL BE PROTECTED FROM THE DRYING ACTION OF THE SUN AND WIND AFTER BEING DUG, WHILE BEING TRANSPORTED, AND WHILE AWAITING PLANTING. BALLS OF PLANTS WHICH CANNOT BE ACTIONED IMMEDIATELY SHALL BE PROTECTED FROM DRYING ACTION BY COVERING THEM WITH MOIST MULCH. PERIODICALLY, APPLY WATER TO MULCH-COVERED BALLS TO KEEP MOIST. IF PLANTING SHOULD OCCUR DURING GROWING SEASON, APPLY ANTI-DESSICANT TO LEAVES BEFORE TRANSPORT TO REDUCE LIKELIHOOD OF WINDBURN. REAPPLY ANTI-DESSICANT AFTER PLANTING TO REDUCE TRANSPIRATION.
13. ALL LANDSCAPE EDGING IS TO BE A 4" X 3/8" PAINTED STEEL EDGING. PLACE EDGING FLUSH WITH GRADE, INSTALL AS PER MANUFACTURER'S RECOMMENDATIONS. TOP OF EDGER TO ALIGN WITH SIDEWALK/CURB WHERE OCCURS. GRADE TO BE 1" BELOW TOP OF EDGER ON LAWN SIDE. REFER TO EDGER DETAIL.
14. INSTALL SMALL RIVER ROCK IN ALL PLANTING BEDS, WITH A GEOTEXTILE FABRIC UNDERNEATH. SAMPLE OF SMALL RIVER ROCK SHALL BE PROVIDED PRIOR TO INSTALLATION. SIZE OF SMALL RIVER ROCK TO BE 3" TO 4".
15. PLANTING BEDS RECEIVING RIVER ROCK MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE.
16. PLACE 4" OF MULCH IN ALL TREES PLANTED IN TURF AREAS. AREAS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS.
17. THE CONTRACTOR SHALL PROVIDE ALL WATER, WATERING DEVICES AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL ACCEPTANCE OF THE PROJECT'S PLANT MATERIALS. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANT'S HEALTHY CONDITION.
18. LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES ONE YEAR AFTER PROVISIONAL/FINAL ACCEPTANCE.
19. REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
20. TURF AND PLANTING BEDS ARE TO BE IRRIGATED BY AN AUTOMATIC SPRINKLER SYSTEM.

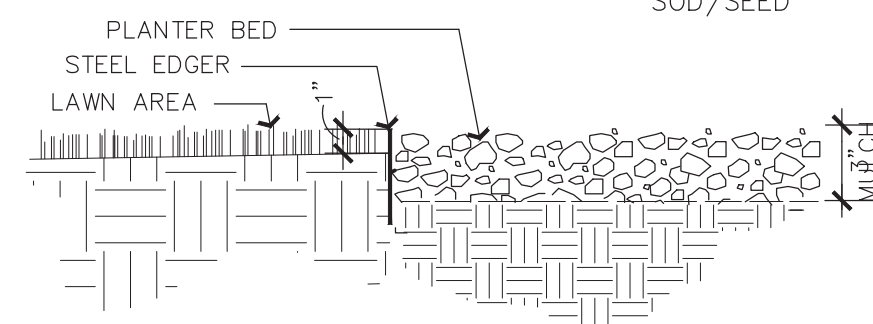
LANDSCAPE REQUIREMENTS:
Parking Lot Screening:
A planting screen consisting of a row of alternating evergreen shrubs and deciduous trees shall be planted. The trees shall be a minimum two (2) inches in diameter and shall be spaced not more than fifteen (15) feet apart. The shrubs shall be a minimum of two (2) feet in height at the time of planting, with a mature height of four (4) to six (6) feet, and shall be spaced between the trees in such proximity as will form a screen.



