

**AGENDA
PLANNING COMMISSION
CITY OF WYOMING, MINNESOTA
DECEMBER 12, 2023
7:00 PM**

CALL TO ORDER:

CALL OF ROLL:

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM:

An opportunity for members of the public to address the Planning Commission on items not on the current Agenda. Items requiring Planning Commission action may be deferred to staff for research and future Planning Commission Agendas if appropriate. You will be limited to two (2) minutes and we ask that you conduct yourself in a professional, courteous manner, and refrain from the use of profanity. Failure to abide by this policy may result in the loss of your privilege to speak.

APPROVAL OF MINUTES:

- 1. Consider approving the minutes of the “Regular Meeting” of the Wyoming, Minnesota Planning Commission for November 14, 2023.**

SCHEDULED PUBLIC HEARINGS:

NEW BUSINESS:

OLD BUSINESS:

- 2. Conditional Use Permit C-23-002 & Site Plan Review: Sp-23-003**
Location: 26443 Fallbrook Avenue
Applicant: All Safe Global
Owner: Morgan Industries, Inc.
Property ID Numbers: 21.00054.00 & 21.00231.00

COMMUNICATIONS:

UPDATES:

The Architectural Standards ordinance was adopted by the City Council. The All Safe Global CUP & Site Plan Review applications were tabled and sent back to the Planning Commission for review of the changes to the plan and Staff's recommended conditions.

ADJOURN

UPCOMING:

December 26th - No Meeting. January 12th - Commission reorganization and Katie's Glen Final Plat.

**UNAPPROVED MINUTES
PLANNING COMMISSION
CITY OF WYOMING, MINNESOTA
NOVEMBER 14, 2023
7:00PM**

CALL TO ORDER:

Planning Commission Chairman Lobermeier called the Regular Meeting of the Wyoming Planning Commission for November 14, 2023 to order at 7:00 PM

CALL OF ROLL:

On a Call of the Roll the following members of the Wyoming Planning Commission were present: Mark Lobermeier, Michael Naumann, Katie West, and Dan Iverson

ABSENT: Mark Holl

Also Present: Fred Weck Zoning Administrator and Council Liaison Lisa Iverson

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM: NONE

APPROVAL OF MINUTES:

- 1. Consider approving the minutes of the “Regular Meeting” of the Wyoming, Minnesota Planning Commission for October 24, 2023**

Commissioner Iverson noted the need for a formatting change in various places throughout the minutes where a comma is needed to separate the names Holl and Iverson.

A MOTION WAS MADE BY COMMISSIONER IVERSON, SECONDED BY COMMISSIONER NAUMANN, TO APPROVE THE MINUTES OF THE “REGULAR MEETING” OF THE WYOMING, MINNESOTA PLANNING COMMISSION FOR OCTOBER 24, 2023, AS REVISED.

*Voting Aye: Naumann, West, Iverson, and Lobermeier
Voting Nay: None
Abstain: None
Absent: Holl*

SCHEDULED PUBLIC HEARINGS: NONE

- 2. O-23-005 Ordinance Amendment – Ordinance 2023-05, Architectural Standards**

Commissioner Iverson referenced the recent situation with Dairy Queen where there was essentially some ‘arm wrestling’ between them and the City. He asked if there was anything within the Architectural Standards that the City should have that may help them navigate those types of things in the future, for example, with a business that is a national chain that has specific branding.

Zoning Administrator Weck noted that there was not anything that specifically addressed it but it would most likely be handled just how they did with Dairy Queen where they presented their branding and allowed them the opportunity to explain it to the City. He noted that as he has traveled around and observed new Dairy Queens, he noticed that they are not all following the same plan and many appear to be following the architectural standards of the various local communities.

Commissioner Iverson asked if they could include something that acknowledges that the City 'may consider' a corporations branding and identity.

Chair Lobermeier asked if Commissioner Iverson was more in favor of what happened with Dairy Queen or was looking to find a way to avoid it.

Commissioner Iverson stated that he was okay with it because he understands that they cannot have architectural standards that address every situation, but at the same time, wanted to recognize that if there is a national chain that has a brand standard that they want to uphold them, then he does not think the City should get in the way of that kind of thing. He stated that he would like the City to have standards, but also have a way to provide some flexibility when there is branding involved.

Chair Lobermeier stated that he didn't think the City would want to oppose branding that is important, but they also should not just give up on whatever the architectural standards are. He stated that he felt what was being presented tonight allows them some leeway and also allows the applicant to approach the City.

Commissioner Iverson asked if this ordinance amendment was changed in order to allow for that leeway.

Zoning Administrator Weck stated that ordinances from other cities went the route of saying 'this is how we want the downtown area to look' and specifically spelled it out. He explained that the City only asks that they provide the materials in a certain percentage. He stated that he believed there was more flexibility within this amended ordinance, but clarified that it did not address branding.

Chair Lobermeier noted that he thinks it should begin with a discussion and he wanted to see that there was some type of dialogue that happens up front.

MOTION BY COMMISSIONER WEST, SECONDED BY COMMISSIONER NAUMANN, TO OPEN THE PUBLIC HEARING.

Voting Aye: Naumann, West, Iverson, and Lobermeier
Voting Nay: None
Abstain: None
Absent: Holl

MOTION BY COMMISSIONER WEST, SECONDED BY COMMISSIONER IVERSON, TO CLOSE THE PUBLIC HEARING.

Voting Aye: Naumann, West, Iverson, and Lobermeier
Voting Nay: None
Abstain: None
Absent: Holl

MOTION BY COMMISSIONER IVERSON, SECONDED BY COMMISSIONER WEST, TO RECOMMEND APPROVAL TO THE CITY COUNCIL OF O-23-005, ORDINANCE

AMENDMENT – ORDINANCE 2023-05, ARCHITECTURAL STANDARDS.

Voting Aye: Naumann, West, Iverson, and Lobermeier
Voting Nay: None
Abstain: None
Absent: Holl

NEW BUSINESS: NONE

OLD BUSINESS: NONE

COMMUNICATIONS: NONE

UPDATES:

Zoning Administrator Weck noted that the EDA has put together a rough draft of their downtown plan and would like to hold a joint session with the Planning Commission. He stated that the rough draft of the EDA plan is available in the most recent packet for the EDA meeting on the City's website, under the 'Agendas and Minutes' tab.

A MOTION WAS MADE BY COMMISSIONER WEST, SECONDED BY COMMISSIONER NAUMANN, TO ADJOURN THE NOVEMBER 14, 2023 "REGULAR MEETING" OF THE WYOMING, MINNESOTA PLANNING COMMISSION AT 7:14 PM.

Voting Aye: Naumann, West, Iverson, and Lobermeier
Voting Nay: None
Abstain: None
Absent: Holl

**CITY OF WYOMING
PLANNING AND ZONING**

TO:	Planning Commission
MEETING DATE:	12/12/2023
FROM:	Kim Lindquist, City Planner Fred Weck, Zoning Administrator
RE:	Conditional Use Permit for exterior storage expansion in Industrial District and Site Plan Review
APPLICANT:	All Safe Global
PROPERTY OWNER:	Morgan Industries, Inc.
PROPERTY:	26443 Fallbrook Ave // 21.00054.00 & 21.00231.00
FILE NO.:	SP-23-002 & C-23-003

OVERVIEW

The applicant is All Safe Global, a company that provides compressed gas cylinder distribution and service. The applicant is proposing an expansion of their existing outdoor storage yard, which includes the relocation of an existing fence, installation of additional fencing, site grading, placement of surface gravel, construction of an infiltration basin and new landscaping on the site. All Safe Global has been operating under an existing Conditional Use Permit since 2006 and the proposed expansion requires an amendment to that Conditional Use Permit and approval of a new Site Plan.

The site covered by the application currently consists of a main building and parking area with additional building and storage on the property immediately to the north. There is a small portion of exterior storage on another parcel immediately east of the north site also. The proposed expansion area includes the subject property and another lot immediately to the east, owned by the property owner but vacant. In total the two lots hosting the business are approximately 4.2 acres and the property to the east is approximately .8 acres with the property to the northeast .1 acres. The project area contains a delineated wetland in the southwest portion of the property. The project area is surrounded by properties that are zoned I-Industrial and C-Commercial. The use on site is industrial and zoned accordingly; however, the Comprehensive Plan guides this area as Commercial. The current use would not be permitted in the commercial zoning district.

The applicant is proposing to expand their outdoor storage yard into the undeveloped south and eastern portion of the parcels. The proposal would not modify the existing use of the property.

The ordinance requires thirteen (13) conditions be met for granting of a conditional use permit in the Industrial district. There are several issues raised by the expansion of the outside storage; the revised plan before the Council have addressed several previously noted at the Planning Commission meeting. The items are enumerated in the information below and conditions of approval work to improve upon the existing condition and bring the sites activity closer into

compliance with zoning standards. The recommended conditions below reflect the direction from the Planning Commission and staff review of the recently submitted, November 20th, plans.

CITY COUNCIL DISCUSSION 12/5/2023

At the Council meeting the Council reviewed the proposal with the revised plans. Based upon the applicants email, there were several items they did not support in the conditions of approval. The applicant requested an 8' fence rather than the 6' proposed by staff, they wanted to pave the entire area in the southwest, adjacent to Fallbrook for truck maneuvering and storage of a semi-trailer and didn't want to curb the southwest area. At the meeting, both staff and the applicant explained their reasons for the requests. The Council asked that the Planning Commission review the application and make a recommendation, in terms of these outstanding issues, resulting in this item on the December Commission agenda.

As noted below, the primary reasons for support of a lower fence height was to reduce the amount of storage on site. Staff was concerned that maintaining the higher fence would further encourage storage without removal, which has been one of the on-going issues at the property. After the Council meeting, staff spoke with the applicant and indicated a good faith effort to remove material from the site was desired. The applicant has conducted a quick inventory of the material on site and indicated the exterior storage area is about 80% filled and proposes to remove another 20% to reduce the total exterior storage to 60% of the outdoor space and not have material stacked above the existing 8' fence. City staff will inspect the site when contacted by the applicant to assess the final outcome of the removal. The permit for exterior storage expansion will not be issued until the removal has occurred.

Regarding the paving of the southwest parking area (the area currently graveled west of the wetland) the condition has been changed to permit the area to be paved with curbing that permits some spillways for drainage to the wetland. The applicant has agreed to not store any items or semitrailers at the site in that location. Therefore, the paved area will be used for truck maneuvering and short-term truck staging but there will not be in continuous use for truck storage. It is in this area that there will be three trees transplanted from elsewhere on the site. It is also recommended that some shrubbery be added, to supplement the trees, to assist in screening views from Fallbrook. There is not time to modify the landscape plan for the Commission meeting but the condition to add shrubbery is a condition of approval.

A final item is the number of bump-outs on the fence along Hwy 61. The condition of approval recommended additional bump-outs but didn't state the amount requested. Staff is recommending a minimum of six which will approximately one every thirty feet.

PLANNING COMMISSION DISCUSSION 10/10/2023

The information below is for the Commission's understanding of the discussion points at the City Council and to highlight areas changed on the plans. Since the Council meeting some of the conditions have again been modified and are reflected in the recommended conditions of approval and noted above.

The Planning Commission reviewed this item at their meeting in October. During the meeting there was discussion about the site plan, the amount of storage of materials, and operational issues,

and what will change due to the expansion. The applicant indicated that they have been storing too much and they are starting to get rid of inventory. This expansion also allows them to provide better access to inventory by creating truck circulation areas and reducing the overall height of the stored inventory.

The Commission discussed the on-site views to the site, given the location of the property along the Downtown Corridor and immediately adjacent to the public trail. There was discussion about modifying the fence so that it provides some visual relief, similar to the requirements for uninterrupted building facades. The Commission recommended adding some “bump-outs” to allow more vegetation on the outside of the fence area to mitigate the long fence line. At the time of the Commission meeting, it was also believed that the vegetation proposed by the applicant, along Hwy 61, was located within the right of way and would need to be relocated onto the site. Since that time the applicant has clarified that some of what appears to be right of way, east of the building, is not controlled by an easement and can contain some landscaping. However, the plantings located on the south side of the site did need to be relocated on the site plan to be located within the property. The Commission also discussed increasing fence height to 8’ to screen more inventory although there was also an acknowledgement that the Commission would like the business owner to control their inventory better and reduce on-site storage.

The Commission recommended approval of the applications with three changes;

Amending recommended condition #5 The applicant shall install screening up to 8’ in height and *that the fencing include bump-ins and bump-outs for plantings* and the fence is appropriately designed and treated to complement the existing building and surrounding parcels and the fencing is consistently maintained.

#15 Applicant shall stay in compliance with all applicable regulations and requirement of the Minnesota State Fire Marshal for safe operation of the facility.

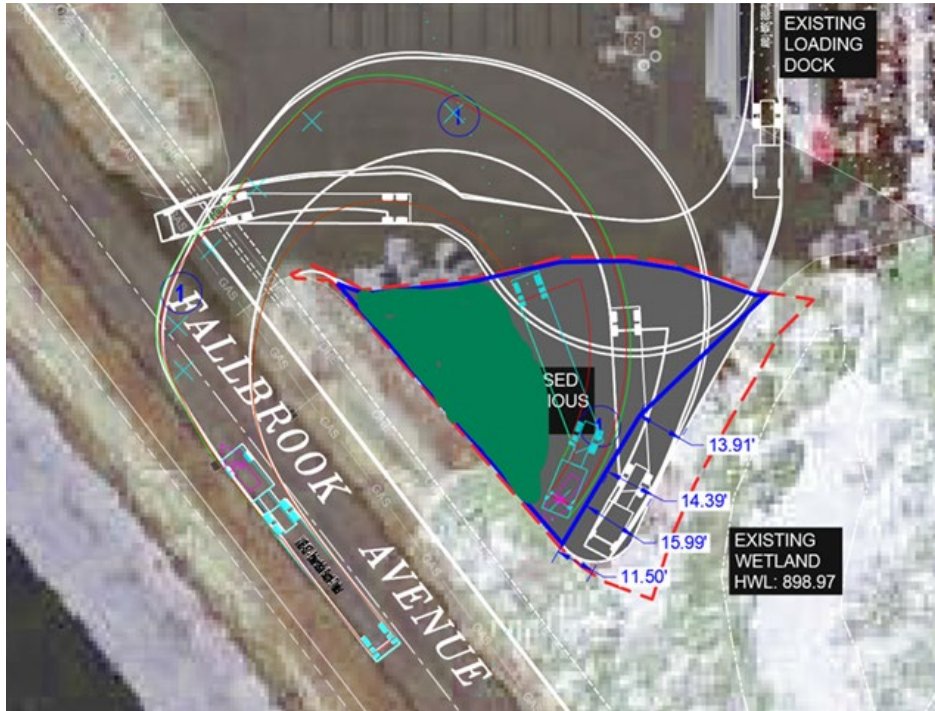
#16 All conditions of the original CUP shall continue to apply to the current proposal.

Since the Planning Commission meeting staff has met with the applicant and there have been additional discussions about the site plan, areas of pavement, and landscaping. The following lists items that have been modified since the Commission meeting.

Site Plan Paving: the applicant asked staff to allow some paving in the area west of the existing wetland, in the area which is currently dirt and used for maneuvering and storage. They indicated that, contrary to condition #12, some of the area is needed for maneuvering trucks to successfully access the loading dock area. Unfortunately, upon receipt of the new site plan, the entire area currently unpaved is proposed for paving to permit maneuvering. Additionally, the applicant had indicated that at times that space has been used for overflow parking due to some larger shifts working intermittently. It was suggested to add more parking, which is reflected in the five additional stalls located on the west side of the building.

Staff has reviewed the proposed truck maneuvering area and found that much of the area is needed for trucks to reasonably access the loading dock. Unfortunately, most of the area needed is close

to the existing wetland. The applicant has indicated they will provide a 10' vegetative buffer between the pavement and wetland. The paved area should have curb and gutter. While some of the area needs to be paved not all of the space is required for truck maneuvering. To reduce the ability to use the space along Fallbrook for storage, staff is recommending that the hard surfacing area be reduced and revegetated to be part of the front yard, maintained area. Below is the graphic that also depicts truck maneuvering and reinforces that the entire area does not require paving. The area shown in green would not be necessary for trucks. While the increased landscape area does not need to mirror the drawing below, some of the area along Fallbrook should be returned to landscape so no storage ends up occurring



The landscape plan indicates that three maples trees, with a fourth on the other side of the Fallbrook entrance will be relocated from elsewhere on the site. The final amount of paving should be reviewed by staff prior to installation. Condition #12 has been modified to reflect this change.

There has been some changes to the fence proposal which has increased to 8' in recognition of the discussion by the Planning Commission. Based upon the landscape plan there appears to be three bump-outs 6' across (the fence façade) and 3' deep. In staff's opinion this is not what the Commission had in mind when providing direction about providing visual relief along the approximate 185 feet fence adjacent to Hwy 61. The applicant should revise the fence plan to increase the undulation element and the recommendation is for a total of at least six.

The height of the fence has been a point of conversation throughout the review of this project. The Commission had recommended 8' and the staff had countered at the City Council meeting with a 6' recommendation. This was to reduce reliance on fence screening versus removal of inventory. Since that time the applicant continues to request the 8' fence and notes that is the current condition. The condition to remove more inventory from the site and therefore allowing the 8' fence is the compromise struck with the applicant and staff. The conditions reflect this change.

The landscape plan has been revised to shift landscaping wholly within the property and add additional plantings as a wetland buffer on the west. Plantings along the east side of the wetland should also be added. There is landscape material illustrated on the plans but are not listed in the Plant Schedule. Staff has also requested shrubbery be added along Fallbrook, adjacent to the new paved area for truck maneuvering. Final approval of the landscape plan is required which will also require replacement of the four transplanted Maples if they do not survive the relocation.

Of final note, the applicant has revised the grading and stormwater calculations and taking an additional 5,000 square feet of parking lot into the infiltration basin. Given existing grades, additional run-off to the basin would require more site grading than proposed. The plan does improve upon the existing condition which was one of the goals when reviewing the new proposal.

RECOMMENDATION

The requirements of Chapter 40, Article V, Division 6, “Conditional Use Permits”, Section 40-112 as contained in the city of Wyoming Ordinance have been complied with. Staff is recommending approval of a Conditional Use Permit for an expansion of an exterior storage area, and its use on the subject property to be used for a manufacturing and recycling business in the I-Industrial zoning district based upon the findings of fact and subject to the following conditions.

1. The applicant obtain all applicable permits for grading, gravel placement, fence installation, and construction of the infiltration basin prior to commencement of construction.
2. The applicant shall enter into a Development Agreement with the City of Wyoming that recognizes that the four development parcels function like one parcel for purposes of zoning and performance standards and land use. This also means that the properties cannot be sold independently unless the owner brings each individual parcel into compliance prior to sale.
3. The applicant must install erosion control prior to any construction and provide a wetland protection and management plan as part of the final plan.
4. The applicant shall remove 20% of all exterior storage materials and not have any material stacked above the existing fence line, for staff review and approval, prior to issuance of any permits to allow the approved exterior storage expansion.
5. The applicant must meet the Wetland Protection Act standards.
6. The applicant shall install screening up to 8’ in height that contains at a minimum six (6) bump-outs and bump-ins for plantings and to provide visual relief. The fence shall be appropriately designed and treated to complement the existing building and surrounding parcels and the fencing shall be consistently maintained.

7. No storage of materials or equipment may exceed the 8' fencing height so that no material can be viewed from any public view or from the adjoining properties. This requirement is for the entire site which includes all four parcels covered by the Development Agreement.
8. The applicant shall modify the plans to address all of the engineer's redline comments prior to issuance of a grading permit as needed.
9. Any future expansion beyond the proposed gravel area is subject to a site plan review.
10. The applicant shall provide a fire sprinkler evaluation for building #3 for review and approval and address any additional Fire Marshal concerns prior to issuance of a grading permit for the outdoor expansion.
11. The applicant shall revised the landscape plan to include grasses or other natural vegetation around the existing wetland to provide natural filtration for stormwater prior to collection within the wetland. The landscape mix shall be approved by the City prior to issuance of a grading permit. Additional shrubs shall be installed along Fallbrook in the area of the new southwest paved area. All proposed plantings shall be included in the plant schedule. The applicant is responsible for the replacement of any tress transplanted and must replace the plantings if they do not survive.
12. A portion of the area south of the parking lot, immediately adjacent to Fallbrook Avenue, shall be paved with curb and gutter and appropriate spillways to provide property drainage to the east as approved by City staff. This area shall be used for truck maneuvering and short-term staging only and no storage or parking of materials, semitrailers or other vehicles is permitted. Any storage is considered a violation of the conditional use permit and can lead to enforcement actions by the city up to and including conditional use permit revocation.
13. The approval includes the potential future gravel area expansion noted on the plans submitted with the cover letter dated September 18, 2023.
14. A drainage and utility easement shall be granted for the infiltration pond and on-site wetland.
15. The Applicant shall stay in compliance with all applicable regulations and requirement of the Minnesota State Fire Marshal for safe operation of the facility.
16. All conditions of the original CUP shall continue to apply to the current proposal.

STAFF REVIEW

General Comprehensive Plan and Zoning Review

The subject property is zoned I-Industrial and is guided as Commercial in the City of Wyoming's Comprehensive Plan. The Industrial district allows light manufacturing as a permitted use well as heavy manufacturing and recycling as a conditional use. The applicant proposes the continuation

of its current manufacturing and processing use which is consistent with the conditional uses described in Section 40-282.

The zoning and surrounding guided uses are as follows:

North – I-Industrial; Commercial

South – I-Industrial and C-Commercial; Commercial and Industrial and General Business

East – C-Commercial; Commercial

West – I-Industrial; Commercial

Existing Site

The majority of the business operation is located on the 21.00054.00 parcel with future expansion to the south on the existing parcel and to the east on a separate lot of record (21.00231.00). The property to the north (21.00050.00) is also part of the business operation and the two parcels function as one from the standpoint of internal circulation and access and there are no setbacks between different site development. Because there are no proposed changes to the development pattern on the northern parcel, this report will discuss the proposed modifications to the south and eastern properties.

The southern half of the south parcel and the eastern property are vacant and available for development. There is a wetland in the south-central portion of the lot, which is protected. There is currently one building dedicated to business operations of approximately 18,000 square feet and a paved parking area as well as the existing graveled outdoor storage area.