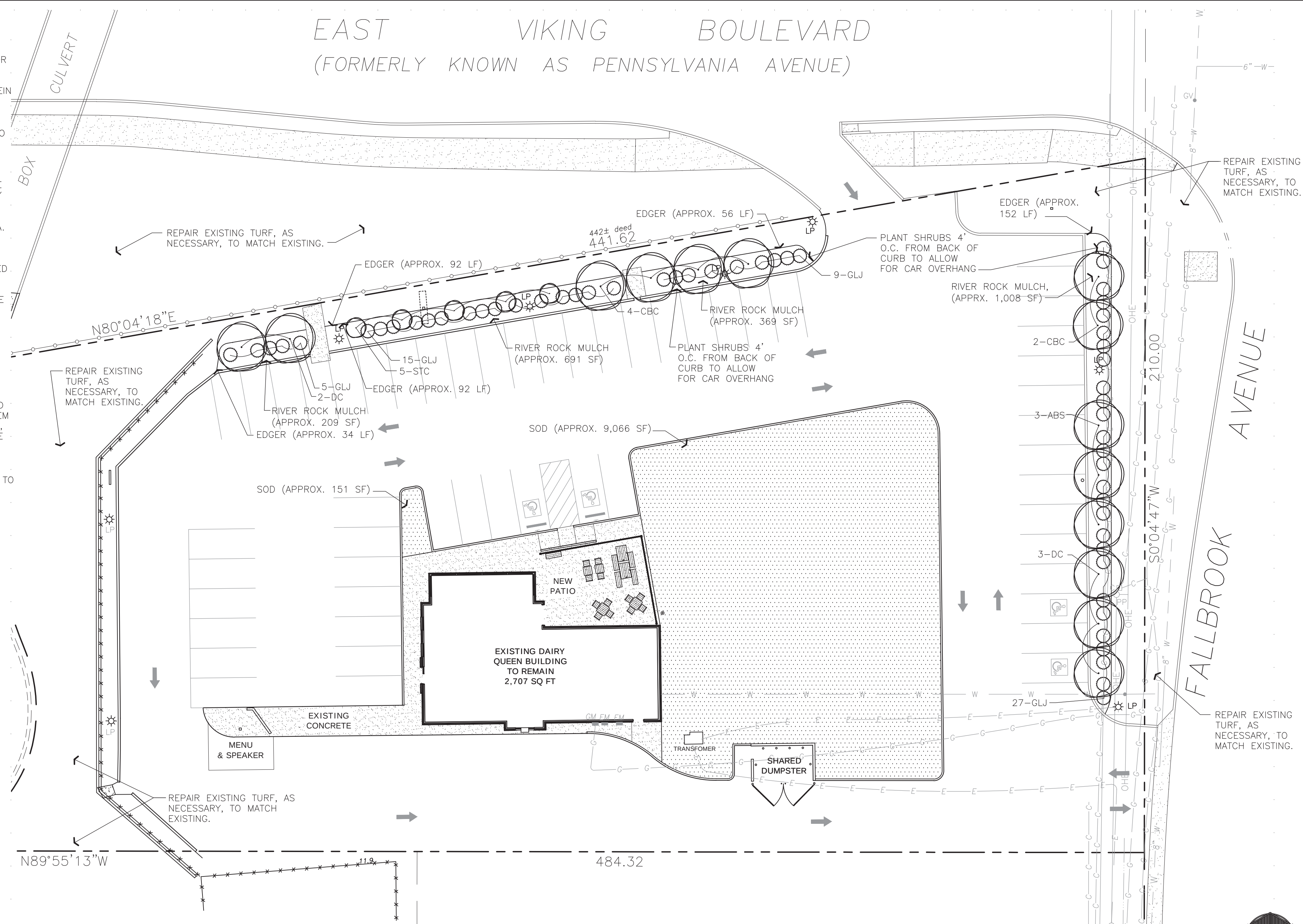
1 TREE PLANTING DETAIL
IN TURF AREAS NO SCALE



2 SHRUB PLANTING DETAIL



3 EDGER DETAIL



SITE PLANTING PLAN

1" = 20'-0"