The business has received a complaint that resulted in an inspection by the Minnesota State Fire Marshal for the purpose of life and safety and several code violations were found. In a report dated 04/06/2023, all but four of the violations had been repaired, with it being noted that there were delays tied to local permits and weather conditions. Most recently the State Fire Marshal indicated that there is additional information requested relating to fire suppression systems in one of the buildings and some racking modifications and also changes that should be addressed as par to the yard expansion. Addressing the concerns is a condition of approval.

Exterior Storage

The applicant is proposing to increase the exterior storage on site by adding gravel now and in the future for a total of .52 acres. The expansion will be along the east and south sides of the existing outside storage areas, and the existing fencing will be removed and replaced at the perimeter of the new graveled areas.

The city ordinance requires screening of exterior storage by either a screening fence, planting screen or berm. The applicant is proposing to install a fence, generally consistent with the fencing already provided on the site. The fence shall be at least 6' in height and have an 80% opacity. The material shall be compatible with the principal structure and surrounding properties. The screen fence shall be painted or stained and must be kept in good repair and maintained. The current fence height appears to meet required standards but there may be some deferred maintenance in areas not affected by the expansion. All of the fencing must be in good condition as a part of this approval. Additionally, the intention of the fence it to screen items from adjoining properties and certainly from public views. Currently, there are materials that are stacked over the fence line,

making them visible to the public and surrounding properties. A recommended condition of approval requires that all materials stored within the exterior storage area must not be visible from all public views or adjoining properties, including the new expansion area as well as all existing outside storage areas. The intent of this approval is to provide enough storage space to allow the facility to operate efficiently but also improve upon the existing condition by improving the overall site, including on-site views. This condition includes the northern property also, as the expansion should serve to bring the entire site into compliance with screening standards.

Access

There are two access points from Fallbrook into the sites. One access is in the south, from 21.00054.00 and the other on the northern property, also accessing Fallbrook. No additional changes are proposed. Care should be taken within the outdoor storage areas so that internal circulation between the differing properties is passable without needing to go out to Fallbrook to access materials in the south or north. In other words, a defined accessway throughout the site should be maintained to permit internal circulation between all the sites that comprise the development.

Landscaping

The current site landscaping consists of trees spaced around the edge of the property, with a denser group of trees surrounding the delineated wetland. Staff had requested additional landscaping be added to the site to bring it more into compliance with the existing ordinance requirements.

The initial plans depicted some vegetation off site. This has been modified to bring all landscaping unto the property. The Plans have also been revised to increase plantings and provide some landscape buffering on the west side of the wetlands. It is recommended that additional buffer material be located on the east side of the wetland also. Additionally, the plant schedule does not provide information on all the plantings shown on the plan. The applicant is relocating 4 maple trees from elsewhere on the site. They should guarantee their survival and the trees would need to be replaced if they do not withstand the relocation.

In recognition of the existing wetland, staff is recommending installation of natural vegetation around the wetland. This change will act as a filter for some of the on-site drainage that is going directly into the wetland from the site. This would appear more as natural, 'no mow' area.

Utilities

The subject site has existing public utility services, public water and sanitary sewer services.

Parking

The site has an existing parking lot in the northwestern portion of the 21.00054.00 parcel containing approximately 22 parking stalls. According to the aerial of the site, there is also an informal parking area that has occurred on the south side of the parking lot, just west of the wetland. It appears that all vegetation is removed due to the parking and storage in that area. Revegetation should occur in that area to bring it back to open space and it should not be used for parking or storage of materials. The applicant has provided five new parking stalls west of the building.

Stormwater Ponding

The applicant has provided an infiltration basin that serves as dual function for water treatment and rate control. The basin will treat the storage areas added in this approval along with accepting drainage from the east and some of 264th Street. The remainder of the on-site drainage maintains the current runoff pattern, including directing much of the existing outside storage drainage and some of the building roof, directly into the on-site wetland. It would be preferable to have pre-treatment prior to directing flows into the wetland. This could be provided in a vegetated filter strip similar to what is proposed around the new infiltration basin. The applicant has modified the drainage plan to direct some additional run off to the infiltration based in as previously requested. The changes were provided in the November plans.

The applicant intends to provide a drainage and utility easement over the new ponding area. That easement should be expanded to include the on-site wetland.

Conditional Use Permit Standards

Chapter 40, Article V, Division 6, Conditional Use Permits, Section 40 – 112, sets forth the general standards that shall be met in order to grant a CUP. Granting of a Conditional Use Permit is required for approval of exterior storage that may be hazardous to the public in the Industrial zoning district. The standards are as follows:

1. The use is in conformity with the Comprehensive Plan and development policies of the City.
The proposed exterior storage expansion will not change the current use of the land; however, the Comprehensive Plan guides this area as Commercial. The City encourages expansion of existing businesses in compliance with ordinance standards.
2. The use will not create an excessive demand on existing parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the area.
The proposed exterior storage expansion will not have an impact on existing parks, schools, street and other public facilities and utilities which serve the area. This standard has been met.
3. The use will be sufficiently compatible or separated by distance or screening from adjacent development or land so that existing development will not be depreciated in value and there will be no deterrence to development of vacant land.
The proposed exterior storage expansion is not anticipated to impact adjoining development. The applicant has proposed, and the City requested, additional landscaping and storage requirements that will lessen the potential for impact to adjacent developments in the neighborhood.
4. The structure and site will have an appearance that will not have an adverse effect upon adjacent properties.
This standard will be met when meeting conditions of approval.
5. The use in the opinion of the City is reasonably related to the overall needs of the City and to the existing land use.
The proposed exterior storage expansion is consistent with the goals of maintaining the existing business community. This standard has been met.
6. The use will be consistent with the purpose of this and other City Ordinances.
This standard has been met with compliance of recommended conditions of approval.

7. The use will be located, designed, maintained, and operated to be compatible with the existing or intended character of the zoning district in which it is to be located.
The applicant must adhere to the ordinance standards and conditions of approval for the conditional use permit, which will mean the site is consistent with the existing and intended character of the Industrial zoning district. The approval with conditions will result in a site that is more in compliance with zoning ordinance standards than the existing condition.
8. The use will generate only minimal vehicular traffic on local streets and shall not create traffic hazards or unsafe access or parking needs.
The proposed exterior storage expansion is not anticipated to increase the number of visitors to the site. There is an existing parking lot on site that has suitably served the needs of the business in the past. This standard has been met.
9. Existing businesses nearby will not be adversely affected because of the curtailment of customer trade brought about by intrusion of noise, glare, or general unsightliness.
The proposed exterior storage expansion is not anticipated to impact the current site's functions including an increase in noise, glare, or negative general appearance. This standard has been met.
10. The establishment or maintenance of the use shall not be detrimental to the public, health, safety, or general welfare.
The proposed exterior storage expansion is for the purpose of storing potentially hazardous materials and is immediately adjoining an on-site wetland. The applicant must adhere to local, county, and state standards for potentially hazardous materials and wetland protection as well as conditions of approval for the conditional use permit, which will ensure that the property and surrounding land uses will not be negatively affected. This standard has been met.
11. The use will not be hazardous, detrimental, or disturbing to present and potential surrounding land use due to water pollution, odor, fumes, general unsightliness, or other nuisances.
The applicant must adhere to local, county, and state standards and conditions of approval for the conditional use permit, which will ensure that the property and surrounding land uses will not be negatively affected. This standard has been met.
12. The use will preserve and incorporate the site's important natural and scenic features into the development design.
The proposed exterior storage expansion is not anticipated to significantly change the site appearance. However, the applicant has proposed and through the conditions of approval, the site will improve on the existing conditions including preservation of the wetlands in increased landscaping. This standard has been met.
13. The use will cause minimal adverse environmental effects.
The proposed plan and conditions of approval minimize environmental concerns. This condition has been met.

Next Steps

The City Council will review the Planning Commission's Conditional Use review at the next regularly scheduled meeting.

**APPROVED MINUTES
PLANNING COMMISSION
CITY OF WYOMING, MINNESOTA
OCTOBER 10, 2023
7:00PM**

CALL TO ORDER:

Planning Commission Chairman Lobermeier called the Regular Meeting of the Wyoming Planning Commission for October 10, 2023 to order at 7:00 PM

CALL OF ROLL:

On a Call of the Roll the following members of the Wyoming Planning Commission were present: Mark Lobermeier, Michael Naumann, Katie West, and Dan Iverson

ABSENT: Commissioner Mark Holl

Also Present: Fred Weck Zoning Administrator, City Planner Kim Lindquist, and Council Liaison Lisa Iverson

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM: NONE

APPROVAL OF MINUTES:

- 1. Consider approving the minutes of the “Regular Meeting” of the Wyoming, Minnesota Planning Commission for September 12, 2023**

A MOTION WAS MADE BY COMMISSIONER IVERSON, SECONDED BY COMMISSIONER NAUMANN, TO APPROVE THE MINUTES OF THE “REGULAR MEETING” OF THE WYOMING, MINNESOTA PLANNING COMMISSION FOR SEPTEMBER 12, 2023 AS SUBMITTED.

*Voting Aye: Naumann, West, Iverson, and Lobermeier
Voting Nay: None
Abstain: None
Absent: Holl*

SCHEDULED PUBLIC HEARINGS:

NEW BUSINESS

- 2. Conditional Use Permit C-23-002 and Site Plan Review SP-23-003**
Location: 26443 Fallbrook Avenue
Applicant: All Safe Global
Owner: Morgan Industries, Inc.
Property ID Numbers: 21.00054.00 and 21.00231.00

City Planner Lindquist gave a presentation outlining the request for expansion of exterior storage at 26433 Fallbrook Avenue. She explained that there are really 4 parcels that function as one

property. She noted that they had included a condition of approval that the applicant enter into a Development Agreement with the City in order to recognize that the 4 parcels function as one and explained that this means that the properties cannot be sold independently without coming into compliance. She reviewed the site and noted that it is zoned for industrial and has a CUP for exterior storage, but the property is designated as commercial. She noted that one other condition is for fencing to ensure that there are no materials visible above the fence height. She reviewed details of the planned infiltration basin, the easement necessary around the wetland, landscaping, and open space on the property. She explained that staff is recommending approval subject to the conditions included in the staff report.

Zoning Administrator Weck noted that there may be an additional condition added related to requirements from the fire marshal due to some recent incidents in the area.

Commissioner Iverson asked about item #5 within the staff recommendation of fencing up to 6 feet high and noted that the fencing right now looks like it is closer to 8 feet in height.

Building Official Weck stated that he wasn't sure and noted that they could go up to 8 feet in industrial district.

Commissioner Iverson stated that he thought may also help with items being visible. He stated that the fencing will be close to the downtown area and asked if they could add some type of architectural interest to the fence since it will be so visible. He stated that this is adjacent to the downtown area and there have been many conversations about improving the aesthetics of the downtown areas and suggested that it could even be something such as bump-ins every so often along the fence in order to change it from a linear wall of fencing.

City Planner Lindquist stated that they could do something to break it up visually and suggested shrubbery rather than coming up with a way to change the color or material of the fencing.

Commissioner Iverson reiterated his suggestion that there be some type of bump-ins every 50 feet or so, that the line of fencing is broken up. He noted that it would add an area of interest and they could add a shrub at that bump-in point. He reiterated that he was trying to get away from having a straight, 200 foot line of fencing, especially with its proximity to downtown.

Chair Lobermeier clarified that this is guided for commercial use and asked if this was the southerly tip of what the City had as the commercial zone.

City Planner Lindquist stated that was correct.

Chair Lobermeier asked about the setbacks for industrial and if the fences were right on the property lines.

Building Official Weck stated that the fences can be right on the property lines.

Chair Lobermeier asked why type of fire suppression vehicle would be able to access the access aisles. He asked if the fire chief had reviewed the proposal for those types of questions.

Building Official Weck explained that part of the orders from the State Fire Marshal were to have access aisles that would be usable.

Glen Wedll, All Safe Global, explained that they were looking to expand because of their incident last spring where fire trucks could not get to the back of the property. He stated that they want access for fire trucks and explained that moving the fence back will allow them to have that access. He noted that it will also help them bring their piles down and explained that they have grown and are taking in a lot of recycling. He explained that their proposal will also allow them to segregate some of those materials so the site is better organized. He stated that they would like to add some curb appeal with the new fence and landscaping.

Commissioner West stated that she lives nearby and asked what is stored on the property and how high is currently was above the fence line.

Mr. Wedll stated that he believes it is about 3 feet above the fence line in some places. He explained that they are storing cylinders and noted that they recertify high pressure cylinders. He noted that they usually don't store the gases, but some of the recycling comes in with gases in it, so they empty them out.

Commissioner West asked if they would be willing to bring all the fencing up to 8 feet tall, if it was approved. She stated that she felt that curb appeal was a big deal and noted that this is the entrance into the business district. She explained that she supported the idea shared by Commissioner Iverson for some bump-ins and landscaping along the fence line and asked Mr. Wedll if that was something they would be willing to do.

Mr. Wedll stated that they could look into it and noted that it would add to the cost.

Commissioner Naumann asked if the fence height of 6 feet versus 8 feet would make a big difference in what people would be able to see.

Mr. Wedll explained that if the fence was moved out, they would not stack above the fence line like they have been doing currently. He stated that the material will be below the fencing whether it is 6 feet or 8 feet high.

Commissioner Naumann asked if there were flammable materials within the pressurized cylinders.

Mr. Wedll stated that most of the service ones are empty when they come in, but the recycling ones sometimes do have gases in them. He reiterated that they take out the gases and then recycle the cylinders. He noted that since the fire last spring, they have worked with OSHA and have been following their recommendations.

Commissioner Naumann asked if there was security at the facility.

Mr. Wedll stated that they do have cameras all around the building with data kept on a hard drive.

Commissioner Naumann asked about the communications between this business and the City regarding the priority of places that could potentially be harmful if threatened or breached.

Mr. Wedll noted that an 8 foot fence could also help in that situation.

Commissioner Iverson stated that a lot of stuff is visible in looking at the aerial photo.

Mr. Wedll stated that he agreed that they have a lot of stuff and noted that they are trying to shed some of those items. He stated that they just purchased a shredder and have been working on shredding some of those items.

Commissioner Iverson asked if there was any material on site that would pose a threat to the groundwater.

Mr. Wedll stated that it would not because it was all gases and would escape to the air.

Commissioner Iverson reiterated that because of the location of the trail and the road, he appreciated the thought behind getting the material down below the fence. He stated that if an 8 foot fence is what is needed to keep that sight line for people traveling by, then that is what he would recommend.

Chair Lobermeier stated that because the material comes in and stays for quite a while he thinks of it more as a storage facility than a recycling facility.

Mr. Wedll stated that the recycled stuff does sit for a while and takes a long time to go through it. He explained that they use their labor as fill-in work to take care of the recycling and reiterated that over the last month they have made a concerted effort to get some of it out of there.

Chair Lobermeier asked how long some of the material stays on site.

Mr. Wedll stated that they have about 10 months of recycling sitting there.

Chair Lobermeier asked if they had projected when they may be at capacity at this site.

Mr. Wedll stated that they are currently at capacity, but does not know if they have made those calculations for the expansion.

Frank Brodeen, Civil Engineer, Widseth, stated that to address the possible nefarious acts brought up earlier, he wanted to point out that in the outdoor storage plans, and they are proposing to construct 3 flammable control areas that will be made of precast concrete block. He stated that the plan is to store the canisters that come in with gas in them inside if those areas.

MOTION BY COMMISSIONER WEST, SECONDED BY COMMISSIONER NAUMANN, TO OPEN THE PUBLIC HEARING.

Voting Aye: Naumann, West, Iverson, and Lobermeier
Voting Nay: None
Abstain: None
Absent: Holl

MOTION BY COMMISSIONER WEST, SECONDED BY COMMISSIONER IVERSON, TO CLOSE THE PUBLIC HEARING.

Voting Aye: Naumann, West, Iverson, and Lobermeier
Voting Nay: None
Abstain: None
Absent: Holl

Commissioner West stated that her thoughts mirror what Commissioner Iverson was saying about this being the entrance into the business district. She stated that this is important because they are really trying to turn their downtown area into something nice. She stated that she would support having some architectural details or a higher fence along with adding some shrubs.

Commissioner Iverson stated that he supports all the recommendations included in the staff report.

Chair Lobermeier asked if he would rather see an 8 foot high fence rather than 6 feet high.

Commissioner Iverson confirmed that he would like to see an 8 foot fence rather than a 6 foot and reiterated that he believes the fencing is already 8 feet high.

Chair Lobermeier stated that it is not entirely visible right now and his hope is that it will not become any more visible. He stated that this is guided for commercial and at some point they will have to take a look at that, but understands the potential for expansion. He stated that his hope was that this expansion would improve the 'invisibility' of the site, but also the safety, for example things like the recent fire issues.

Commissioner West stated that the fire last spring was very large and she could see it from her deck. She asked if they could add in what they are already doing as part of the conditions with the precast block mentioned by the engineer.

Building Official Weck explained that was a requirement that they have to do and it comes from the fire marshal. He noted that the original conditions from the CUP should also remain valid.

Commissioner West stated that she was happy to hear about the requirements from the fire marshal because she has little kids and is close by.

Chair Lobermeier asked about fire suppression equipment on the site.

Zoning Official Weck reviewed the original permit language.

City Planner Lindquist stated that she thinks the City is interested in maintaining this site to the best of its ability. She noted that the concern about future expansion because they are taking in more equipment than they are putting back out is something they have some control over, so they will need to control their inventory so it I not just continue to stack up and move towards another expansion.

Commissioner Iverson asked about possible landscaping options with the fence and suggested that it be included as a condition.

MOTION BY COMMISSIONER LOBERMEIER, SECONDED BY COMMISSIONER NAUMANN, TO RECOMMEND APPROVAL OF CONDITIONAL USE PERMIT C-23-002 WITH 16 CONDITIONS, AS DISCUSSED (CONDITIONS: 1-4 AS THEY APPEAR IN STAFF REPORT; 5 - AMENDED TO INCREASE THE HEIGHT OF THE FENCE TO 8 FEET; AND THAT FENCING INCLUDE BUMP-INS AND BUMP-OUTS FOR PLANTINGS; 6-14 AS LISTED; 15 – APPLICANT SHALL STAY IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND REQUIREMENTS OF THE MINNESOTA STATE FIRE MARSHAL FOR SAFE OPERATION OF THE FACILITY; AND 16 – THAT ALL OF THE CONDITIONS OF THE ORIGINAL CUP WOULD CONTINUE TO APPLY); AND APPROVE SITE PLAN REVIEW SP-23-003 LOCATED AT 26443 FALLBROOK AVENUE FOR APPLICANT: ALL SAFE GLOBAL, AND OWNER: MORGAN INDUSTRIES, INC., FOR PROPERTY ID NUMBERS: 21.00054.00 AND 21.00231.00

City Planner Lindquist suggested that they modify the language of #11 to specifically add language addressing the shrubbery and fencing.

Voting Aye: Naumann, West, Iverson, and Lobermeier
Voting Nay: None
Abstain: None
Absent: Holl

OLD BUSINESS:

3. Architectural Standards Definitions

Zoning Administrator Weck noted that he had come up with a number of definitions and reviewed some of the information he had gathered.

Chair Lobermeier noted that the Commission had discussed in the past LP material versus other types and asked if it should be included in the list.

Commissioner West noted that LP material is common and is frequently used.

Zoning Administrator Weck asked if the Commission wanted to do any shuffling of materials.

City Planner Lindquist suggested the idea that if a property is on the edge or in a transition area, for example, a business near a residential area that the City could then allow more residential type materials because it may be more complementary.

Chair Lobermeier noted that he thought that was a great suggestion.

Commissioner West agreed and stated that she agreed that it made a lot of sense.

City Planner Lindquist stated that in her mind residents would appreciate it more as well.

Chair Lobermeier suggested that it be written in a way to say that the City 'may' consider complementary materials. He reiterated that if fiber cement was no long the correct terminology that should be changed to LP. He referenced Section 40-451 which stated that any applicant 'may' request a meeting and asked if that should say 'must' so it doesn't seem optional.

The Commission discussed changing the wording to state that a meeting is 'recommended' with staff.

Chair Lobermeier referenced Section 40-458 and asked if that should be up front before many of the other categories.

Zoning Administrator Weck stated that he thinks that is a good idea. He stated that he will pull together a final draft for Commission review at a future meeting with the idea of the public hearing being held on November 28, 2023.

COMMUNICATIONS:

UPDATES:

A MOTION WAS MADE BY COMMISSIONER WEST, SECONDED BY COMMISSIONER NAUMANN, TO ADJOURN THE OCTOBER 10, 2023 "REGULAR MEETING" OF THE WYOMING, MINNESOTA PLANNING COMMISSION AT 7:53 PM.

Voting Aye: Naumann, West, Iverson, and Lobermeier
Voting Nay: None
Abstain: None
Absent: Holl

**DRAFT MINUTES
CITY COUNCIL
REGULAR MEETING
CITY OF WYOMING, MINNESOTA
DECEMBER 5, 2023
7:00PM**

CALL TO ORDER:

Mayor Lisa Iverson called the Regular Meeting of the Wyoming City Council for December 5, 2023 to order at 7:00 PM

CALL OF ROLL:

On a Call of the Roll the following members of the Wyoming City Council were present: Councilmembers Lisa Iverson, Linda Nanko Yeager, Brett Ohnstad, and Claire Luger

ABSENT: Councilmember Dennis Schilling

Also Present: Tom Loonan, Eckberg Lammers, Robb Linwood, City Administrator, Grant MacFarlane, Assistant City Administrator, Mark Erichson-WSB, Neil Bauer - Public Safety Director, Fred Weck, Zoning Administrator/Building Official, City Planner Kim Lindquist, and Joe Keding, Acting Public Works Superintendent

DETERMINATION OF A QUORUM:

PLEDGE OF ALLEGIANCE:

OPEN FORUM:

Robert Punt – Stated that he had appeared before the Council in June regarding hi proposal to have Little Free Library boxes in Lions Park and Goodview Park as part of his Eagle Scout project. He explained that he had completed the project and presented details to the Council.

Mayor Iverson – Stated that she thinks they look fantastic and are a much needed addition.

The Council expressed their appreciation for the work Robert Punt had done on the Little Free Libraries project for the City.

APPROVAL OF MINUTES:

- 1. Consider approving the minutes of the “Work Session Meeting” of the Wyoming, Minnesota City Council for November 21, 2023**

A MOTION WAS MADE BY COUNCILMEMBER OHNSTAD, SECONDED BY COUNCILMEMBER LUGER, TO APPROVE THE MINUTES OF THE “WORK SESSION MEETING” OF THE WYOMING, MINNESOTA CITY COUNCIL FOR NOVEMBER 21, 2023 AS SUBMITTED.

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: Schilling

- 2. Consider approving the minutes of the “Regular Meeting” of the Wyoming, Minnesota City Council for November 21, 2023**

A MOTION WAS MADE BY COUNCILMEMBER LUGER, SECONDED BY COUNCILMEMBER OHNSTAD, TO APPROVE THE MINUTES OF THE “REGULAR MEETING” OF THE WYOMING, MINNESOTA CITY COUNCIL FOR NOVEMBER 21, 2023

AS SUBMITTED

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: Schilling

SCHEDULED BID LETTINGS: NONE

SCHEDULED PUBLIC HEARINGS:

3. To consider **Resolution 23-12-120** A Resolution Certifying the 2023 Tax Levy Collectible in 2024

Victoria Holthaus, Abdo – Gave a brief presentation explaining the proposed 2024 budget and tax levy. She reviewed key items related to the budget including: LGA increases; and a community service officer position; cost of living adjustments for employees; and the anticipated 8% increase in the City's worker's compensation insurance and a 10% increase in the general property insurance. She reviewed details related to the overall tax levy, tax rate, and tax capacity and how various scenarios would impact on residents. She gave a general overview of the General Fund budget details.

A MOTION WAS MADE BY COUNCILMEMBER OHNSTAD, SECONDED BY COUNCILMEMBER LUGER, TO OPEN THE PUBLIC HEARING REGARDING THE TAX LEVY AND EXPENDITURES.

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: Schilling

Robert Rosenbaum, 25242 Grizzly Court - Expressed concern about home valuations and his tax load. He stated that he is on a fixed income and likes living in the City but doesn't like the tax load. He stated that he was glad to hear that the City is working to keep their budget down and encouraged the Council to keep the taxes as low as they can because increases are a burden to those that are on fixed incomes.

A MOTION WAS MADE BY COUNCILMEMBER OHNSTAD, SECONDED BY COUNCILMEMBER LUGER, TO CLOSE THE PUBLIC HEARING.

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: Schilling

Mayor Iverson – Asked who was responsible for changing the valuation of a home.

Ms. Holthaus – Explained that the County Assessor is responsible for the valuations for the City.

City Administrator Linwood – Gave an overview of what the County Assessor considers when valuing a property. He noted that residents are able to file a petition and disagree with their evaluation.

Mayor Iverson – Asked for an overview of LGA and what the City does with it.

Ms. Holthaus – Explained that LGA stands for Local Government Aid and is funding passed down from the State to cities with the intent to help reduce the property tax burden. She stated that the City utilizes those dollars for capital, which she feels is a fiscally prudent policy.

Mayor Iverson – Asked for an explanation of what the Community Service Officer (CSO) would be doing for the city.

Public Safety Director Bauer – Explained that the CSO would be a part-time position which would essentially be a college student that is looking to get into law enforcement.

Council Member Nanko Yeager – Asked if the CSO position would become a budgeted item once the State aid funding ends.

Public Safety Director Bauer – Stated that would be a decision made by the Council.

Council Member Nanko Yeager – Noted that she was glad to see the proposed budget decrease a bit from the ‘do not exceed’ budget that was approved earlier this fall, but explained that she still thinks it is a bit too high.

Council Member Ohnstad – Referenced the increases in worker’s compensation, property insurance, and health insurance which show an increase of 8-10% and asked questions about how these affect the City’s overall budget.

City Administrator Linwood – Stated that there is a significant impact from the property liability and the worker’s compensation and noted that the League of Minnesota Cities is essentially the only option for an insurance provider.

Mayor Iverson – Stated that she was also pleased that the budget had decreased a bit from earlier this fall. She noted that she understands incomes levels of how this kind of thing can effect people. She stated that she thinks the City has been very good stewards with the resident tax dollars and everything that has been included she would consider ‘needs’ and not ‘wants’.

A MOTION WAS MADE BY COUNCILMEMBER IVERSON, SECONDED BY COUNCILMEMBER LUGER, TO APPROVE RESOLUTION 23-12-120 A RESOLUTION CERTIFYING THE 2023 TAX LEVY COLLECTIBLE IN 2024

Voting Aye: Luger, Ohnstad, Iverson

Voting Nay: Nanko Yeager

Abstain: None

Absent: Schilling

4. To consider **Resolution 23-12-121** A Resolution Approving the Proposed 2024 Expenditures

A MOTION WAS MADE BY COUNCILMEMBER IVERSON, SECONDED BY COUNCILMEMBER LUGER, TO APPROVE RESOLUTION 23-12-121 A RESOLUTION APPROVING THE PROPOSED 2024 EXPENDITURES

Voting Aye: Luger, Ohnstad, Iverson

Voting Nay: Nanko Yeager

Abstain: None

Absent: Schilling

CONSENT AGENDA:

Items under the “Consent Agenda” will be adopted with one motion; however, council members may request individual items to be pulled from the consent agenda for discussion and action if they choose.

5. To consider authorizing the payment of recommended bills, payroll, and journal entries for the period of November 22, 2023 to December 5, 2023
6. To consider **Resolution 23-12-122** a resolution approving the issuance of various On-Sale, Off-Sale, and Combination Liquor Licenses in the City of Wyoming for the year 2024
7. To consider **Resolution 23-12-123** a resolution approving the issuance of various Tobacco, Waste Haulers Licenses, and Massage Occupancy in the City of Wyoming for the year 2024.

8. To consider **Resolution 23-12-124** a resolution accepting a donation from Forest Lake Area High School for the donation to the 7th Annual Tree Lighting Ceremony at Railroad Park on December 2, 2023
9. To consider **Resolution 23-12-125** a resolution accepting a donation from Polaris Industries for a donation to the 7th Annual Tree Lighting Ceremony at Railroad Park on December 2, 2023 .
10. To consider **Resolution 23-12-126** . a resolution accepting a donation from Sunrise River Farms for a donation to the 7th Annual Tree Lighting Ceremony at Railroad Park on December 2, 2023 .
11. To consider **Resolution 23-12-127** a resolution accepting a donation from WSBN Engineering for a donation to the 7th Annual Tree Lighting Ceremony at Railroad Park on December 2, 2023 .
12. To consider **Resolution 23-12-128** a resolution accepting a donation from the Wyoming Lions Club for a donation to the 7th Annual Tree Lighting Ceremony at Railroad Park on December 2, 2023
13. To consider **Resolution 23-12-129** a resolution accepting a donation from Xcel Energy for a donation to the 7th Annual Tree Lighting Ceremony at Railroad Park on December 2, 2023 .
14. To consider **Resolution 23-12-130** a resolution declaring certain Public Works items as surplus property and authorizing the Public Works Department to dispose of such items through online auction or disposal process.
15. To consider **Resolution 23-12-131** a resolution approving pay voucher #5 to Ferguson Waterworks for the 2023 Water Meter Replacement Project in the amount of \$9,540.00.

A MOTION WAS MADE BY COUNCILMEMBER LUGER, SECONDED BY COUNCILMEMBER OHNSTAD, TO APPROVE #5, #6, #7, #8, #9, #10, #11, #12, #13, #14 and #15 OF THE WYOMING CITY COUNCIL CONSENT AGENDA

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: Schilling

ACKNOWLEDGE RECEIPT OF REPORTS OF OFFICERS, BOARDS, COMMISSIONS AND DEPARTMENT HEADS:

16. Report of the Public Safety Director, Neil Bauer for November 30, 2023
17. Report of City Building Official, Fred Weck, IV for November 30, 2023
18. Report of City Attorney Tom Loonan for November 30, 2023
19. Report of City Engineer Mark Erichson, WSB for December 1, 2023
20. Report of Acting Public Works Superintendent Joe Keding for December 5, 2023

COMMUNICATIONS:

OLD BUSINESS:

NEW BUSINESS

21. To consider **Resolution 23-12-132** a resolution establishing Water and Sewer rates for 2024-2028 and SAC and WAC fees for 2024-2028 based on the rate study completed by Erickson Northstar, LLC

City Administrator Linwood – Introduced Nick Dragisich and Alan Erickson from Erickson Northstar.

Mr. Dragisich and Mr. Erickson – Gave an overview of the rate study that was recently completed for the City’s water and sewer funds and review of the SAC and WAC funds and outlined their recommendations to the Council

Council Member Nanko Yeager – Referenced the recent actions by the Sewer Commission to raise their rates by 6.9% and asked if that had been taken into consideration.

Mr. Dragisich and Mr. Erickson – Confirmed that they had taken that information into consideration because they had access to their 2024 budget so they had included this into their projections.

Council Member Nanko Yeager – Asked if the City would be operating in the black by 2027, with depreciation included, and would not be operating at a loss.

Mr. Dragisich and Mr. Erickson – Explained that if all things were equal, that would be correct and stated that they expect the model to be fairly accurate.

Mayor Iverson – Noted that she feels the Council has worked hard to ensure that they are planning out 5-10 years.

A MOTION WAS MADE BY COUNCILMEMBER LUGER, SECONDED BY COUNCILMEMBER OHNSTAD, TO APPROVE RESOLUTION 23-12-132 A RESOLUTION ESTABLISHING WATER AND SEWER RATES FOR 2024-2028 AND SAC AND WAC FEES FOR 2024-2028 BASED ON THE RATE STUDY COMPLETED BY ERICKSON NORTHSTAR, LLC

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: Schilling

22. To consider **Resolution 23-12-133** a resolution amending the existing conditional use permit for the expansion of exterior storage in the industrial district at 26443 Fallbrook Avenue

City Planner Lindquist – Gave an overview of the request to amend the existing CUP for expansion of exterior storage at 26443 Fallbrook Avenue. She outlined the Planning Commission discussion and their recommendations. She also reviewed some of the staff discussion related to the Planning Commission recommendations regarding the fence height and truck maneuver areas and their differing recommendations. She stated that the City had received an e-mail earlier today from the applicant regarding some of the proposed conditions and reviewed some of their requests including paving an area in order to provide for truck maneuvering and storage of a semi-trailer and explained that this had not been raised in prior conversations. She stated that staff, at this point, was not interested in making a change to their recommendations. She gave a brief overview of some of the others issues raised by the applicant in their e-mail.

Council Member Luger – Noted that she did not have specific questions but was interested in hearing about the rationale, from the applicant, for the proposed changes.

Council Member Ohnstad – Agreed and noted that he would also like to hear what the applicant has to say because he was not completely sure he understood what they were actually requesting.

Council Member Nanko Yeager – Referenced condition #11 and asked if the City was okay with the proposed 5 parking spaces.

Ms. Lindquist – Stated that was correct and they supported those parking spaces.

Council Member Nanko Yeager – Asked if the Resolution before the Council reflected the new material and not what the Planning Commission had recommended.

Ms. Lindquist – Stated that was correct, but explained that it did not reflect the requests that were received today in the e-mail submitted by the applicant. She noted that she believes the applicant was not in agreement with all of the conditions and thinks they may request changes.

Council Member Nanko Yeager – Asked if this could be sent back to the Planning Commission for further discussion with this new information.

Zoning Administrator Weck – Stated that they are on the clock, but noted that they have until January 16, 2024. He stated that the Council could choose to send it back to the Planning Commission, but could also make a decision without taking that step.

Council Member Nanko Yeager – Referenced condition #5 and asked how many bump outs and undulation would be required. She noted that the language simply states 'more than the November 2023 plans' and does not have exact, precise language.

Ms. Lindquist – Stated that they could quantify this amount and suggested that 6 seemed reasonable.

Mayor Iverson – Asked the applicant to explain the items around the perimeter that are depicted in the photo of the current building and why there was so much.

John Peterson, All Safe Global – Explained that the majority of what is depicted in the photos are compressed gas cylinders. He stated that they recycle and service the cylinders but clarified that they do not deal with poisonous, toxic, or corrosive gases.

Mayor Iverson – Asked why there was currently so much material on site.

Mr. Peterson – Stated that it has just built up on them over the years and explained that the company has grown. He stated that they have begun some things to help process the cylinders at a faster pace and noted that their proposal was really to utilize their yard space in a better manner. He stated that he thinks what they are proposing will make their site look cleaner and more professional.

Mayor Iverson – Asked about the two fire incidents in the last few years.

Mr. Peterson – Clarified that they took place within the last year and gave an overview of the two fires.

Mayor Iverson – Asked why they were asking for an 8 foot fence rather than a 6 foot fence.

Mr. Peterson – Explained that the existing fence is 8 feet high and noted that the pallets coming to the site will most likely be about 7 feet tall. He stated that they are committed to not having material go over the height of the fence, but maintaining the 8 foot height would be very helpful to them and not create additional work once the pallets were delivered.

Mayor Iverson – Explained her concerns related to the excess material that is currently on the site.

Mr. Peterson – Assured the Council that they will not go over the 8 foot level and noted that the recycling portion of their business has slowed down quite a bit which should also help. He stated that their biggest issue is coming into compliance with the fire marshal and described some of those requirements.

Mayor Iverson – Asked about the Planning Commission recommendation for 8 foot fencing and City staff's recommendation for 6 foot fencing.

Council Member Luger – Asked what the applicant had planned to take the height of the material down below the fence height.

Mr. Peterson – Stated that within the last month, they have moved 10 full, 50 foot trailers out of there and explained that his goal is to just get rid of stuff.

Mayor Iverson – Asked for an explanation of the recent request for a parking space for a semi-trailer.

Council Member Nanko Yeager – Asked if they could continue the fence discussion first and asked how flammable the fencing was.

Mr. Peterson – Reviewed details of the recent fires and noted that the current fencing is made of wood, so it would be considered flammable but the fence they are proposing to install is not flammable.

Building Official/Zoning Administrator Weck – Noted that the fence that sits around the yard is wood and would be flammable. He stated that the fire code requires that they have containment areas for the flammable gases which are the ones that will be made out of concrete and are separate than the wooden fencing that will screen the property.

Council Member Nanko Yeager – Stated that if there are already 3 bump outs in the fencing and now staff is asking for 6, as it is written, all the applicant would have to do is put one more bump out in and they would meet the requirement of 'more'. She stated that she would recommend that this condition simply be struck.

Building Official/Zoning Administrator Weck – Noted that the applicant could submit another plan without bump outs and suggested that keeping the condition in would make sure that they do not make future changes, for example, if the fencing blew over.

Council Member Nanko Yeager – Reiterated her earlier point that she would prefer the resolution language have a concrete number of bumps outs rather than 'more than'.

Mayor Iverson – Asked for an explanation of the semi-trailer situation.

Mr. Peterson – Stated that the issue is that they have three tractor trailers and do not run a large second shift anymore. He stated that there will not be any extra cars parked out there or any product stored out there but having three tractor trailers there may be times where they need to be parked overnight or on the weekend. He noted that they also have trucks coming and going and explained the importance of having a place for them to go so they don't have to sit on Fallbrook waiting for room.

Mayor Iverson – Asked if there was a manager on site everyday watching all this activity.

Mr. Peterson – Explained that he was there quite a bit.

Mayor Iverson – Stated that she was talking about somebody that was there every day and referenced his explanation of one of the fires where someone had gone outside of their training which resulted in the fire, as well as the other things that they were planning to change with their operations. She asked who was going to be on site to implement those changes.

Mr. Peterson – Explained that they had let their Production Manager go in early September and have a new Plant Manager who has been with the company for about 18 years. He noted that this individual lives in Wyoming and is there every day.

Mayor Iverson – Asked what other conditions Mr. Peterson had requested the City change.

Mr. Peterson – Stated that the other condition was related to curbs.

Frank Brodeen, Widseth Engineering – Stated that he had wanted to ask a clarifying question about the proposed curb and gutter and whether it would channelize stormwater flow through the vegetated filter strip area that they were proposing for the wetland. He stated that he thought it may be a better solution to keep it as sheet flow so the vegetative filter strip would perform better.

Ms. Lindquist – Stated that staff feels that they may be able to add a few drainage ways and noted that she believes the main point with the curb and gutter related to the activity that goes on there is that they wanted some type of curbing in order to define the edge.

Mayor Iverson – She stated that she would always put the safety of the City's residents first and explained that she would prefer the 6 foot fencing recommended by staff. She explained that she would prefer the cleanest filtration possible and stated that she doesn't like the idea of the semi-trucks being parked out on Fallbrook. She noted that she was not very comfortable with the idea of the Council passing this without the changes going back before the Planning Commission.

Council Member Luger – Asked about the triangle space and the question of vegetation or bituminous material. She asked if the cause of the current pile up was because they did not have a second shift and was related to staffing issues.

Mr. Peterson – Stated that was not the issue and explained that the area is currently gravel and does not have anything to do with the excess product inside the fencing.

Ms. Lindquist – Explained that when the City had initially met with the applicant, they had stated that they did not need this space which was where the initial recommendation to add vegetation to the area came from. She stated that since that time, the applicant has now explained that they need this area for truck maneuvering or parking of the semi-trailer. She stated that part of City staff's goal was to start bringing the site into more compliance and not have a semi-truck parked in the front visual area where there is not a lot of screening.

Council Member Luger – Stated that Building Official/Zoning Administrator Weck had stated that time was ticking for this application and asked for details.

Building Official/Zoning Administrator Weck – Explained that Minnesota Statute requires the City to make a decision within 60 days of a complete application. He stated that they have already extended that out an additional 60 days, so anything beyond that would have to be approved by the applicant.

Council Member Luger – Stated that it sounds to her like there are three versions of the proposal from staff, applicant, and the Planning Commission. She stated that feels very messy to her and noted that the task of the Planning Commission is to interpret City Code and make recommendations to the Council. She explained that she felt the Council needed to look at the larger impact on the community and the immediate area and she does not have a clear understanding of what would bring it into compliance and what would not.

Mayor Iverson – Reiterated her question on whether there would be time to take this back to the Planning Commission.

Building Official/Zoning Administrator Weck – Stated that it could go back to the Planning Commission next week and come back to the Council in two weeks.

Council Member Nanko Yeager – Stated that the alternative to doing that would basically be the Council rewriting the resolution on the fly during tonight's meeting.

Building Official/Zoning Administrator Weck – Explained that the Council could also table it, which would allow staff time to rewrite it prior to their next meeting.

Council Member Luger – Stated that she would prefer one of those options because she did not feel comfortable sifting through this information.

Council Member Ohnstad – Asked if the applicant was allowed to put up an 8 foot fence if it would allow them to move some of the items that are stored on the south end of the property. He stated that his main concern is that there are trucks that are parking long-term, as storage.

Mr. Peterson – Explained that the trailers depicted in the picture are not parked out there for long-term, but noted that they did in the past. He noted that Northland Pallet used to drop a trailer there and when it was full of old pallets, they would come back and swap it out. He stated that they no longer do that so all of their wood pallets are stored in the fenced area and when there is enough for a truckload they call them and load it up at that time.

Council Member Ohnstad – Stated that he did not see the height of the fence as a big deal and noted that they already have an 8 foot fence. He noted that he was trying to look at other places on their site that they may be able to put a tractor trailer so it would not be out in front of the building.

Mr. Peterson – Stated that he had been brainstorming all day and explained that an option they have would be using their other leased space further up the road.

Council Member Ohnstad – Suggested that they may want to consider herringboning their dock space.

A MOTION WAS MADE BY COUNCILMEMBER IVERSON, SECONDED BY COUNCILMEMBER OHNSTAD, TO TABLE DISCUSSION OF RESOLUTION 23-12-133 A RESOLUTION AMENDING THE EXISTING CONDITIONAL USE PERMIT FOR THE EXPANSION OF EXTERIOR STORAGE IN THE INDUSTRIAL DISTRICT AT 26443 FALLBROOK AVENUE, AND SEND IT BACK TO THE PLANNING COMMISSION FOR FURTHER DISCUSSION AND RECOMMENDATIONS.

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson
Voting Nay: None
Abstain: None
Absent: Schilling

23. To consider Resolution 23-12-134 a resolution approving a site plan review application for the expansion of exterior storage in the industrial district at 26443 Fallbrook Avenue

A MOTION WAS MADE BY COUNCILMEMBER IVERSON, SECONDED BY COUNCILMEMBER LUGER, TO TABLE DISCUSSION OF RESOLUTION 23-12-134 A RESOLUTION APPROVING A SITE PLAN REVIEW APPLICATION FOR THE EXPANSION OF EXTERIOR STORAGE IN THE INDUSTRIAL DISTRICT AT 26443 FALLBROOK AVENUE AND SEND IT BACK TO THE PLANNING COMMISSION FOR FURTHER DISCUSSION AND RECOMMENDATIONS.

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson
Voting Nay: None
Abstain: None
Absent: Schilling

24. To consider entering into a service agreement with Steve Duff as a contractual consultant in a part-time, temporary capacity for the Public Works Department

City Administrator Linwood – Explained that the Public Works Department has been operating short with the Public Works Superintendent on leave and this is a way to provide more support for Acting Public Works Superintendent Keding. He shared some background and experience of consultant Steve Duff and explained that staff was recommending approval and entering into an agreement with him for no more than 20 hours/week beginning December 11, 2023 through February 29, 2024.

Mayor Iverson – Asked where the funding for this contract would come from.

City Administrator Linwood – Stated that it could come out of the employment wage for the vacant Public Works Superintendent position.

Council Member Nanko Yeager – Asked if the contract with Mr. Duff could be ended prior to the February 29, 2024 contract term.

City Administrator Linwood – Stated that would be possible and noted that, per the agreement, the City would need to give him 15 days' notice.

Council Member Nanko Yeager – Explained that she was not completely comfortable with this action because the Council had authorized posting the Public Works Superintendent position at the last meeting.

Council Member Luger – Stated that she completely supports this action because it will provide some support to Public Works. She noted that fully staffing their department could be a long process and this will help.

Mayor Iverson – Stated that she liked the fact that this contract has a 15 day notice stipulation and supports this action.

A MOTION WAS MADE BY COUNCILMEMBER LUGER, SECONDED BY COUNCILMEMBER OHNSTAD, TO APPROVE ENTERING INTO A SERVICE AGREEMENT WITH STEVE DUFF AS A CONTRACTUAL CONSULTANT IN A PART-TIME, TEMPORARY CAPACITY FOR THE PUBLIC WORKS DEPARTMENT

Voting Aye: Luger, Ohnstad, Iverson
Voting Nay: Nanko Yeager
Abstain: None
Absent: Schilling

25. To consider a City Council Work Session on December 19, 2023 at 6:00 PM

City Administrator Linwood – Gave an overview of the reason staff was requesting a Council Work Session regarding Sick and Safe Policy that will be effective in January.