0 20'

TAG	QTY.	COMMON NAME	BOTANICAL NAME	SIZE/REMARKS	REMARKS
		LARGE TREES			
		ORNAMENTAL TREES			
ABS	3	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X.GRANDIFLORA 'AUTUMN BRILLIANCE'	2" CAL.	
CBC	6	CORAL BURST CRABAPPLE	MALUS 'CORALBURST'	2" CAL.	OR SIMILAR GROWTH HABIT
DC	5	DAVID CRABAPPLE	MALUS 'DAVID'	2" CAL.	OR SIMILAR GROWTH HABIT
STC	5	SARGENT TINA CRABAPPLE	MALUS 'SARGENT TINA'	2" CAL.	OR SIMILAR GROWTH HABIT
		DECIDUOUS SHRUBS			
		EVERGREEN SHRUBS			
GLJ	56	GOLD LACE JUNIPER	JUNIPERUS CHINENSIS 'GOLD LACE'	24" MIN. HT.	

PAVEMENT	
SOD/SEED	

UTILITIES SHOWN REPRESENT THE BEST INFORMATION AVAILABLE FOR DESIGN. ADDITIONAL UTILITIES MAY BE PRESENT ON THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION, DEPTH AND SIZE OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE LIABLE FOR ANY DAMAGE CAUSED BY THE FAILURE TO DO SO.

[illegible]

DAIRY QUEEN
GRILL & CHILL
5111 E. Viking Boulevard
Wyoming, MN

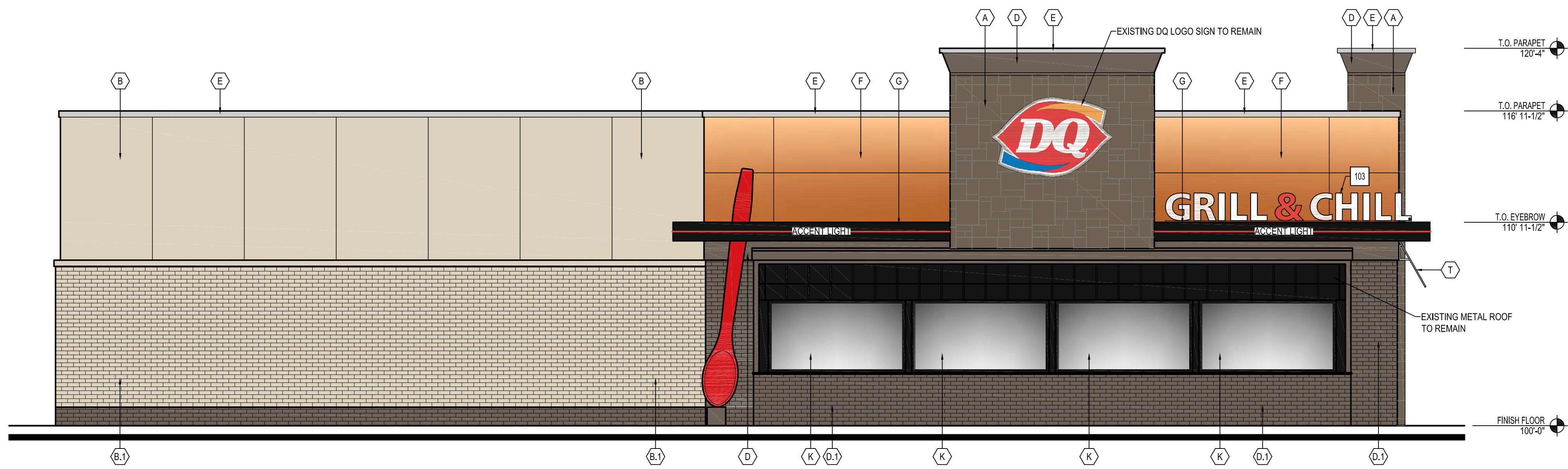
TERI FARHA, PLA
LANDSCAPE ARCHITECT

terifarha@cox.net
Wichita, KS 67218

PLANTING PLAN

DATE
November 3, 2024

LS1



EXTERIOR ELEVATION KEYNOTES:

- A** EXISTING STONE
EXISTING CULTURED STONE VENEER TO REMAIN
- B** FIBER CEMENT PANEL; (LIGHT)
COLOR: MATCHES BENJAMIN MOORE, TEMPORAL SPIRIT 965
- B.1** PAINTED BRICK (LIGHT)
MFG: BENJAMIN MOORE
COLOR: TEMPORAL SPIRIT 965
PRODUCT: AURA EXTERIOR PAINT, EGG SHELL LOW LUSTRE #634
PRIMER: FIRST COAT - AURA EXTERIOR PAINT
- C.1** PAINTED BRICK (RED)
MFG: BENJAMIN MOORE
COLOR: CALIENTE AF-290
PRODUCT: AURA EXTERIOR PAINT, EGG SHELL LOW LUSTRE #634
PRIMER: FIRST COAT - AURA EXTERIOR PAINT
- D** EIFS; (DARK)
MFG: STO CORPORATION
COLOR: N419-0023 (MATCHES BENJAMIN MOORE, DEEP CREEK 1477)
FINISH: 1300 STOLT 1.0D (FINE SAND)
NOTE: PROVIDE HIGH IMPACT EIFS FROM GRADE TO 3'-0\"/>

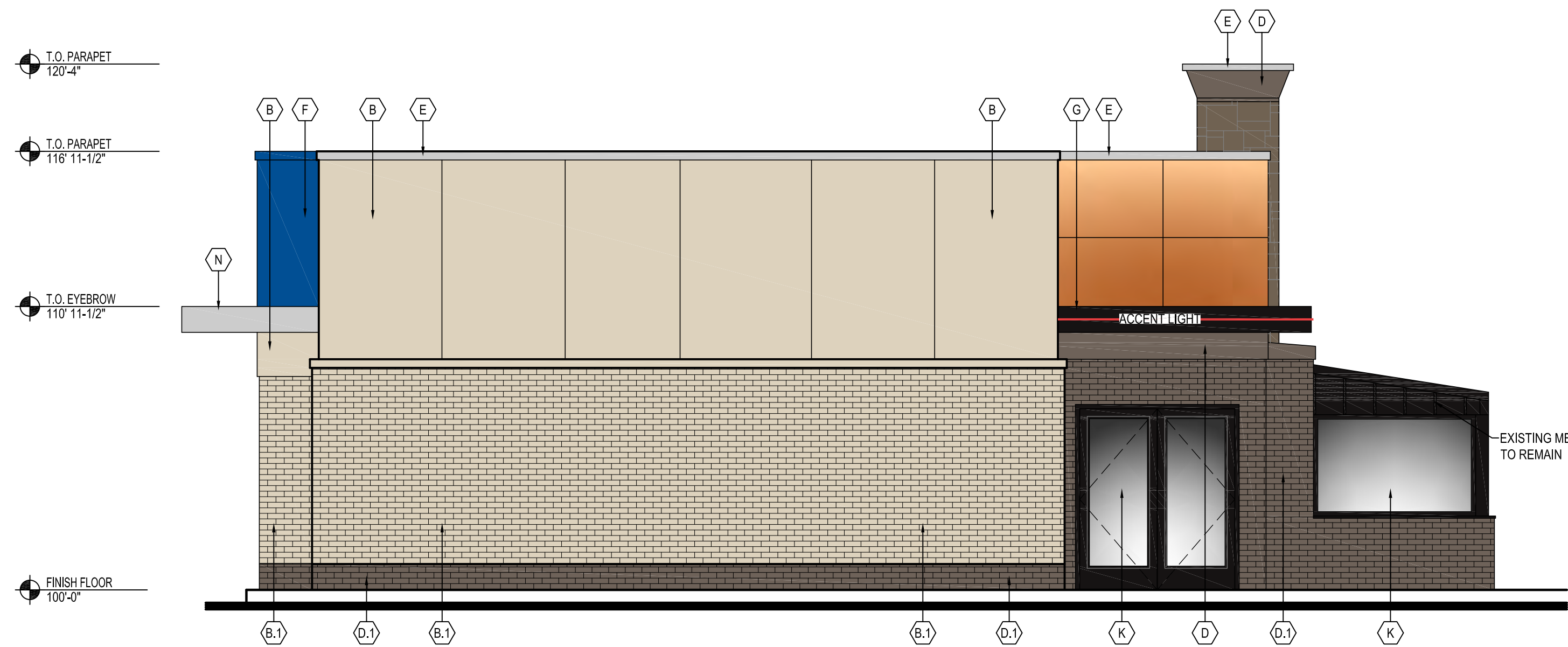
1 FRONT ELEVATION

A3.1 SCALE: 1/4\"/>



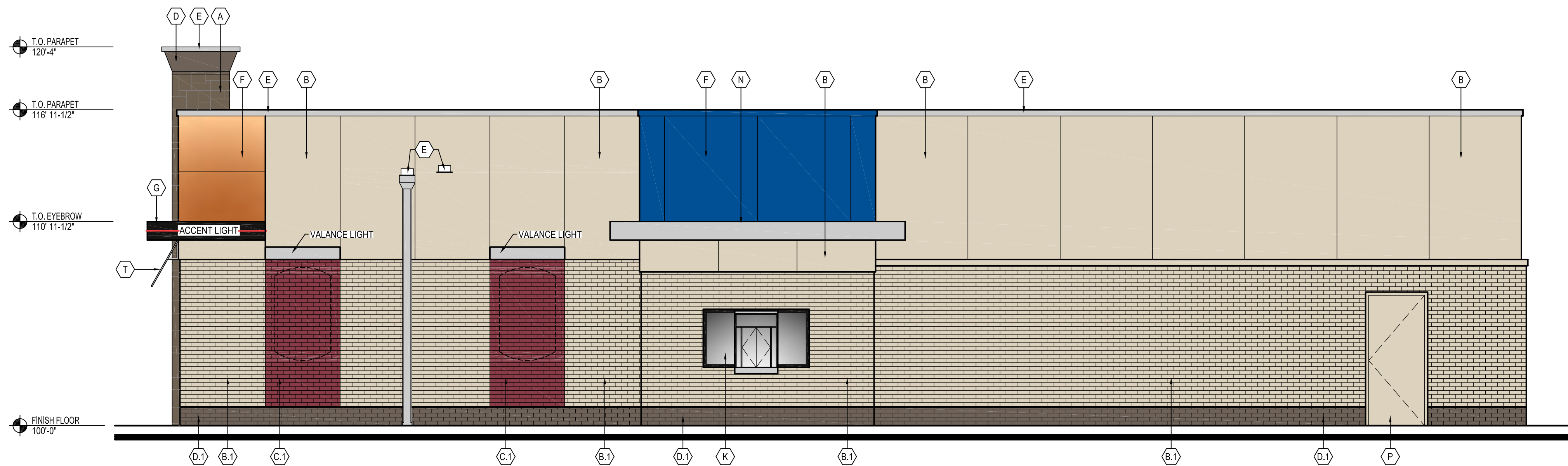
2 RIGHT ELEVATION

A3.1 SCALE: 1/4\"/>



3 LEFT ELEVATION

A3.1 SCALE: 1/4\"/>



4 REAR ELEVATION

A3.1 SCALE: 1/4\"/>

BUILDING RENOVATION FOR:



AMERICAN DAIRY QUEEN
MINNEAPOLIS, MN U.S.A.
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NUMBER 53328

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ISSUE DATE: 11/04/24

REVISION DATE: 11/04/24 ORIGINAL ISSUE

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EXTERIOR ELEVATIONS

SHEET NUMBER:

A3.1