A MOTION WAS MADE BY COUNCILMEMBER IVERSON, SECONDED BY COUNCILMEMBER LUGER, TO APPROVE SCHEDILING A CITY COUNCIL WORK SESSION MEETING ON DECEMBER 19, 2023 AT 6:00 PM.

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson
Voting Nay: None
Abstain: None
Absent: Schilling

COUNCIL REPORTS:

Council Member Ohnstad – Attended the Tree Lighting Ceremony and noted that it was very well attended, and also the Park Advisory Commission meeting.

Council Member Nanko Yeager – Attended the Tree Lighting Ceremony.

Council Member Luger – Attended the Tree Lighting Ceremony and expressed her appreciation to everyone involved in making it a great event.

Public Safety Director Bauer – Gave an update on the Fill the Truck event and noted that they had collected over 1,000 pounds of food as well as over \$1,000 in cash donations.

City Administrator Linwood – Noted that the Fire Department and the anonymous Santa had gone out and were also successful in their efforts.

Mayor Iverson – Stated that she is very proud of the community and what they are able to get done and thanked everyone for their involvement. She stated that she had attended the Tree Lighting ceremony and thanked her adult children for coming to assist her for the very first time. She thanked Sunrise River Farms, Polaris, WSB Engineering, Wyoming Lions Club, Xcel Energy, Pleasant Valley Cloggers, Forest Lake Dance Factory, Coffee Smith, Chisago County Anonymous Santa, and the Wyoming Public Works Department. She stated that she also wanted to thank City staff and Public Safety because the City would not be able to hold this event without their assistance. She stated that they also appreciate Eckberg Lammers Law Firm for helping to making this an amazing community event.

Mayor Iverson recessed the meeting at 8:43 PM and reconvened at 9:03 PM

26. To consider entering a Closed Session under MN State Statute 13D.03 to discuss labor negotiation strategies for a contract with the bargaining unit of Law Enforcement Labor Services (LELS) and IUOE Local 49ers

A MOTION WAS MADE BY COUNCILMEMBER OHNSTAD SECONDED BY COUNCILMEMBER LUGER TO ENTER INTO A CLOSED SESSION UNDER MN STATE STATUTUE 13D.03 TO DISCUSS LABOR NEGOTIATION STRATEGIES FOR A CONTRACT WITH THE BARGAINING UNITS OF LAW ENFORCEMENT LABOR SERVICES (LELS) GROUP 507 AND 365 AND LOCAL 49 AT 9:07PM

Voting Aye: Nanko Yeager, Luger, Ohnstad, and Iverson

Voting Nay: None

Abstain: None

Absent: Schilling

A MOTION WAS MADE BY COUNCILMEMBER OHNSTAD SECONDED BY COUNCILMEMBER LUGER TO RETURN TO OPEN SESSION UNDER MN STATE STATUTUE 13D.03 TO DISCUSS LABOR NEGOTIATION STRATEGIES FOR A CONTRACT WITH THE BARGAINING UNITS OF LAW ENFORCEMENT LABOR SERVICES (LELS) GROUP 507 AND 365 AND LOCAL 49 AT 9:47PM

Voting Aye: Nanko Yeager, Luger, Ohnstad, and Iverson

Voting Nay: None

Abstain: None

Absent: Schilling

City Administrator Linwood gave a summation of the closed session

The closed meeting was relative to the matters for bargaining purposes and contract negotiations between the City of Wyoming and bargaining unit of Law Enforcement Labor Services groups 507, 365 and Local 49. The meeting was closed under MN State Statute 13D.03. The closed

meeting was attended by Mayor Lisa Iverson and City Council Members Linda Nanko Yeager, Claire Luger and Brett Ohnstad. Also, in attendance was City Administrator, Robb Linwood, Assistant City Administrator Grant MacFarlane, Public Safety Director, Neil Bauer and Labor Attorney, Soren Mattick. The council reviewed the proposed contract from the bargaining units. The city council provided advice and direction to legal and city staff but made no formal votes or motions

A MOTION WAS MADE BY COUNCILMEMBER LUGER SECONDED BY COUNCILMEMBER OHNSTAD TO ADJOURN THE DECEMBER 5, 2023 “REGULAR MEETING” OF THE WYOMING, MINNESOTA CITY COUNCIL REGULAR MEETING AT 9:50PM

Voting Aye: Nanko Yeager, Luger, Ohnstad, Iverson

Voting Nay: None

Abstain: None

Absent: Schilling

A portion of this public meeting may be closed to discuss “Labor Negotiation Strategies”; “Misconduct allegations or charges”; “Attorney-client privilege”; or “Performance evaluations” as per MN State Statute 13D.01-.05.

NEXT REGULAR MEETING:
DECEMBER 19, 2023
7:00PM

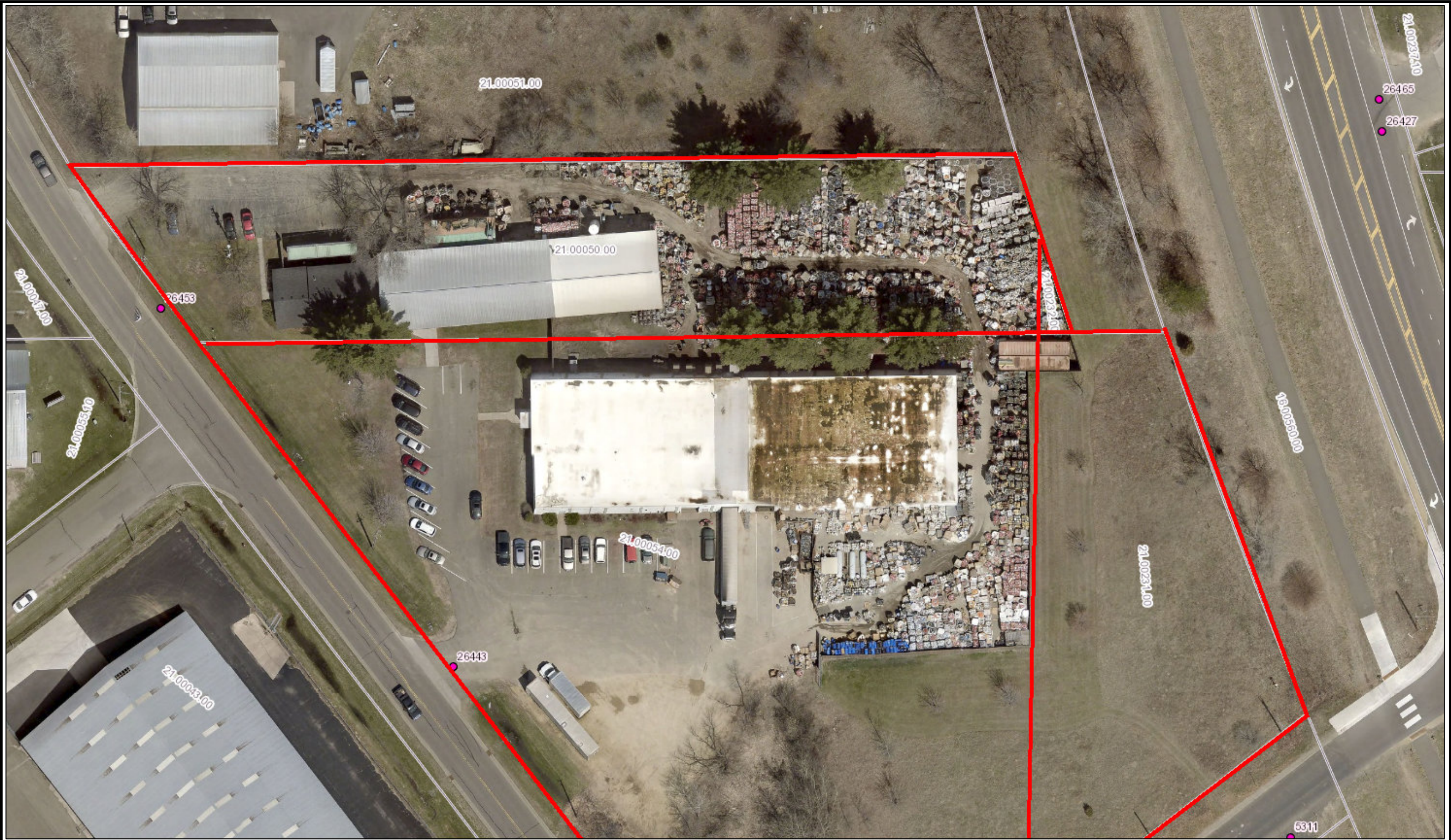


All Safe Global 4 parcels

Date: 10/5/2023
 Time: 11:00:12 AM



These data are provided on as "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.

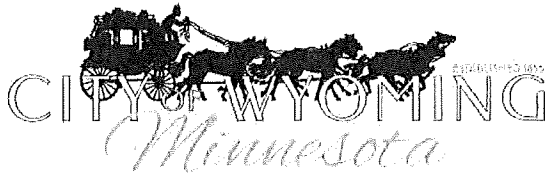


All Safe Global Storage Yards

Date: 10/5/2023
Time: 11:15:56 AM



These data are provided on as "AS-IS" basis, without warranty of any type, expressed or implied, including but not limited to any warranty as to their performance, merchantability, or fitness for any particular purpose.



City Of Wyoming
 26885 Forest Blvd, PO Box 188
 Wyoming, MN 55092
 Phone (651) 462-4947
 permits@wyomingmn.org

LAND USE APPLICATION: SITE PLAN REVIEW

A site plan review application requests a use permitted in a particular zoning district, but regulated and controlled through conditions placed upon it by the City Council after review by the Planning Commission.

Property Address: 26443 Fallbrook Ave

Applicant(s): Name(s) Jonathon Peterson

Address 26443 Fallbrook Ave

City Wyoming State MN Zip 55092

Phone Number 866-958-3473 Email jpeterson@allsafe.net

Owner(s) - If other than Applicant(s):

Name(s) Morgan Industries, Inc

Address 3 Charles St., Ste 3

City Pleasant Valley State NY Zip 12569

Phone Number _____ Email mmilea@martellstrategicfunding.com

Owners(s) Signature(s) *Michael Milea* - as President Date 4/28/23

Legal description of property: See Application Documents

Property Identification Number: R.21. 00054.00 Present Zoning: Industrial

Present use of property: All Safe Global - Compressed Gas Cylinder Distribution and Service

Proposed use of property: All Safe Global - Compressed Gas Cylinder Distribution and Service

This application and the following attachments must be submitted to be considered a complete application:

1. A detailed site plan showing the information listed in Section 40 - 82, 1-6 as well as the following:
 - a. The grading and drainage plan must be designed in accordance with Article VII, Division 21 of the Zoning Ordinance and the City of Wyoming Surface Water Resource Guidance Document
 - b. Elevation drawings of all sides of the proposed building to show compliance with the architectural standards of the zoning district the use will be located in
 - c. Landscaping and Screening in accordance with Article VII, Divisions 14 & 26
 - d. Lighting Plan in accordance with Article VII, Division 15
2. A letter explaining the proposed use and how it will be operated
3. Applications for uses described in Article VI, Divisions 7, 18, & 19 and Article VII, Divisions 2, 8, 10, 17-20, and 25 of the Zoning Ordinance must include the information necessary to show compliance with the applicable section of the ordinance
4. Applications for uses that are within the Highway 8 Overlay District or that utilize Highway 8 for access must include the information necessary to show compliance with Article VI, Division 14 of the Zoning Ordinance.
5. The application fee and escrow must be paid at the time of application - The fee is **not** refundable and the unused portion of the escrow will be returned to the applicant
6. Any other information deemed necessary by the Zoning Administrator or Planning Commission

Applicant(s) Signature(s) *Jonathon Peterson* Date 4/28/23

As the applicant for this request, I agree to reimburse the City for all expenses incurred by the City in employing planning, engineering, legal and other professional consultants in reviewing this application. This may include the replenishment of any escrow funds as required as part of this application. Such costs shall be paid by me, the applicant, regardless of the outcome of the review and prior to commencing any work on the project. Article V, Division 4, Site Plan Review, is attached to this application. By signing this application, the applicant acknowledges that it has been read and understood.

A public meeting can be scheduled only after a complete application has been received.

OFFICE USE ONLY

Application # SP-23-002

Date Application Received 4/28/23

Date Complete Application Received 9/18/23

60 Days 11/17/23

By: *[Signature]*
Official

Fee: \$220.00 + Escrow \$1,000.00

Date Paid 5/1/23

Check # ✓

Revised 01/24/23



City Of Wyoming
 26885 Forest Blvd, PO Box 188
 Wyoming, MN 55092
 Phone (651) 462-4947
 permits@wyomingmn.org

LAND USE APPLICATION: CONDITIONAL & INTERIM USE PERMIT

A conditional use permit application requests a use permitted in a particular zoning district, but regulated and controlled through conditions placed upon it by the City Council after review by the Planning Commission.

Property Address: 26443 Fallbrook Ave

Applicant(s): Name(s) Jonathon Peterson
 Address 26443 Fallbrook Ave
 City Wyoming State MN Zip 55092
 Phone Number 866-958-3473 Email jpeterson@allsafe.net

Owner(s) - If other than Applicant(s):
 Name(s) Morgan Industries, Inc
 Address 3 Charles St., Ste 3
 City Pleasant Valley State NY Zip 12569
 Phone Number _____ Email mmilea@martellstrategicfunding.com

Owner(s) Signature(s) [Signature] - President Date 5/11/23

Legal description of property: See Application Documents

Property Identification Number: R.21. 00054.00 Present Zoning: Industrial

Present use of property: All Safe Global - Compressed Gas Cylinder Distribution and Service

Proposed use of property: All Safe Global - Compressed Gas Cylinder Distribution and Service

Is this an application for an Interim Use permit? Yes No If yes, on what date, or upon what event, would the applicant desire the interim use to expire? Date: ____ / ____ / ____ OR Event: _____

This application and the following attachments must be submitted to be considered a complete application:

A detailed site plan showing the following information from Sec. 40 - 111, A-K also including:

- a. The grading and drainage plan must be designed in accordance with Article VII, Division 21 of the Zoning Ordinance and the City Of Wyoming Surface Water Resource Guidance Document
- b. Elevation drawings of all sides of the proposed building to show compliance with the architectural standards of the zoning district the use will be located in
- c. Landscaping and Screening in accordance with Article VII, Divisions 14 & 26
- d. Lighting Plan in accordance with Article VII, Division 15
2. A letter explaining the proposed use and how it will be operated
3. A completed Conditional & Interim Use Permit Worksheet
4. Applications for uses described in Article VI, Divisions 7, 18 & 19 and Article VII, Divisions 2, 8, 10, 17-20 & 25 of the Zoning Ordinance. It must include the information necessary to show compliance with the applicable section of the ordinance.
5. Applications for uses that are within the Highway 8 Overlay District or that utilize Highway 8 for access must include the information necessary to show compliance with Article VI, Division 14 of the Zoning Ordinance
6. The application fee and escrow must be paid at the time of application - The fee is **not** refundable and the unused portion of the escrow will be returned to the applicant.
7. Any other information deemed necessary by the Zoning Administrator or Planning Commission

Applicant(s) Signature(s) Jonathon Peterson Date 5/11/23

As the applicant for this request, I agree to reimburse the City for all expenses incurred by the City in employing planning, engineering, legal, and other professional consultants in reviewing this application. This may include the replenishment of any escrow funds as required as part of this application. Such costs shall be paid by me, the applicant, regardless of the outcome of the review and prior to commencing any work on the project. All of Article V, Division 6, Conditional Use Permits, and Article VII, Division 13, Home Occupations are attached to this application and by signing this application, the Applicant acknowledges that they have been read and understood.

A public hearing can be scheduled only after a complete application has been received.

OFFICE USE ONLY
 Date Complete Application Received 9/18/23 Application # C-23-003 Date Application Received 5/26/23
 60 Days 11/17/23 By: [Signature]
 Fee: \$220.00 + Escrow Date Paid 5/26/23 Check # ✓
 Escrow - Commercial is \$1,000.00 & Residential is \$750.00

Revised 01/24/23

CONDITIONAL & INTERIM USE PERMIT WORKSHEET

Applicant: Jonathon Peterson

Address: 26443 Fallbrook Ave

Type of Business: All Safe Global - Compressed Gas Cylinder Distribution and Service

Business name: All Safe Global

Answer the following questions based on the standards contained in Sec. 40 – 112 of the City of Wyoming Zoning Ordinance for Conditional and Interim Use Permits. If needed, use a separate page. **All questions must be answered.**

1. Is your proposed use in conformity with the Comprehensive Plan and development policies of the City?
 Yes No Explain: _____
2. Will your proposed use create an excessive demand on existing parks, schools, streets and other public facilities and utilities which serve or are proposed to serve the area?
 Yes No Explain: _____
3. Will your proposed use be sufficiently compatible or separated by distance or screening from adjacent development or land so that existing development will not be depreciated in value and so there will be no deterrence to development of vacant land?
 Yes No Explain: _____
4. Will the structure and site have an appearance that will not have an adverse effect upon adjacent properties?
 Yes No Explain: _____
5. Is the proposed use reasonably related to the overall needs of the City and to the existing land use?
 Yes No Explain: _____
6. Will the proposed use be consistent with the purpose of the Zoning Ordinance and other City Ordinances?
 Yes No Explain: _____
7. Will the proposed use be located, designed, maintained, and operated to be compatible with the existing or intended character of the zoning district in which it is to be located?
 Yes No Explain: _____
8. Will the proposed use generate only minimal vehicular traffic on local streets?
 Yes No Explain: _____
9. Will the proposed use create traffic hazards or unsafe access or parking needs?
 Yes No Explain: _____
10. Will existing businesses nearby be adversely affected by your proposed use because of the curtailment of customer trade brought about by intrusion of noise, glare, or general unsightliness?
 Yes No Explain: _____
11. Will the establishment or maintenance of the proposed use be detrimental to the public health, safety or general welfare?
 Yes No Explain: _____
12. Will the proposed use be hazardous, detrimental, or disturbing to present and potential surrounding land uses due to water pollution, odor, fumes, and general unsightliness or other nuisances?
 Yes No Explain: _____
13. How will the proposed use preserve and incorporate the site's important natural and scenic features into the development design?
 Yes No Explain: Existing trees removed for the project will be replaced on a 1 for 1 basis.
14. Will the proposed use cause adverse environmental effects?
 Yes No Explain: _____

Application # _____

Revised 01/24/23

Wyoming

5368 266th Street
PO Box 730
Wyoming MN 55092

651.464.3130
Wyoming@Widseth.com
Widseth.com

All Safe Global – Proposed Fence and Outdoor Yard Expansion – Project Description

Background

All Safe Global is a company with facilities in Wyoming, MN that provides compressed gas cylinder and beverage equipment distribution and service. Their facility is located at 26443 Fallbrook Ave, Wyoming, MN 55092.

Project Description

All Safe Global would like to relocate the existing wooden fence, construct additional fencing as needed and expand their existing outdoor storage yard.

The proposed scope of work is generally as follows:

- Salvaging the existing wooden fencing.
- Site Grading to accommodate expansion of the outdoor storage yard. This will include removal of existing turf and topsoil in the expansion area.
- Placement of surface gravel in the expanded storage area.
- Construction of a new fence at the expanded storage area limits.
- Construction of a proposed infiltration basin along the south side of the property to meet City of Wyoming Stormwater Management requirements for the new impervious (and potential future impervious).

Widseth has been contracted by Jonathon Peterson (All Safe Global) (property owner representative) to prepare construction plan drawings for the civil site work of the proposed cold storage building. The construction plan drawings are included in the site plan review application for review.



October 18, 2023

All Safe Global
Attn: Jonathon Peterson
26443 Fallbrook Avenue
Wyoming, MN 55092

VIA EMAIL

RE: Minnesota Statute 15.99; Time Deadline for Agency Action on the Conditional Use Permit Application for the Expansion of Exterior Storage

Dear Mr. Peterson:

Pursuant to Minnesota State Statute 15.99, the City of Wyoming must make a decision on your Conditional Use Permit application within sixty (60) days of a complete application being received (which was on September 18, 2023) unless the City extends the time limit in accordance with Subdivision 3, (f).

Wyoming Staff have tabled your request until on or before the City Council's regular meeting on December 19, 2023. This was done in order to give you and your consultants the opportunity to provide the revised landscape and fence drawings prior to placing the request on the Council agenda.

In accordance with Minnesota Statute 15.99, Subdivision 3, (f), the City of Wyoming is extending the deadline for action on your request an additional 60 days to January 16, 2024. The city will need to receive the information at least ten (10) business days prior to the December 19th meeting (Monday, December 4th) so that it can be reviewed.

If you have any further questions I can be reached at (651) 462-4947 between the hours of 8:00 a.m. & 4:30 p.m., Monday through Friday.

Sincerely,

Frederick E. Weck, IV
Zoning Administrator
Building Official #1825
City of Wyoming



DEPARTMENT OF BUILDING SAFETY

P.O. Box 188, 26885 Forest Blvd., Wyoming, MN 55092

Phone: 651-462-4947 Fax: 651-462-3938

ALL SAFE GLOBAL - FENCE AND YARD EXPANSION PROJECT

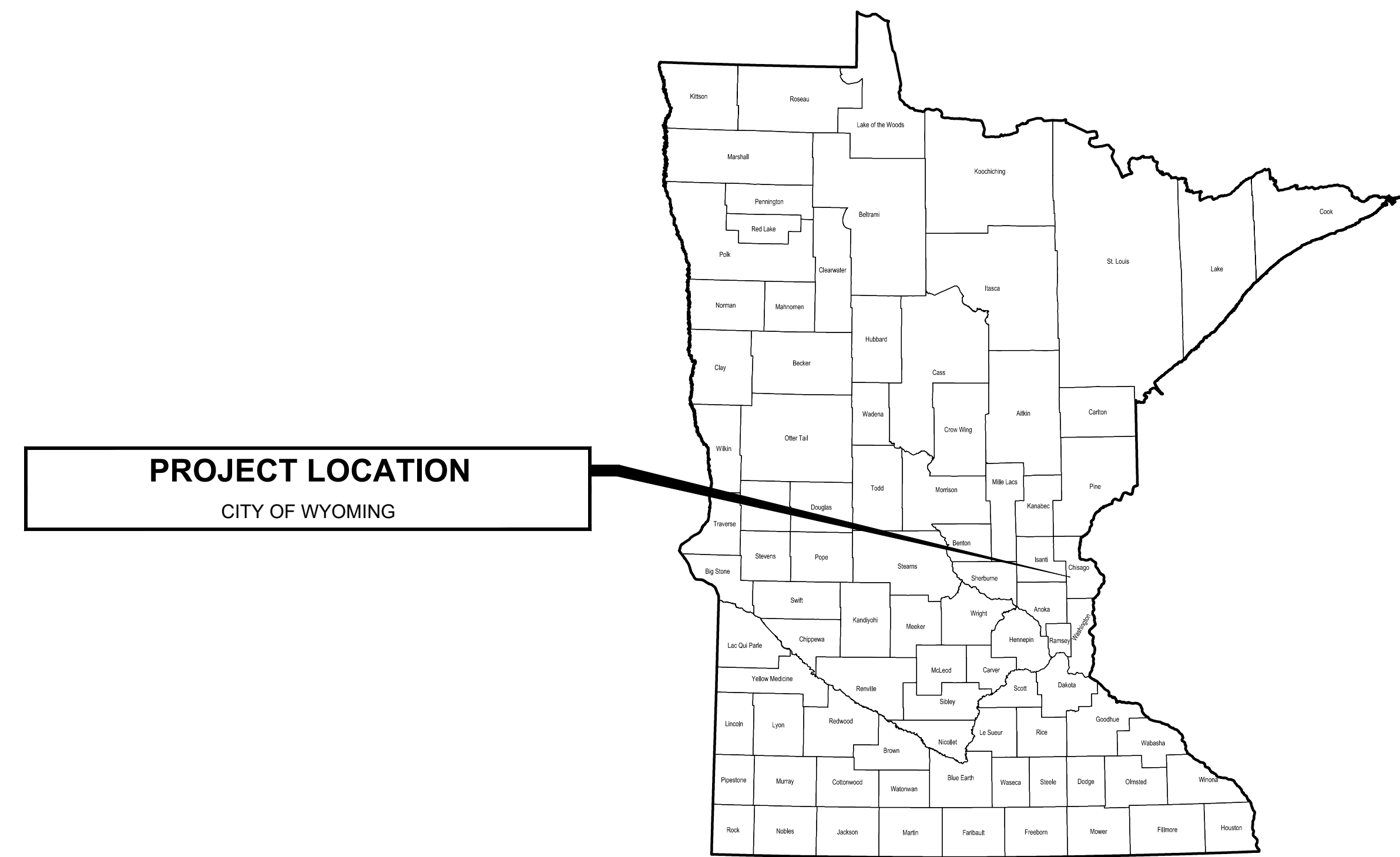
WYOMING, MN



DRAWING INDEX	
SHEET NUMBER	SHEET TITLE
C1.0	TITLE SHEET
C2.0	CIVIL LEGEND
C3.0	CIVIL DETAILS
C4.0	EXISTING CONDITIONS & REMOVAL PLAN
C5.0	SITE PLAN
C6.0	GRADING AND DRAINAGE PLAN
C7.0	TURF ESTABLISHMENT AND EROSION CONTROL PLAN
L1.0-L1.1	LANDSCAPE PLAN
G1.10	STRUCTURAL AND ARCHITECTURAL PLAN
FIG. 1	OUTDOOR STORAGE PLAN
FIG. 2	TRUCK TURNING MOVEMENTS

GOVERNING SPECIFICATIONS

THE CURRENT VERSION OF THE CITY OF WYOMING'S SPECIFICATIONS SHALL APPLY. FOR ALL OTHER PLAN CONTENT NOT ADDRESSED IN THESE SPECIFICATIONS, THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND 2020 EDITION OF THE "MATERIALS LAB SUPPLEMENTAL SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN.



NEWLY SUBMITTED FOR REVIEW AND APPROVAL BY THE BOARD OF ARCHITECTS AND ENGINEERS UNDER THE SUPERVISION AND THAT I AM A DAILY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Frank Brodeen
FRANK E. BRODEEN
DATE: 9/14/2023 LIC. NO. 57780

DATE	REVISION DESCRIPTION	BY
11/16/2023	PLANNING COMMISSION CONDITIONS	FEB

DATE: SEPTEMBER 2023
SCALE: AS SHOWN
DRAWN BY: TMH
CHECKED BY: TMH
JOB NUMBER: 2022-11768

ALL SAFE GLOBAL - FENCE AND YARD EXPANSION PROJECT
26443 FALLBROOK AVE
WYOMING, MN
TITLE SHEET

SHEET NO. **C1.0**

SURVEY MONUMENTS

- BENCH MARK
- FOUND CIM
- FOUND CPNT.
- FOUND JLM
- FOUND LATH
- FOUND PIPE
- FOUND READING
- STAKED CIM
- STAKED CPNT.
- STAKED JLM
- STAKED PIPE

EXISTING TOPO SYMBOLS

- AC UNIT
- FENCE POST
- FLAG POLE
- GUARD POST
- GUY ANCHOR
- GUY POLE
- HANDICAP SYMBOL
- MAILBOX
- SHRUB
- SIGN DOUBLE POST
- SIGN SINGLE POST
- SIGN FIRE NUMBER
- TREE CONIFER
- TREE DECIDUOUS
- TREE STUMP
- TV DISH
- WETLAND SYMBOL
- YARD LIGHT

EXISTING UTILITY MUNICIPAL SYMBOLS

- APRON
- LIFT STATION
- SANITARY CLEANOUT
- SANITARY MANHOLE
- STORM CATCH BASIN
- STORM INLET

EXISTING UTILITY MUNICIPAL SYMBOLS (cont.)

- STORM MANHOLE
- WATER CURB STOP
- WATER HANDHOLE
- WATER HYDRANT
- WATER MANHOLE
- WATER METER
- WATER VALVE
- WATER WELL
- UTILITY UTILITY SIZE & TYPE

EXISTING UTILITY PRIVATE SYMBOLS

- ELEC GROUND LIGHT
- ELEC HANDHOLE
- ELEC LIGHT POLE
- ELEC MANHOLE
- ELEC METER
- ELEC PEDESTAL
- ELEC POLE
- ELEC SIGNAL
- ELEC TRANSFORMER BOX
- GAS METER
- GAS VALVE
- LP TANK
- TELE HANDHOLE
- TELE MANHOLE
- TELE PEDESTAL
- TELE POLE
- TV HANDHOLE
- TV PEDESTAL

SOIL BORING SYMBOLS

- LASER-INDUCED FLUORESCENCE BORING
- LYSIMETER
- MONITOR WELL
- PERC TEST
- PIEZOMETER
- RECOVERY WELL
- SOIL BORING
- SOIL VAPOR POINT
- VAPOR SURVEY POINT

PROPOSED UTILITY MUNICIPAL SYMBOLS

- APRON PROPOSED
- SANITARY CLEANOUT PROPOSED
- SANITARY LIFT STATION PROPOSED
- SANITARY LIFT STATION VALVE MANHOLE PROPOSED
- SANITARY MANHOLE PROPOSED
- SANITARY PLUG PROPOSED
- STORM CATCH BASIN PROPOSED
- STORM MANHOLE PROPOSED
- WATER 11 1/4° BEND PROPOSED
- WATER 22 1/2° BEND PROPOSED
- WATER 45° BEND PROPOSED
- WATER 90° BEND PROPOSED
- WATER CAP PROPOSED
- WATER CROSS PROPOSED
- WATER CURB STOP PROPOSED
- WATER HYDRANT PROPOSED
- WATER REDUCER PROPOSED
- WATER SLEEVE PROPOSED
- WATER TEE PROPOSED
- WATER VALVE PROPOSED

PROPOSED UTILITY PRIVATE SYMBOLS

- ELEC LIGHT POLE PROPOSED

EROSION CONTROL SYMBOLS

- SURFACE DRAINAGE ARROW
- STORM DRAIN INLET PROTECTION

TRAFFIC CONTROL DEVICES & SYMBOLS

- TRAFFIC CONTROL SIGN (1 POST)
- TRAFFIC CONTROL SIGN (2 POST)
- TYPE III BARRICADE
- DRUM CHANNELIZER
- FLASHING ARROW OR MESSAGE BOARD

GENERAL NOTE:

THIS SHEET IS FOR GENERAL REFERENCE ONLY. NOT ALL ITEMS ON THIS PAGE ARE INCLUDED IN THE FOLLOWING PLANS. SEE PLAN SHEETS FOR DETAILED INFORMATION.

EXISTING TOPOGRAPHIC LINES

- CENTER LINE
- EDGE OF WOODS
- FENCE BARB WIRE
- FENCE CHAIN LINK
- FENCE WOOD
- FORCEMAIN
- OVERHEAD CABLE TV
- OVERHEAD ELECTRIC
- OVERHEAD TELE
- RAILROAD
- RETAINING WALL
- SANITARY SEWER
- SANITARY SEWER SERVICE
- STORM SEWER
- STORM SEWER DRAIN TILE
- UNDERGROUND CABLE TV
- UNDERGROUND ELECTRIC
- UNDERGROUND FIBER OPTIC
- UNDERGROUND GAS
- UNDERGROUND TELE
- WATERMAIN
- WATERMAIN SERVICE
- WETLAND EDGE

R/W, LOT & EASEMENTS LINES

- BUILDING SETBACK LINE
- LOT LINE
- EASEMENT LINE
- EASEMENT LINE PROPOSED
- MNDOT CONTROLLED ACCESS LINE
- RIGHT OF WAY EXISTING
- RIGHT OF WAY PROPOSED

PROPOSED CONSTRUCTION LINES

- FENCE CHAIN LINK PROPOSED
- FENCE WOOD PROPOSED
- FENCE BARB WIRE PROPOSED
- FORCEMAIN PROPOSED
- SANITARY SEWER PROPOSED
- SANITARY SERVICE PROPOSED
- STORM SEWER PROPOSED
- STORM SEWER DRAIN TILE PROPOSED
- WATERMAIN PROPOSED
- WATERMAIN SERVICE PROPOSED

EROSION CONTROL LINES

- BALE CHECK
- BIO ROLL
- SILT FENCE
- SILT FENCE TYPE HEAVY DUTY
- SILT FENCE TYPE MACHINE SLICED
- SILT FENCE TYPE PREASSEMBLED
- FLOTATION SILT CURTAIN

HATCH PATTERN AND SHADING LEGEND

- RANDOM RIPRAP
- SOD
- SEED
- HYDRAULIC STABILIZER
- EROSION CONTROL BLANKET
- TEMP. ROCK CONSTRUCTION ENTRANCE
- BUILDING WALL HATCH
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- GRAVEL SURFACE
- EASEMENT PATTERN

DOCUMENTATION SYMBOLS

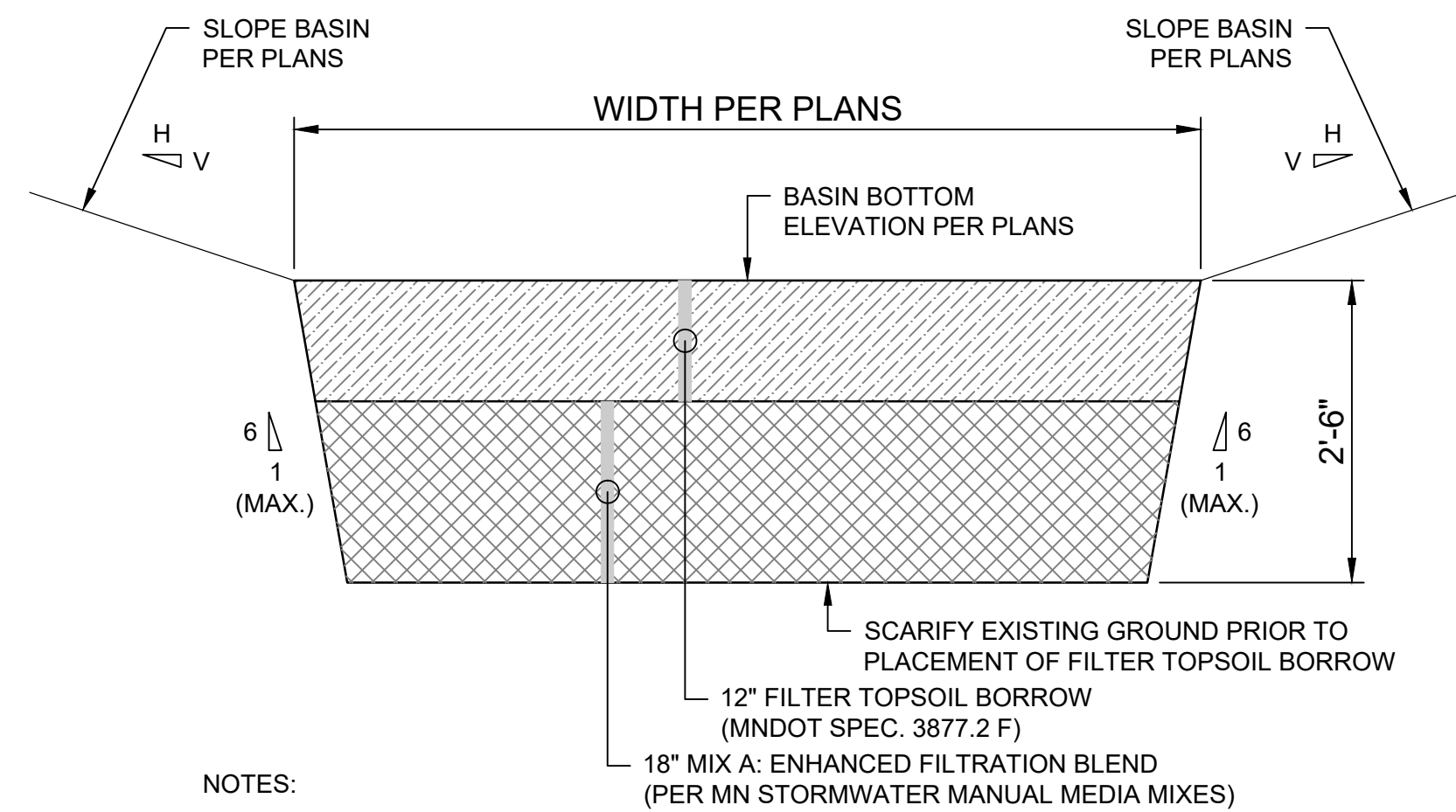
- SECTION ARROW - SECTION NUMBER TOP; PAGE OF SECTION BOTTOM

NEWLY SUBMITTED FOR REVIEW AND APPROVAL BY THE BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS OF THE STATE OF MINNESOTA. I, FRANK E. BRODEEN, A DAILY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA, HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DAILY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Frank Brodeen
DATE: 9/14/2023 LIC. NO. 57780
FRANK E. BRODEEN

DATE	REVISION DESCRIPTION	BY	REVIEW
SEPTEMBER 2023	PLANNING COMMISSION CONDITIONS	FEB	
11/16/2023			

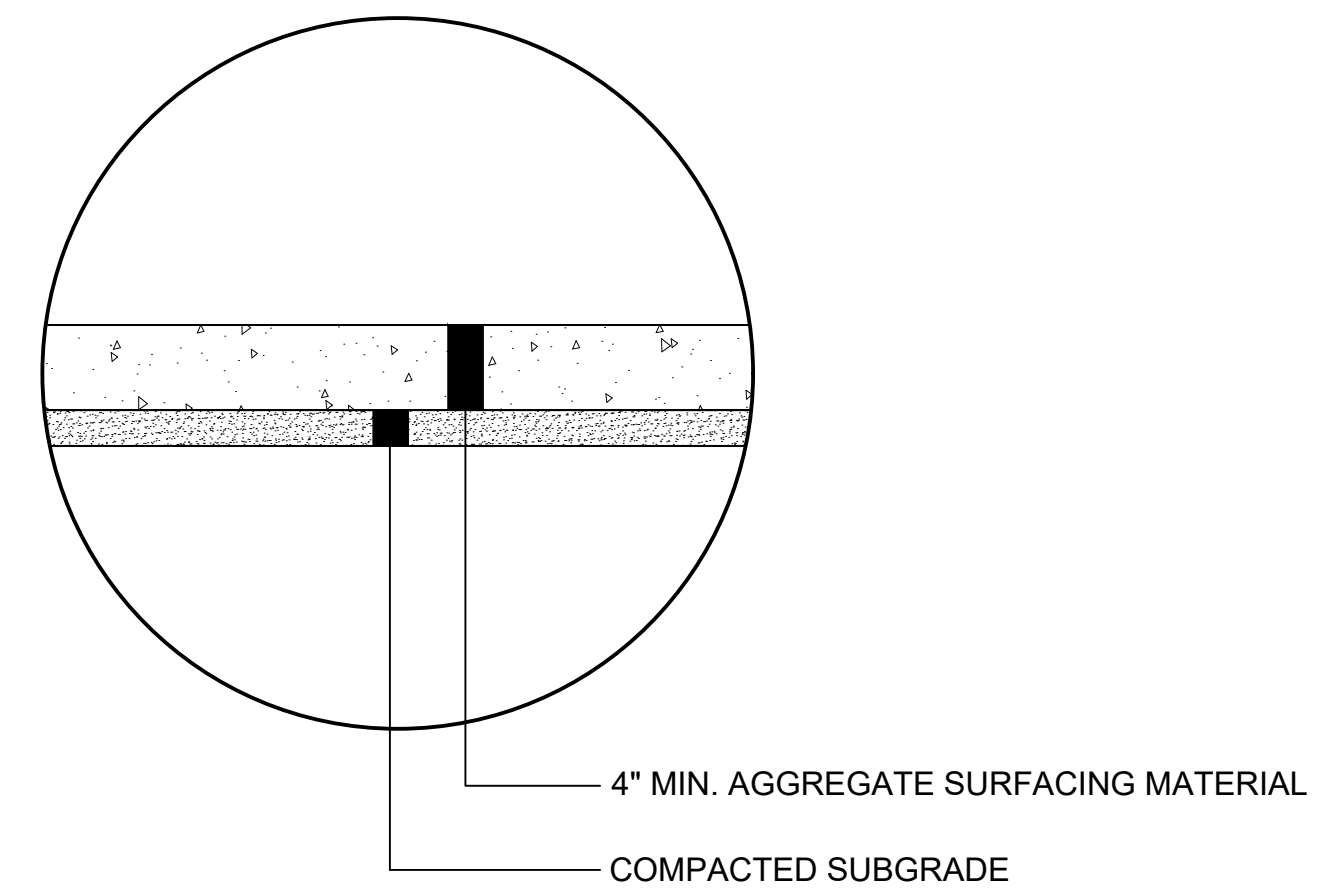
DATE	SCALE	DRAWN BY	CHECKED BY	JOB NUMBER
SEPTEMBER 2023	AS SHOWN	FEB	TNH	2023-10167

ALL SAFE GLOBAL - FENCE AND YARD EXPANSION PROJECT
26443 FALLBROOK AVE
WYOMING, MN
CIVIL LEGEND

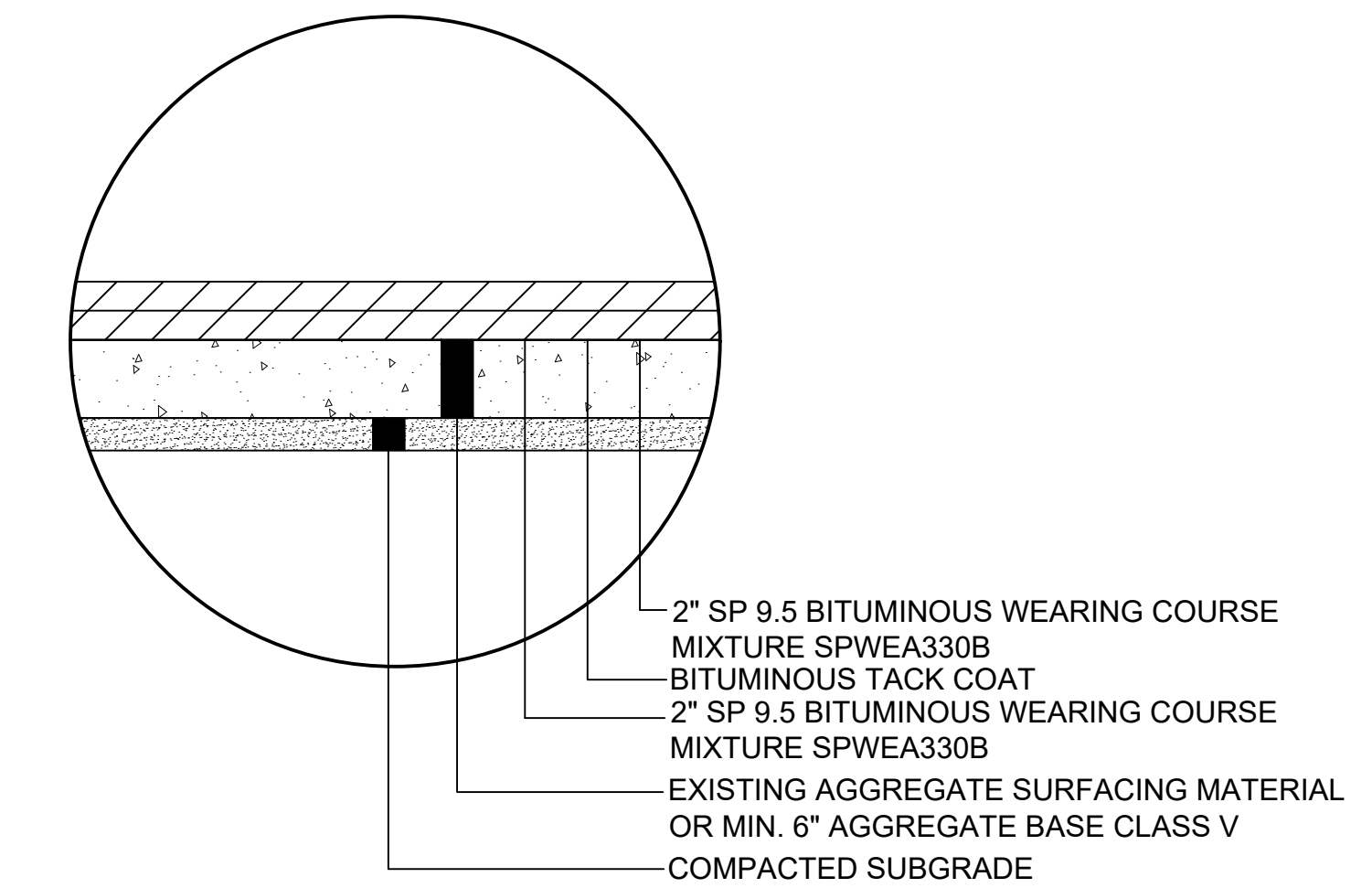


NOTES:
 FINAL STABILIZATION OF CONTRIBUTING DRAINAGE AREA SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF INFILTRATION BASIN. SEE GRADING AND DRAINAGE PLAN FOR CONSTRUCTION SEQUENCING INFORMATION.
 CONTRACTOR TO AVOID COMPACTION OF INFILTRATION AREA AND INFILTRATION MEDIA DURING CONSTRUCTION.
 CONTRACTOR TO PROVIDE SAMPLING AND TESTING OF FILTER TOPOIL MATERIAL PER MNDOT SPEC 3877.3

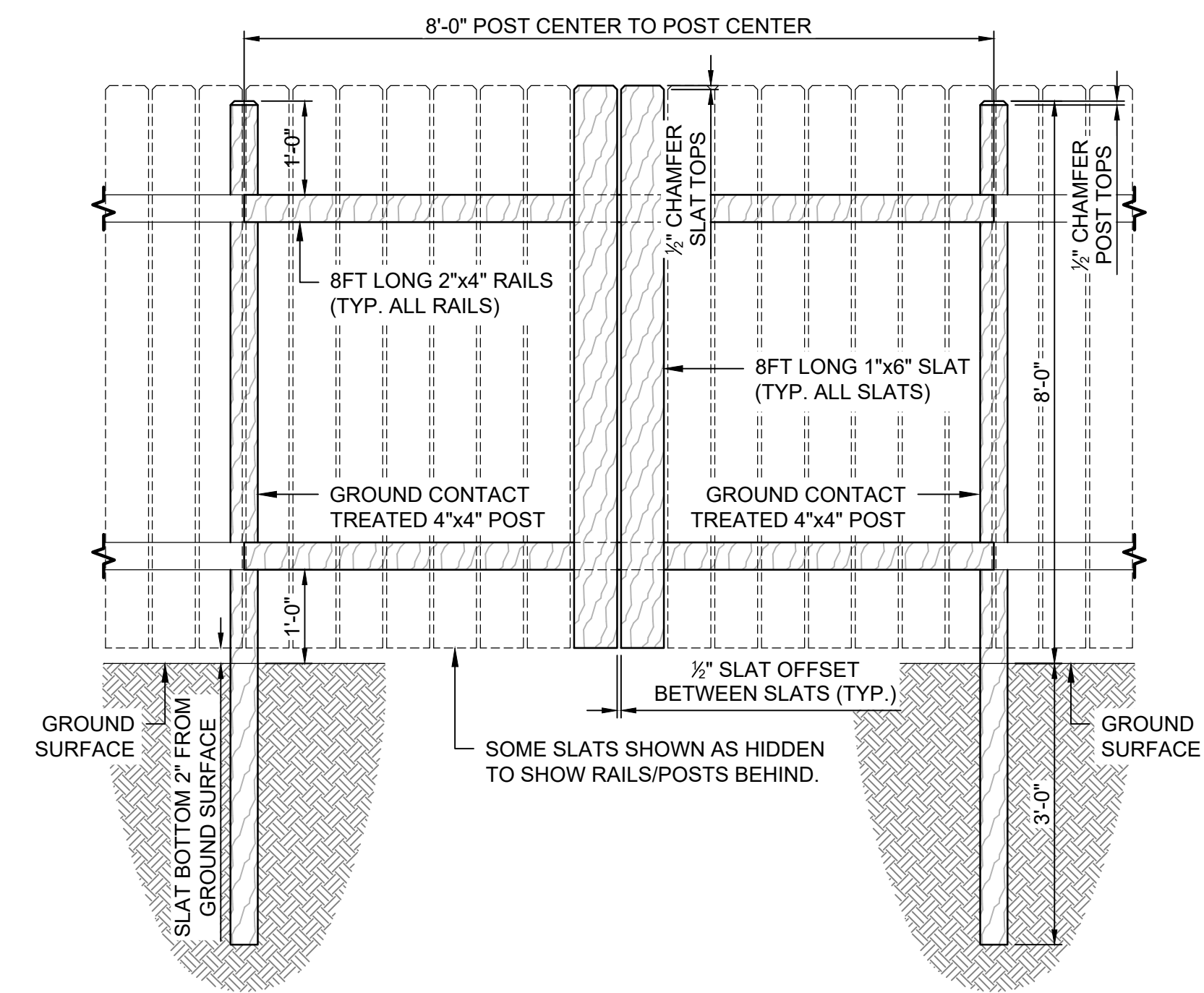
INFILTRATION BASIN SECTION DETAIL
 SCALE: NONE



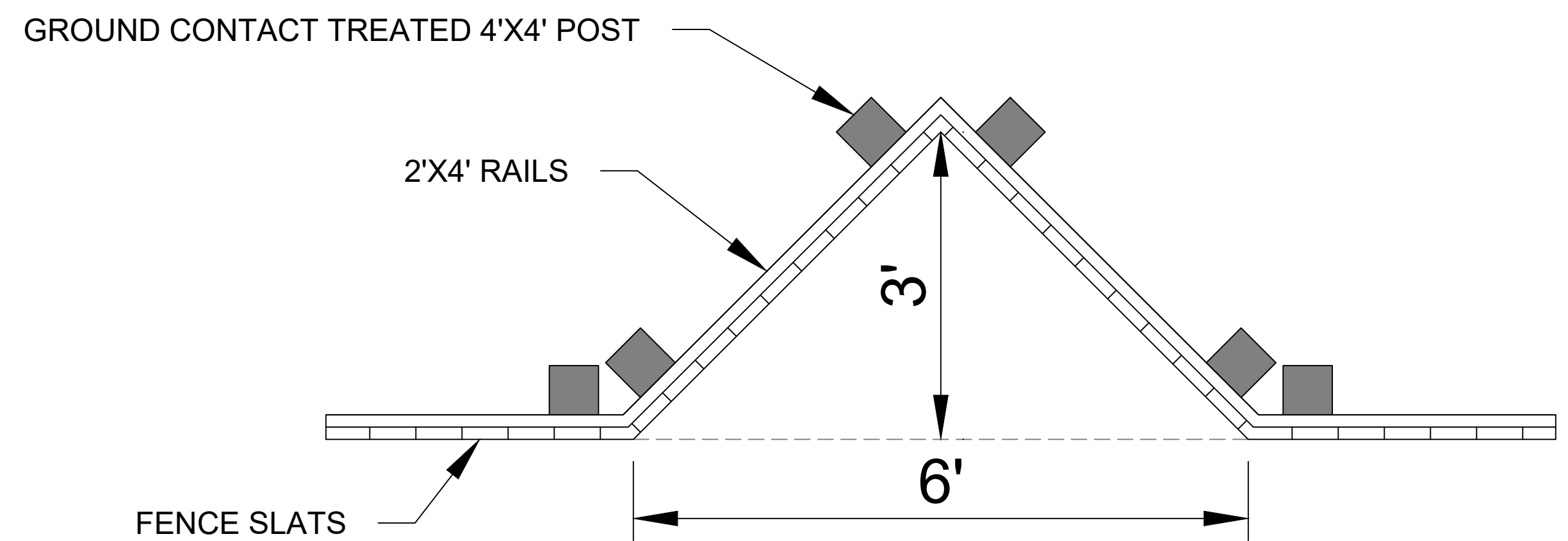
PROPOSED GRAVEL YARD SECTION



PROPOSED BITUMINOUS PAVEMENT SECTION



8FT HIGH WOOD PRIVACY FENCE DETAIL
 SCALE: NONE



PROPOSED FENCE BUMP-IN DETAIL (TYPICAL)

NEWLY CREATED THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 FRANK E. BRODREN
 DATE: 9/14/2023 LIC. NO. 57790

DATE	REVISION DESCRIPTION	BY
11/16/2023	PLANNING COMMISSION CONDITIONS	FEB

SEPTEMBER 2023	AS SHOWN	FEB
SCALE:	DRAWN BY:	TMH
CHECKED BY:	DATE:	2023-10167

ALL SAFE GLOBAL - FENCE AND YARD EXPANSION PROJECT
 26443 FALLBROOK AVE
 WYOMING, MN
CIVIL DETAILS

SHEET NO. **C3.0**

SITE: PARID: 21.00054.00
 26443 FALLBROOK AVE
 WYOMING, MINNESOTA 55092
 ZONE: INDUSTRIAL

OWNER: MORGAN INDUSTRIES INC & C/O ALL SAFE INC
 26443 FALLBROOK AVE
 WYOMING, MN 55092
 CONTACT: JONATHON PETERSON
 EMAIL: JPETERSON@ALLSAFE.NET
 PH: (866) 958-3473

CIVIL ENGINEER: WIDSETH (WIDSETH SMITH NOLTING)
 5368 266TH ST
 WYOMING, MN 55092
 CONTACT: FRANK BRODEEN, PE
 EMAIL: FRANK.BRODEEN@WIDSETH.COM
 PH: (651)-358-2345

GENERAL CONSTRUCTION NOTES:

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER OF ANY DIFFERENCES BETWEEN THE FIELD AND PLAN.

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

UNLESS OTHERWISE NOTED, ALL MATERIALS, CONSTRUCTION TECHNIQUES AND TESTING SHALL CONFORM TO THE 2020 EDITION OF THE "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION, WATERMAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA AND THE "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AS PUBLISHED BY THE MINNESOTA DEPARTMENT OF TRANSPORTATION, 2020 EDITION. THE CONTRACTOR SHALL REQUIRE ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.

THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMISSION/PERMITS FOR ALL WORK LOCATED OUTSIDE OF THE MUNICIPAL RIGHT-OF-WAY AND PROPERTY LIMITS.

THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.

SITE REMOVAL NOTES:

THE CONTRACTOR SHALL LOCATE ALL UTILITIES VIA A GOPHER STATE ONE CALL.

THE CONTRACTOR SHALL LOCATE PRIVATE UTILITIES, COORDINATING WITH THE OWNER.

THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES BEFORE DISTURBING THE SITE.

CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES NOT NOTED FOR DEMOLITION & REMOVAL DURING REMOVALS. ANY DAMAGED STRUCTURES TO REMAIN SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER.

ALL MATERIALS IDENTIFIED FOR REMOVAL SHALL BE DISPOSED OFF SITE IN ACCORDANCE WITH STATE AND LOCAL LAWS.

ALL MATERIALS IDENTIFIED TO BE SALVAGED SHALL BE MAINTAINED AND STORED BY THE CONTRACTOR UNTIL RE-INSTALLED AS PART OF THE PROJECT.

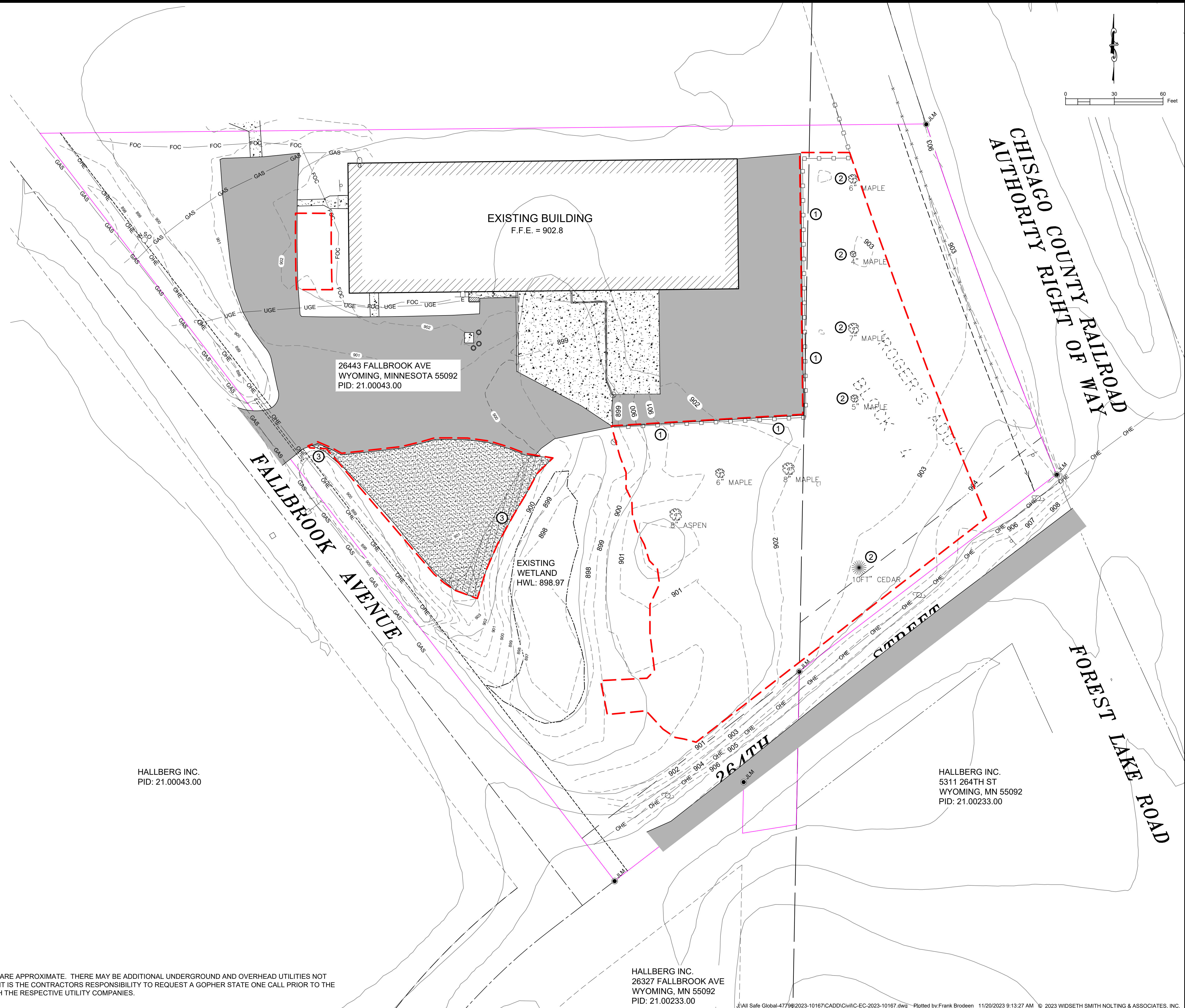
EXISTING FEATURES LEGEND

	DENOTES CONSTRUCTION LIMITS
	DENOTES PROPERTY BOUNDARY
	DENOTES WETLAND BOUNDARY (ASSUMED)
	DENOTES EXISTING FENCE LINE
	DENOTES EXISTING GAS LINE
	DENOTES EXISTING TELECOMMUNICATION LINE
	DENOTES EXISTING FIBEROPTIC LINE
	DENOTES EXISTING ELECTRIC LINE
	DENOTES EXISTING CONCRETE
	DENOTES EXISTING BITUMINOUS
	DENOTES EXISTING TREE
	DENOTES SURVEY BENCHMARK
	DENOTES FOUND POINT
	DENOTES SURVEY CONTROL POINT

REMOVAL NOTES:

- ① SALVAGE FENCE
- ② RELOCATE TREE (SEE LANDSCAPE PLAN)
- ③ REMOVE EXISTING AGGREGATE SURFACE

CAUTION ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND AND OVERHEAD UTILITIES NOT SHOWN ON THE PLAN THAT MAY BE REQUIRED TO BE REMOVED. IT IS THE CONTRACTORS RESPONSIBILITY TO REQUEST A GOPHER STATE ONE CALL PRIOR TO THE START OF ANY CONSTRUCTION AND COORDINATE ALL WORK WITH THE RESPECTIVE UTILITY COMPANIES.



HALLBERG INC.
 PID: 21.00043.00

HALLBERG INC.
 5311 264TH ST
 WYOMING, MN 55092
 PID: 21.00233.00

HALLBERG INC.
 26327 FALLBROOK AVE
 WYOMING, MN 55092
 PID: 21.00233.00

WIDSETH
 ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

DATE: SEPTEMBER 2023
 AS SHOWN: 11/16/2023
 SCALE: AS SHOWN
 DRAWN BY: TMH
 CHECKED BY: TMH
 JOB NUMBER: 2023-10167

ALL SAFE GLOBAL - FENCE AND YARD EXPANSION PROJECT
 26443 FALLBROOK AVE
 WYOMING, MN
 EXISTING CONDITIONS AND REMOVALS PLAN

SHEET NO. **C4.0**
 SHEET 4 OF 12

DATE: 9/14/2023 LIC. NO. 97790
 FRANKIE BRODEEN

SITE: PARID: 21.00054.00
26443 FALLBROOK AVE
WYOMING, MINNESOTA 55092
ZONE: INDUSTRIAL

OWNER: MORGAN INDUSTRIES INC & C/O ALL SAFE INC
26443 FALLBROOK AVE
WYOMING, MN 55092
CONTACT: JONATHON PETERSON
EMAIL: JPETERSON@ALLSAFE.NET
PH: (866) 958-3473

CIVIL ENGINEER: WIDSETH (WIDSETH SMITH NOLTING)
5368 266TH ST
WYOMING, MN 55092
CONTACT: FRANK BRODEEN, PE
EMAIL: FRANK.BRODEEN@WIDSETH.COM
PH: (651)-358-2345

LAND USE CALCULATIONS:

TOTAL PROJECT DISTURBED AREA = 0.94 ACRES

TOTAL PROPERTY = 3.81 ACRES

EXISTING IMPERVIOUS COVERAGE = 1.42 ACRES

EXISTING SITE IMPERVIOUS COVERAGE = 37%

PROPOSED IMPERVIOUS COVERAGE (INCLUDING FUTURE EXPANSION) = 1.93 ACRES

PROPOSED SITE IMPERVIOUS COVERAGE = 51%

PROPOSED GREEN SPACE = 49%

SITE PLAN NOTES:

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-2, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL AND SHALL BE IN COMPLIANCE WITH THE MINNESOTA UNIFORM TRAFFIC CONTROL DEVICES MANUAL AND TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS FIELD MANUAL. THE TRAFFIC CONTROL SHALL BE APPROVED BY THE CITY PRIOR TO INSTALLATION.

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER AND ENGINEER OF ANY DIFFERENCES BETWEEN THE FIELD AND THE PLAN.

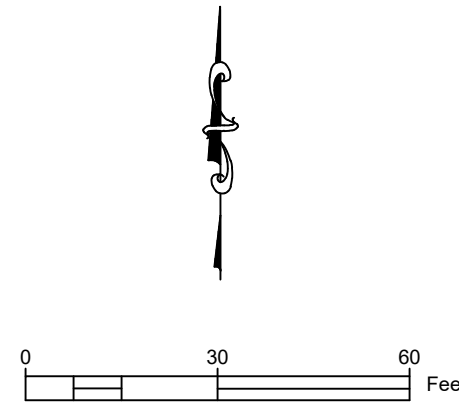
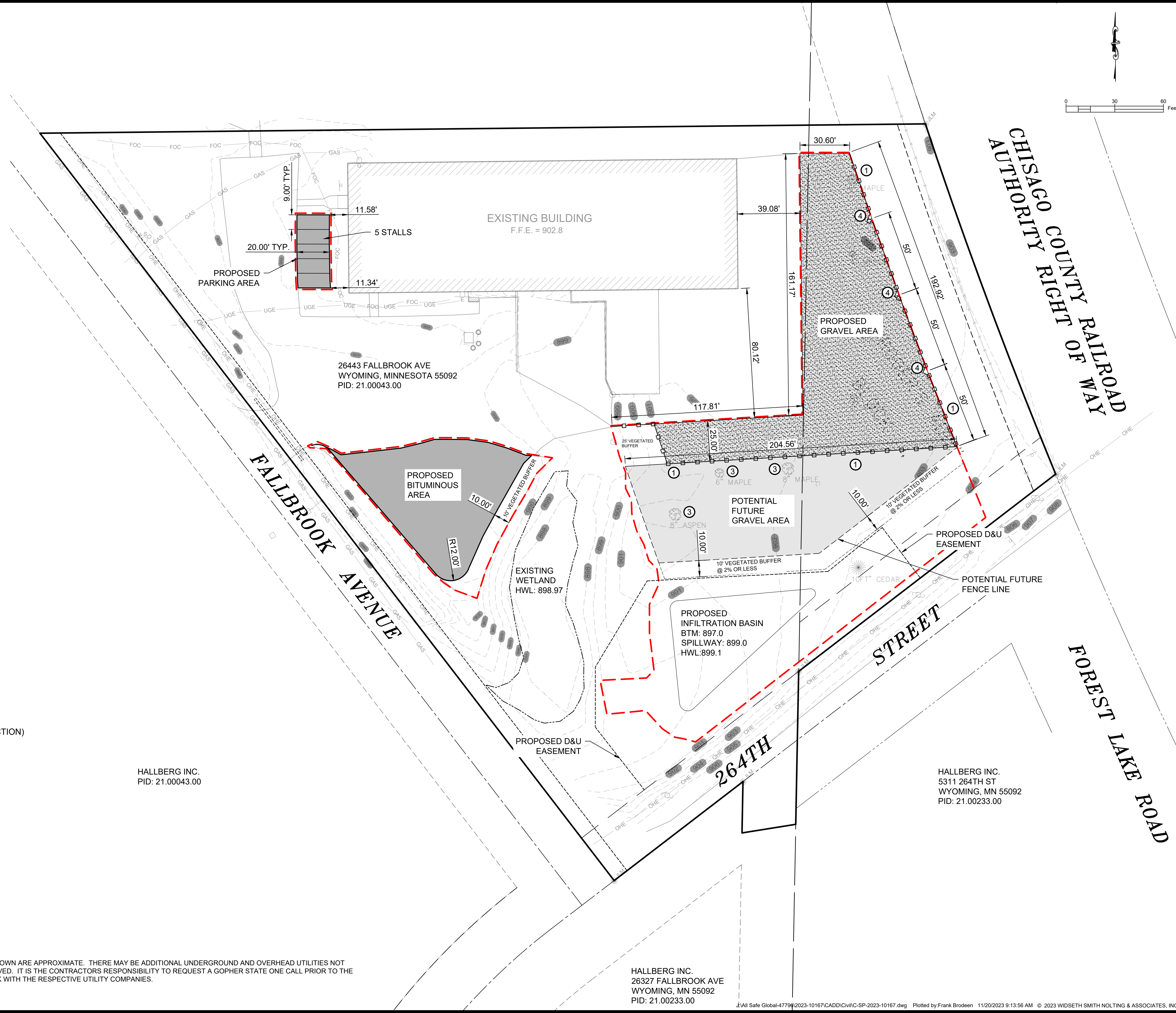
THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMISSION/PERMITS FOR ALL WORK LOCATED OUTSIDE OF THE MUNICIPAL RIGHT OF WAY AND PROPERTY LIMITS.

SEE CIVIL DETAILS SHEET FOR PROPOSED PAVEMENT SECTION INFORMATION.

PROPOSED FEATURES LEGEND

	DENOTES CONSTRUCTION LIMITS
	DENOTES PROPOSED AGGREGATE SURFACE
	DENOTES PROPOSED BITUMINOUS SURFACE
	DENOTES FENCE LINE (SEE FENCE DETAIL)

- CONSTRUCTION NOTES:**
- 1 PROPOSED FENCE LINE (SEE FENCE DETAIL)
 - 2 PROPOSED AGGREGATE SURFACE (SEE DETAIL FOR TYPICAL SECTION)
 - 3 PROTECT TREE DURING CONSTRUCTION
 - 4 6' WIDE BY 3' DEPTH FENCE BUMP-IN (SEE DETAILS)



ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND AND OVERHEAD UTILITIES NOT SHOWN ON THE PLAN THAT MAY BE REQUIRED TO BE REMOVED. IT IS THE CONTRACTORS RESPONSIBILITY TO REQUEST A GOPHER STATE ONE CALL PRIOR TO THE START OF ANY CONSTRUCTION AND COORDINATE ALL WORK WITH THE RESPECTIVE UTILITY COMPANIES.

HALLBERG INC.
PID: 21.00043.00

HALLBERG INC.
26327 FALLBROOK AVE
WYOMING, MN 55092
PID: 21.00233.00

HALLBERG INC.
5311 264TH ST
WYOMING, MN 55092
PID: 21.00233.00

WIDSETH
ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

BY: FRANK BRODEEN
DATE: 9/14/2023
LIC. NO. 27780

DATE	REVISION DESCRIPTION
11/16/2023	PLANNING COMMISSION CONDITIONS

DATE	SCALE	AS SHOWN	DATE	SCALE	AS SHOWN
SEPTEMBER 2023	AS SHOWN		FEB		

ALL SAFE GLOBAL - FENCE AND YARD EXPANSION PROJECT
26443 FALLBROOK AVE
WYOMING, MN
JOB NUMBER: 2023-10167

SHEET NO. **C5.0**
SHEET 5 OF 12

SITE: PARID: 21.00054.00
26443 FALLBROOK AVE
WYOMING, MINNESOTA 55092
ZONE: INDUSTRIAL

OWNER: MORGAN INDUSTRIES INC & C/O ALL SAFE INC
26443 FALLBROOK AVE
WYOMING, MN 55092
CONTACT: JONATHON PETERSON
EMAIL: JPETERSON@ALLSAFE.NET
PH: (866) 958-3473

CIVIL ENGINEER: WIDSETH (WIDSETH SMITH NOLTING)
5368 266TH ST
WYOMING, MN 55092
CONTACT: FRANK BRODEEN, PE
EMAIL: FRANK.BRODEEN@WIDSETH.COM
PH: (651)-358-2345

GRADING PLAN NOTES:

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-2, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.

SPOT ELEVATIONS SHOWN INDICATE FINISHED SURFACE GRADE, UNLESS OTHERWISE NOTED.

ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE NOTED ON THE PLANS.

SEE CIVIL DETAILS FOR PROPOSED INFILTRATION BASIN MEDIA SECTION.

PROPOSED FEATURES LEGEND

	DENOTES CONSTRUCTION LIMITS
	DENOTES PROPOSED GRADING CONTOUR
	DENOTES PROPOSED FLOW DIRECTION AND SLOPE

CONSTRUCTION NOTES:

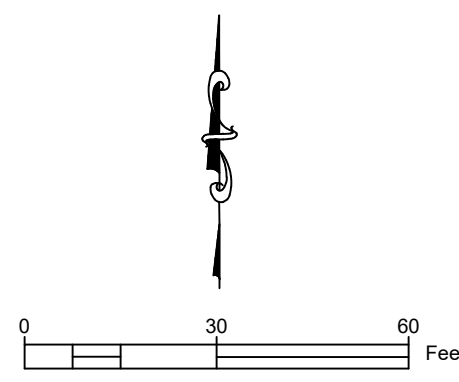
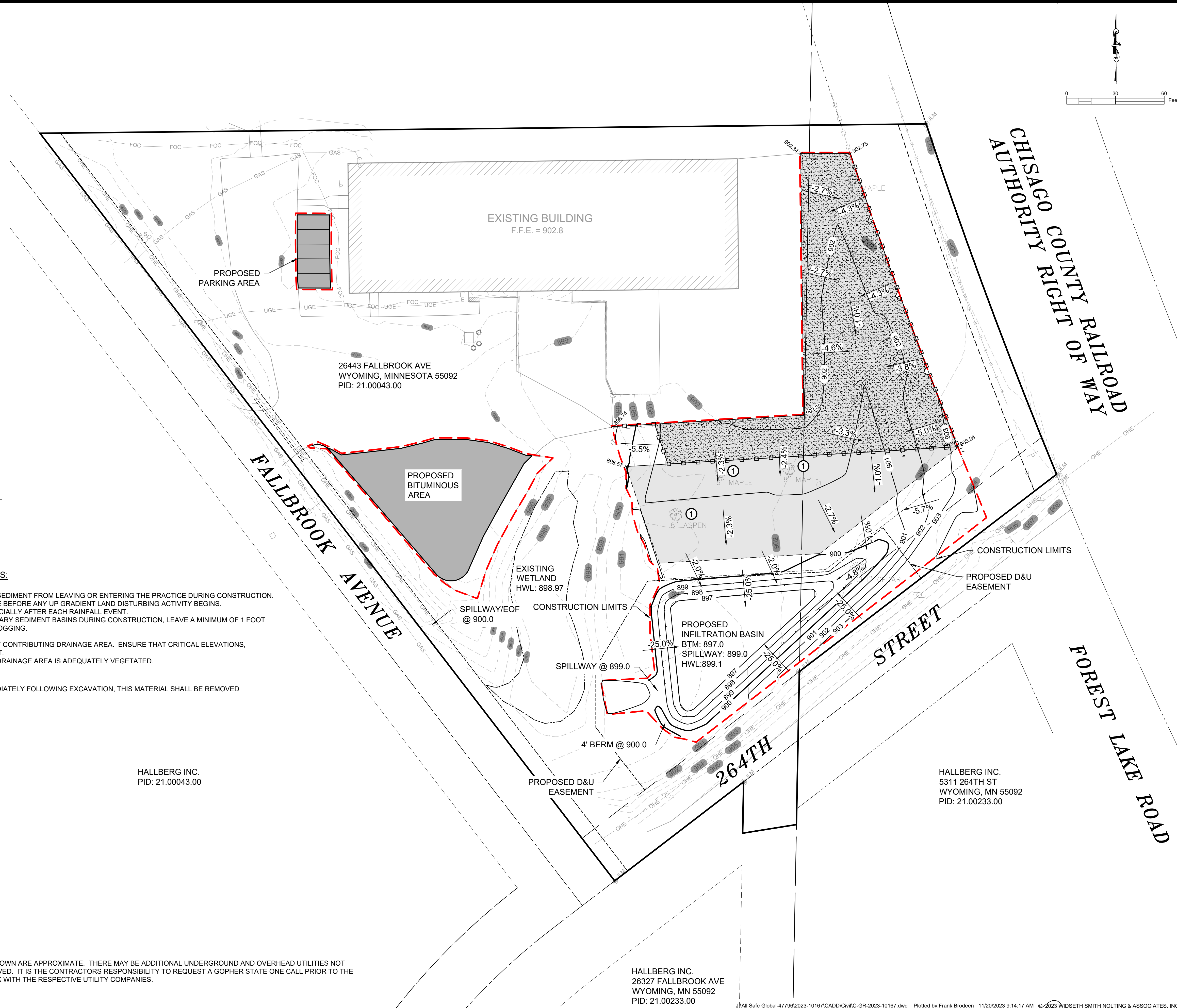
1. PROTECT TREE DURING CONSTRUCTION. PROPOSED GRADING SHALL AVOID EXISTING TREES AND EXISTING ROOT STRUCTURES.

PROPOSED INFILTRATION BASIN CONSTRUCTION SEQUENCING NOTES:

1. INSTALL APPROPRIATE TEMPORARY EROSION CONTROL DEVICES TO PREVENT SEDIMENT FROM LEAVING OR ENTERING THE PRACTICE DURING CONSTRUCTION.
2. ALL DOWN-GRADIENT PERIMETER SEDIMENT CONTROL BMP'S MUST BE IN PLACE BEFORE ANY UP GRADIENT LAND DISTURBING ACTIVITY BEGINS.
3. PERFORM CONTINUOUS INSPECTIONS OF EROSION CONTROL PRACTICES, ESPECIALLY AFTER EACH RAINFALL EVENT.
4. ROUGH GRADE THE SITE. IF INFILTRATION AREAS ARE BEING USED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION, LEAVE A MINIMUM OF 1 FOOT OF COVER OVER THE PRACTICE TO PROTECT THE UNDERLYING SOILS FROM CLOGGING.
5. COMPLETE, STABILIZE, AND VEGETATE ALL OTHER SITE IMPROVEMENTS.
6. CONSTRUCT AND VEGETATE INFILTRATION BASIN FOLLOWING STABILIZATION OF CONTRIBUTING DRAINAGE AREA. ENSURE THAT CRITICAL ELEVATIONS, SUCH AS TOP OF MEDIA, AND INVERT OF OVERFLOW STRUCTURE ARE CORRECT.
7. REMOVE TEMPORARY EROSION CONTROL DEVICES AFTER THE CONTRIBUTING DRAINAGE AREA IS ADEQUATELY VEGETATED.

GENERAL NOTES:

8. IN THE EVENT THAT SEDIMENT IS INTRODUCED INTO THE BMP DURING OR IMMEDIATELY FOLLOWING EXCAVATION, THIS MATERIAL SHALL BE REMOVED FROM THE PRACTICE PRIOR TO CONTINUING CONSTRUCTION.
9. SEE MINNESOTA STORMWATER MANUAL FOR SUBGRADE PREPARATION.



WIDSETH
ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

NEWLY SUBMITTED AND APPROVED FOR RECORD. THIS REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Frank Brodeen
FRANK BRODEEN
DATE: 9/14/2023 LIC. NO. 57790

DATE	REVISION DESCRIPTION
11/16/2023	AS SHOWN
	FEB
	T.M.H.

DATE: SEPTEMBER 2023
SCALE: AS SHOWN
DRAWN BY: FEB
CHECKED BY: T.M.H.
JOB NUMBER: 2023-10167

ALL SAFE GLOBAL - FENCE AND YARD EXPANSION PROJECT
26443 FALLBROOK AVE
WYOMING, MN
GRADING AND DRAINAGE PLAN

SHEET NO. **C6.0**
SHEET 6 OF 12



ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND AND OVERHEAD UTILITIES NOT SHOWN ON THE PLAN THAT MAY BE REQUIRED TO BE REMOVED. IT IS THE CONTRACTORS RESPONSIBILITY TO REQUEST A GOPHER STATE ONE CALL PRIOR TO THE START OF ANY CONSTRUCTION AND COORDINATE ALL WORK WITH THE RESPECTIVE UTILITY COMPANIES.

HALLBERG INC.
26327 FALLBROOK AVE
WYOMING, MN 55092
PID: 21.00233.00

HALLBERG INC.
5311 264TH ST
WYOMING, MN 55092
PID: 21.00233.00

HALLBERG INC.
PID: 21.00043.00

SITE: PARID: 21.00054.00
26443 FALLBROOK AVE
WYOMING, MINNESOTA 55092
ZONE: INDUSTRIAL

OWNER: MORGAN INDUSTRIES INC & C/O ALL SAFE INC
26443 FALLBROOK AVE
WYOMING, MN 55092
CONTACT: JONATHON PETERSON
EMAIL: JPETERSON@ALLSAFE.NET
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CIVIL ENGINEER: WIDSETH (WIDSETH SMITH NOLTING)
5368 266TH ST
WYOMING, MN 55092
CONTACT: FRANK BRODEEN, PE
EMAIL: FRANK.BRODEEN@WIDSETH.COM
PH: (651)-358-2345

GENERAL CONSTRUCTION NOTES:

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER OF ANY DIFFERENCES BETWEEN THE FIELD AND PLAN.

UNLESS OTHERWISE NOTED, ALL MATERIALS, CONSTRUCTION TECHNIQUES AND TESTING SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AS PUBLISHED BY THE MINNESOTA DEPARTMENT OF TRANSPORTATION, 2020 EDITION. THE CONTRACTOR SHALL REQUIRE ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.

THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMISSION/PERMITS FOR ALL WORK LOCATED OUTSIDE OF THE MUNICIPAL RIGHT-OF-WAY AND PROPERTY LIMITS.

THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.

TURF ESTABLISHMENT AND EROSION CONTROL PLAN NOTES:

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CI/ASCE 38-2, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.

ALL SILT FENCE AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED. MAINTENANCE AND REMOVAL OF SEDIMENT CONTROL DEVICES SHALL BE INCIDENTAL TO THE GRADING CONTRACT

ALL STREETS UTILIZED FOR PROJECT CONSTRUCTION MUST BE CLEANED AT THE END OF EACH DAY. A ROCK ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO REDUCE TRACKING OF SEDIMENT ONTO PUBLIC STREETS.

ALL EXPOSED SOILS MUST BE STABILIZED WITHIN 14 CALENDAR DAYS OF ROUGH GRADE COMPLETION OR AFTER CONSTRUCTION TERMINATES. ALL STOCKPILES SHALL HAVE ADEQUATE SEDIMENT TRAPPING SYSTEMS INSTALLED AROUND THEM.

ALL AREAS TO BE ESTABLISHED TO GRASS COVER SHALL RECEIVE 4" OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

SEE PLAN FOR A COMPLETE LEGEND OF HATCHES AND SYMBOLS USED FOR TURF ESTABLISHMENT AND EROSION CONTROL.

LEGEND:

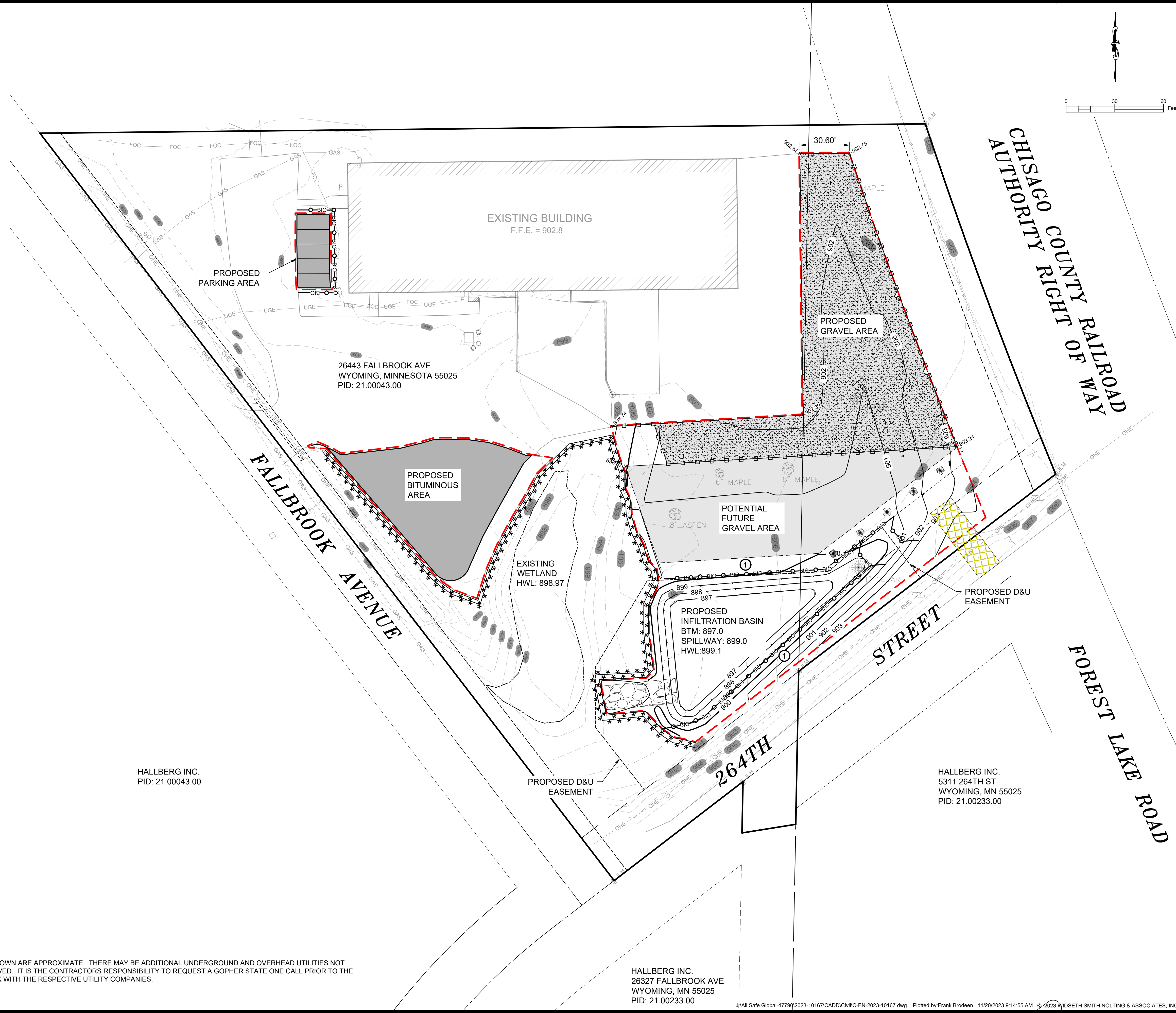
- ***** SILT-FENCE
- BIO—BIO—BIO—BIO— SEDIMENT CONTROL LOG (BIOROLL)
- [Grid Pattern] ROCK CONSTRUCTION EXIT
- [Stippled Pattern] RANDOM RIP RAP CL II

CONSTRUCTION NOTES:

① INSTALL BIOROLL PRIOR TO INFILTRATION BASIN CONSTRUCTION AND AFTER STABILIZATION OF CONTRIBUTING DRAINAGE AREA.



ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND AND OVERHEAD UTILITIES NOT SHOWN ON THE PLAN THAT MAY BE REQUIRED TO BE REMOVED. IT IS THE CONTRACTORS RESPONSIBILITY TO REQUEST A GOPHER STATE ONE CALL PRIOR TO THE START OF ANY CONSTRUCTION AND COORDINATE ALL WORK WITH THE RESPECTIVE UTILITY COMPANIES.



HALLBERG INC.
PID: 21.00043.00

HALLBERG INC.
26327 FALLBROOK AVE
WYOMING, MN 55025
PID: 21.00233.00

HALLBERG INC.
5311 264TH ST
WYOMING, MN 55025
PID: 21.00233.00

WIDSETH
ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

NEWLY SUBMITTED PERMITS AND PERMITS FOR THIS PROJECT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DAILY LICENSED CIVIL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
Frank Brodeen
DATE: 9/14/2023 LIC. NO. 57790

DATE	REVISION DESCRIPTION	BY
SEPTEMBER 2023	PLANNING COMMISSION CONDITIONS	FEB
11/16/2023		FEB

DATE	SCALE	AS SHOWN	DATE	SCALE	AS SHOWN
SEPTEMBER 2023			SEPTEMBER 2023		
11/16/2023			11/16/2023		

ALL SAFE GLOBAL - FENCE AND YARD EXPANSION PROJECT
26443 FALLBROOK AVE
WYOMING, MN
JOB NUMBER: 2023-10167

SHEET NO. **C7.0**
SHEET 7 OF 12

SITE: PARID: 21.00054.00
 26443 FALLBROOK AVE
 WYOMING, MINNESOTA 55092
 ZONE: INDUSTRIAL

OWNER: MORGAN INDUSTRIES INC & C/O ALL SAFE INC
 26443 FALLBROOK AVE
 WYOMING, MN 55092
 CONTACT: JONATHON PETERSON
 EMAIL: JPETERSON@ALLSAFE.NET
 PH: (866) 958-3473

CIVIL ENGINEER: WIDSETH (WIDSETH SMITH NOLTING)
 LANDSCAPE ARCHITECTURE 5368 266TH ST
 WYOMING, MN 55092
 CONTACT: FRANK BRODEEN, PE
 EMAIL: FRANK.BRODEEN@WIDSETH.COM
 PH: (651)-358-2345

LAND USE CALCULATIONS:

TOTAL PROJECT DISTURBED AREA = 0.90 ACRES

TOTAL PROPERTY = 3.81 ACRES

EXISTING IMPERVIOUS COVERAGE = 1.41 ACRES

EXISTING SITE IMPERVIOUS COVERAGE = 37%

PROPOSED IMPERVIOUS COVERAGE (INCLUDING FUTURE EXPANSION) = 1.97 ACRES

PROPOSED SITE IMPERVIOUS COVERAGE = 0.52%

PROPOSED GREEN SPACE = 48%

CONSTRUCTION NOTES:

① PROPOSED FENCE LINE (SEE FENCE DETAIL)

② PROPOSED AGGREGATE SURFACE (SEE DETAIL FOR TYPICAL SECTION)

③ PROTECT TREE DURING CONSTRUCTION (SEE DETAIL)

LANDSCAPE REGULATIONS SEC. 40-555:

MINIMUM NUMBER OF TREES: (1) OVERSTORY TREE AND TWO (2) UNDERSTORY TREES PER 1/10TH ACRE.

OVERSTORY REQUIRED: 9
 OVERSTORY PROVIDED: 12

UNDERSTORY REQUIRED: 18
 UNDERSTORY PROVIDED: 25

ALL SPECIES PROPOSED FROM LIST OF DESIRED SPECIES IN SECTION - 2.(i) AND ARE NATIVE SPECIES

NO MORE THAN 50% OF REQUIRED TREES IS COMPOSED OF (1) SPECIES

PLANT SCHEDULE				
TREES	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
PW	PRUNUS SEROTINA / BLACK CHERRY	2.5" B&B		3
QB	QUERCUS BICOLOR / SWAMP WHITE OAK	2.5" CAL.	B&B	2
EVERGREEN TREES	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
LL	LARIX LARICINA / TAMARACK	6' HT.		6
PG	PICEA GLAUCA / WHITE SPRUCE	6' HT.	B.R.	6
ORNAMENTAL TREE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
AG2	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE' / AUTUMN BRILLIANCE APPLE SERVICEBERRY	1" CAL.	POT	8
SHRUBS	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
CG	CORNUS RACEMOSA / GRAY DOGWOOD	15 GAL.		15
PN	PHYSOCARPUS OPULIFOLIUS / NINEBARK	10 GAL.		7
SV	SPIRAEA ALBA LATIFOLIA / WHITE MEADOWSWEET	5 GAL.		11
GROUND COVERS	BOTANICAL / COMMON NAME	QTY		
MA	MNDOT - METRO SEED M 33-261 / STORMWATER SOUTH & WEST	15,513 SF		
MW	MNDOT 36-711 WOODLAND EDGE CENTRAL / WOODLAND EDGE CENTRAL	16,936 SF		



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 PID: 21.00233.00

WIDSETH
 ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

DATE: SEPTEMBER 2023
 AS SHOWN
 DRAWN BY: JER
 CHECKED BY: JER
 JOB NUMBER: 2023-10167

ALL SAFE GLOBAL - FENCE AND YARD EXPANSION PROJECT
 26443 FALLBROOK AVE
 WYOMING, MN
 LANDSCAPE PLAN

SHEET NO. **L1.0**
 SHEET 8 OF 12

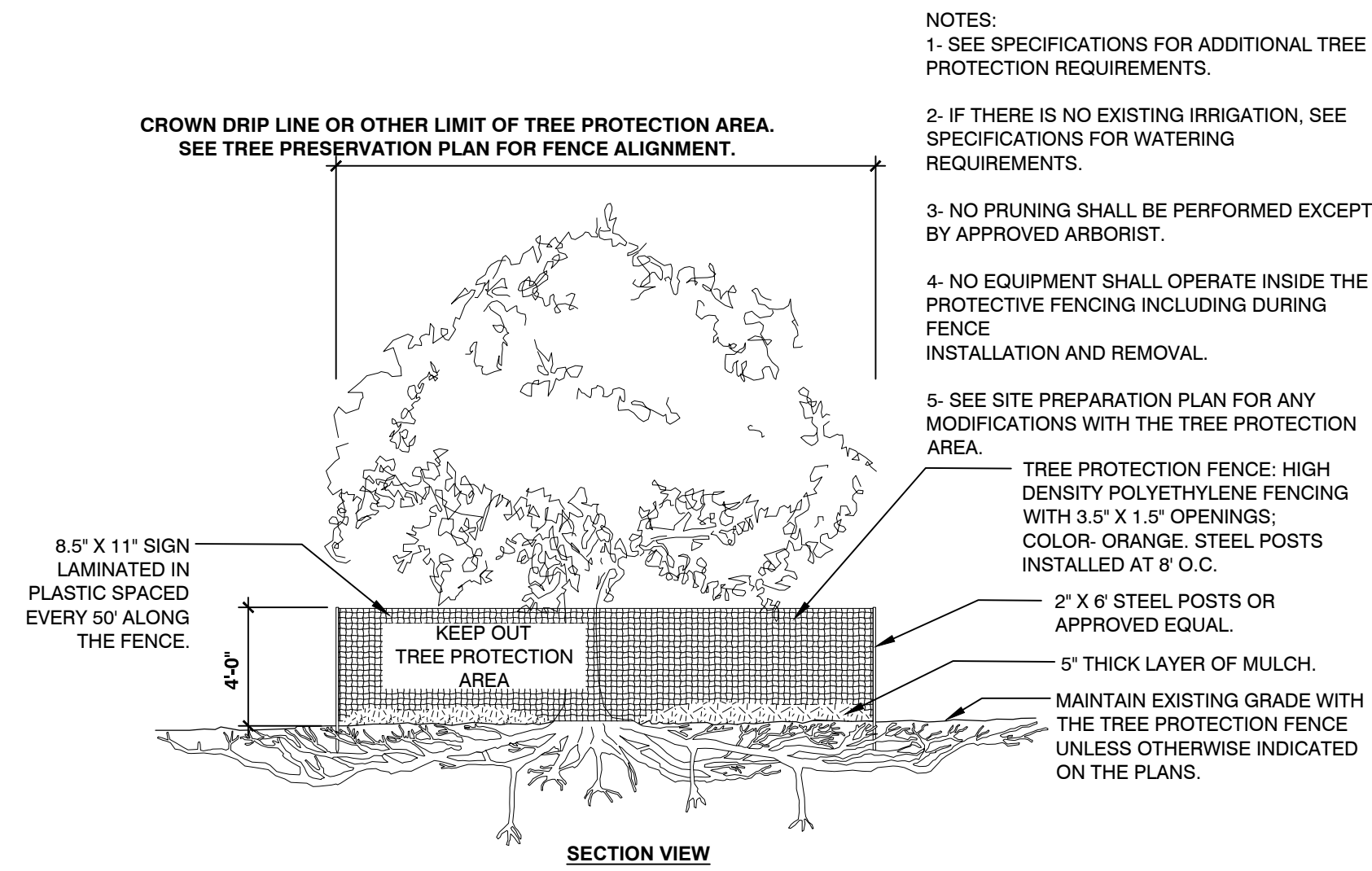
J:\All Safe Global\47798\2023-10167\CADD\Civil-LP-2023-10167.dwg Plotted by: Jillian Reiner 11/15/2023 9:20:09 AM © 2023 WIDSETH SMITH NOLTING & ASSOCIATES, INC.

GENERAL NOTES

- REMOVE ALL BURLAP FROM THE TOP OF ROOT BALL. REMOVE ALL GREEN TREATED BURLAP. REMOVE ALL PLANT IDENTIFICATION TAGS FROM ALL PLANT MATERIALS.
- KEEP ALL PLANT MATERIALS MOIST AND SHADED UNTIL PLANTED.
- FOR CONTAINER PLANTS: MAKE 4 TO 5 VERTICAL CUTS IN ROOT BALL AFTER PLANT HAS BEEN REMOVED. MAKE CUTS 1/2" DEEP. PLANT IMMEDIATELY.
- SPREAD MULCH SO THAT IT IS NOT IN CONTACT WITH WOODY BASE OF PLANT.
- MULCH AT BASE OF TREES 5'-0" DIAMETER RING WHERE TREES ARE LOCATED IN OPEN GRASS AREAS.
- THESE NOTES ARE FOR GENERAL REFERENCE IN CONJUNCTION WITH DETAILS, ADDENDA AND CHANGE ORDERS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
- LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES PRIOR TO INSTALLATION.
- LANDSCAPE CONTRACTOR SHALL BECOME FAMILIAR WITH THE LOCATION OF ALL EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH WORK TO BE DONE.
- FINE GRADING AND EDGING SHALL BE APPROVED PRIOR TO PLANTING OPERATIONS.
- PLANT MATERIAL SHALL NOT BE INSTALLED IN AN AREA WHICH WILL CAUSE HARM TO ADJACENT STRUCTURES. NOTIFY THE ARCHITECT SHOULD CONFLICTS ARISE.
- UNLESS OTHERWISE NOTED, FINISH GRADE OF PLANTING AREAS SHALL BE 2" BELOW ADJACENT PAVING. TAPER 3" DEPTH MULCH TOP DRESSING TO 1/2" BELOW ADJACENT PAVING (1 1/2" DEPTH) WITHIN 2" OF PAVING.
- ALL EXISTING TREES, SHRUBS, VINES AND GROUND COVERS TO REMAIN SHALL BE PROTECTED. ANY DAMAGE CAUSED BY CONTRACTOR'S WORK OR NEGLIGENCE SHALL BE REPLACED OR REPAIRED AT THE CONTRACTORS EXPENSE TO THE SATISFACTION OF THE OWNER.
- LANDSCAPE CONTRACTOR SHALL ASSURE COMPLIANCE WITH APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK AND MATERIALS SUPPLIED.
- LANDSCAPE CONTRACTOR SHALL PROTECT EXISTING ROADS, CURB AND GUTTER, TRAILS, TREES, LAWNS AND SITE ELEMENTS DURING CONSTRUCTION. DAMAGE TO THESE ITEM SHALL BE REPAIRED AT NO COST TO OWNER.
- UNDERGROUND SERVICES SHALL BE INSTALLED SO THAT TRENCHES DO NOT CUT THROUGH ROOT SYSTEMS OF EXISTING TREES TO REMAIN.
- LANDSCAPE CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN SITE CONDITIONS WHICH MIGHT NEGATIVELY AFFECT PLANT MATERIALS ESTABLISHMENT, SURVIVAL OR WARRANTY. UNDESIRABLE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BEGINNING OF WORK.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ONGOING MAINTENANCE OF NEWLY INSTALLED MATERIALS UNTIL TIME OF SUBSTANTIAL COMPLETION. REPAIR OF ACTS OF VANDALISM OR DAMAGE WHICH MAY HAVE OCCURRED PRIOR TO SUBSTANTIAL COMPLETION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- EXISTING TREES OR SIGNIFICANT SHRUB MASSING FOUND ON SITE SHALL BE PROTECTED AND SAVED UNLESS NOTED TO BE REMOVED OR ARE LOCATED IN AN AREA TO BE GRADED. QUESTIONS REGARDING EXISTING PLANT MATERIALS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO REMOVAL.
- EXISTING TREES TO REMAIN, UPON DIRECTION OF ARCHITECT, SHALL BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD, DAMAGED AND RUBBING BRANCHES.
- SYMBOLS ON PLAN DRAWING TAKE PRECEDENCE OVER SCHEDULES IF DISCREPANCIES IN QUANTITIES EXIST. DETAILS TAKE PRECEDENCE OVER NOTES.
- IT IS CONTRACTOR'S RESPONSIBILITY TO SALVAGE TREES INDICATED ON PLAN, VERIFY EXACT PLANT TYPE, KEEP MOIST AND IN GOOD CONDITION DURING CONSTRUCTION, AND REPLANT ACCORDING TO PLANTING PLAN.

PLANTING NOTES

- LANDSCAPE CONTRACTOR SHALL LAY OUT PLANT MATERIAL PER PLAN AND FACE TO GIVE BEST APPEARANCE OR RELATION TO ADJACENT PLANTS, STRUCTURES OR VIEWS. CONTRACTOR TO OBTAIN APPROVAL FROM ARCHITECT PRIOR TO INSTALLATION.
- PLANT LOCATIONS ARE DIAGRAMMATIC AND MAY BE ADJUSTED IN THE FIELD AT THE ARCHITECT'S REQUEST PRIOR TO INSTALLATION. OBTAIN APPROVAL OF PLANT LAYOUT FROM ARCHITECT PRIOR TO PLANTING.
- MULCH AREAS IDENTIFIED ARE TO RECEIVE 80% 2" - 4" RIVER ROCK AND 20% 1/2" ROCK MULCH OVER 4 OZ. WEED FABRIC, DEWITT "WEED BARRIER" OR APPROVED EQUAL.
- ALL NEWLY PLANTED MATERIAL SHALL BE THOROUGHLY SOAKED WITH WATER WITHIN 3 HOURS OF PLANTING.
- THIRTY DAYS AFTER PLANTING, CONTRACTOR SHALL RE-STAKE AND STRAIGHTEN TREES AS NECESSARY.
- LANDSCAPE CONTRACTOR SHALL THOROUGHLY LOOSEN ANY COMPACTED SUBGRADES PRIOR TO PLACING TOPSOIL, TO A MINIMUM DEPTH OF 10". ROLL SUBGRADES TO PREVENT SETTLING.
- CONTRACTOR WITH RE-USE EXISTING TOPSOIL FROM SITE AND BRING TO FINISH GRADE WITH 4" OF TOPSOIL IN ALL LAWN AREAS, AND 12" OF TOPSOIL IN ALL PLANTING BED NOT ADJACENT TO BUILDING.
- LANDSCAPE CONTRACTOR SHALL REMOVE SOD, CONTAMINATED SOILS, MISCELLANEOUS WASTE MATERIALS FROM AREAS TO BE PLANTED AND SEEDED. CONTRACTOR SHALL LOOSEN COMPACTED SUBSOILS BY TILLING AND IMPORT NEW TOPSOIL AS REQUIRED TO RESTORE GRADES AND MAINTAIN POSITIVE DRAINAGE AWAY FROM THE BUILDING. VERIFY FINAL LIMITS OF AREAS WITH ARCHITECT PRIOR TO COMMENCING OPERATIONS.
- KEEP ALL PLANT MATERIALS MOIST AND SHADED UNTIL PLANTED.
- NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS GRANTED BY THE ARCHITECT TO THE LANDSCAPE CONTRACTOR PRIOR TO THE SUBMISSION OF BID.
- PLANT MATERIALS TO BE INSTALLED PER PLANT DETAILS.
- PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH DRIED BONE MEAL, OR OTHER APPROVED FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS OR MAY BE TREATED FOR SUMMER AND FALL INSTALLATION WITH AN APPLICATION OF GRANULAR 10-0-5 OF 10 OZ. PER 2.0" CALIPER TREE AND 6 OZ. PER SHRUB.
- PLANTING AREAS RECEIVING ANNUALS SHALL RECEIVE A MINIMUM OF 18" DEPTH OF PLANTING SOIL CONSISTING OF 45 PARTS TOPSOIL, 45 PARTS SCREENED COMPOST AND 10 PARTS SAND.
- PERENNIAL AND SHRUB BEDS ARE TO RECEIVE APPLICATION OF PRE - EMERGENT HERBICIDE (PREEN OR APPROVED EQUAL) FOLLOWED BY 4" DEEP MULCH.
- LANDSCAPE CONTRACTOR SHALL WARRANTY NEW PLANT MATERIAL THROUGH TWO CALENDAR YEARS FROM DATE OF SUBSTANTIAL COMPLETION.
- CONTRACTOR SHALL HAVE SUFFICIENT WATERING EQUIPMENT AND/OR FORCES AVAILABLE TO COMPLETELY WATER ALL PLANT MATERIALS ONCE EACH WEEK THROUGH THE WARRANTY PERIOD. WATERING INTERVALS SHALL BE VARIED AND BASED ON PREVAILING MOISTURE AND WEATHER CONDITIONS.
- NO SOIL IS TO BE PLACED ON TOP OF WEED BARRIER FABRIC.



1 TREE PROTECTION

3/16" = 1'-0"

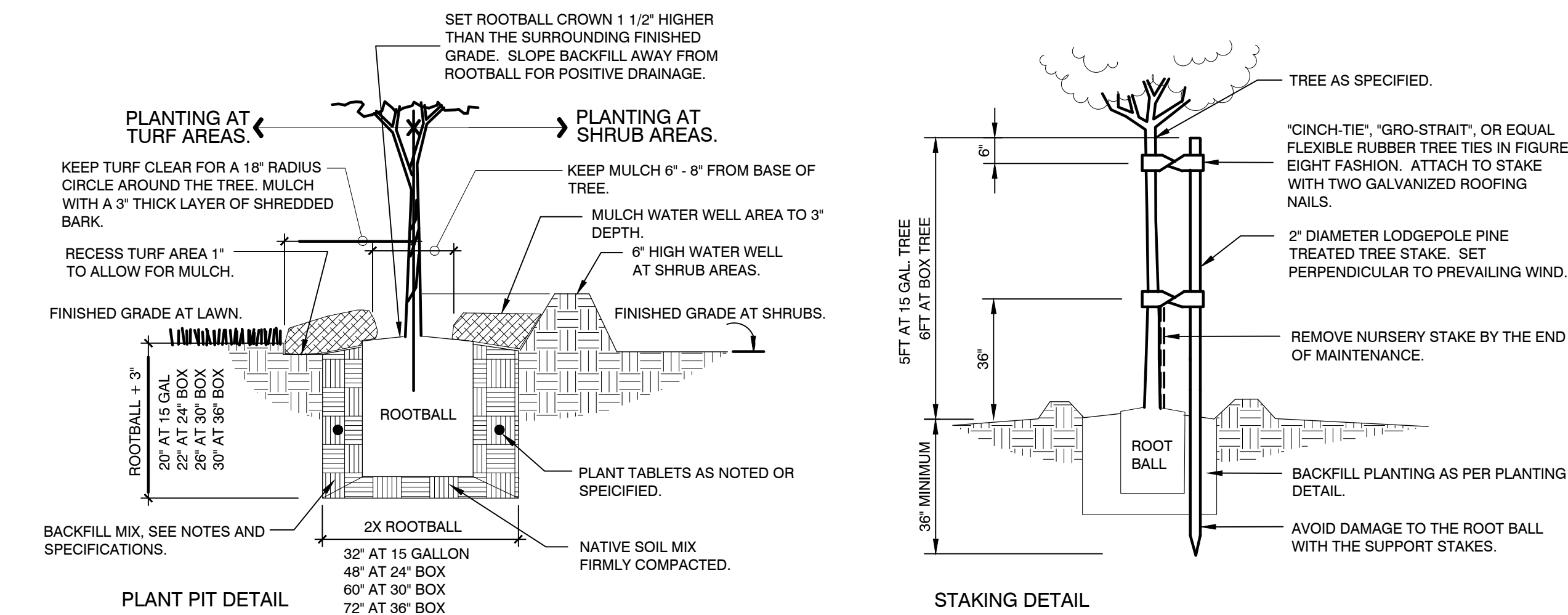
URBAN TREE FOUNDATION © 2014
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P-AL-02

2 SOLID PANEL WOOD FENCE

1" = 1'-0"

FX-SI-FX-FENC-06



3 TREE SINGLE STAKE PLANTING

1" = 1'-0"

P-AL-01

DATE	REVISION DESCRIPTION	BY

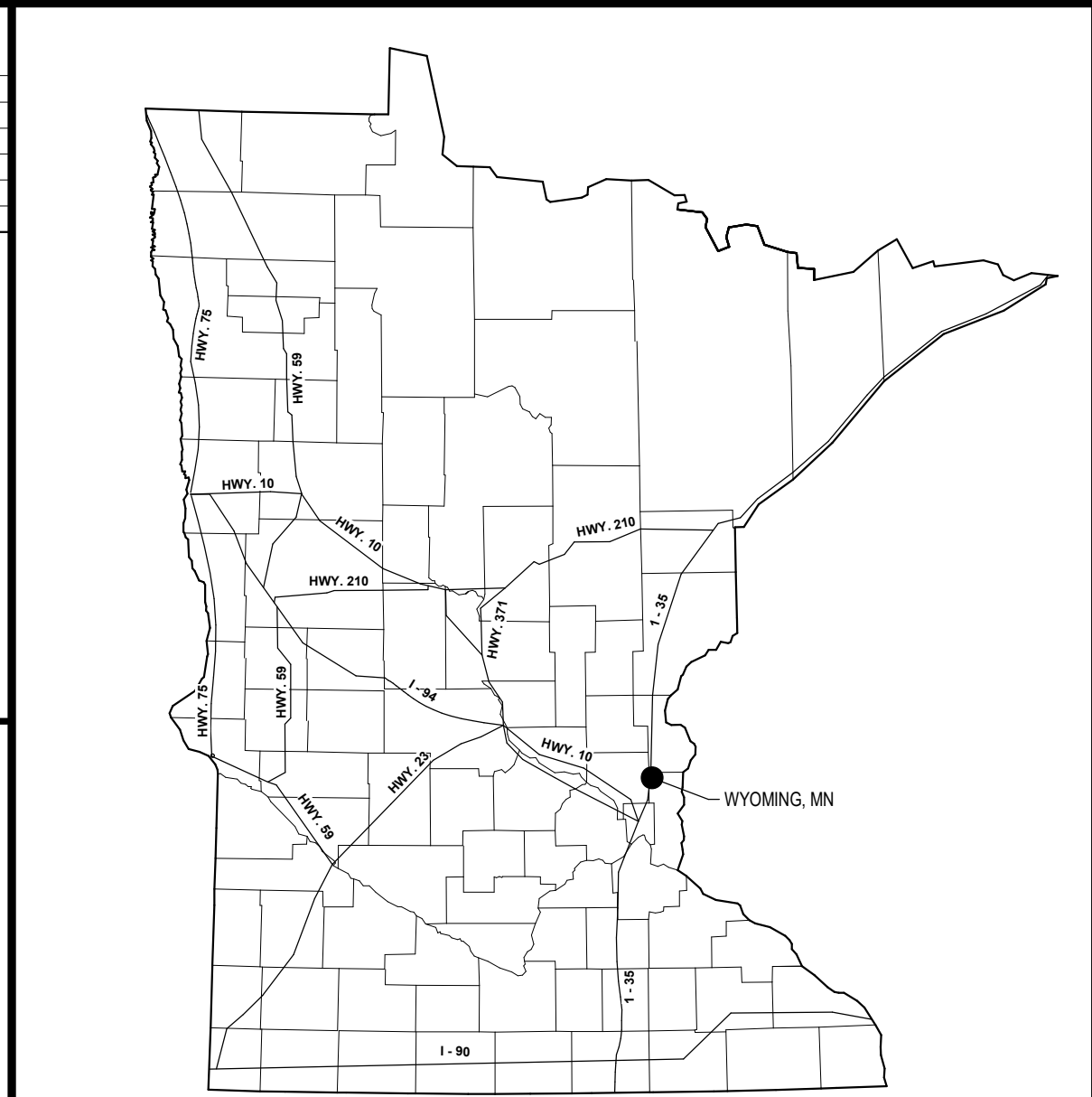
DATE: SEPTEMBER 2023	AS SHOWN
SCALE: 1/8" = 1'-0"	JER
DRAWN BY: JER	JER
CHECKED BY: JER	JER
JOB NUMBER: 2023-10167	

ALL SAFE GLOBAL - FENCE AND YARD EXPANSION PROJECT
26443 FALLBROOK AVE
WYOMING, MN
LANDSCAPE DETAILS

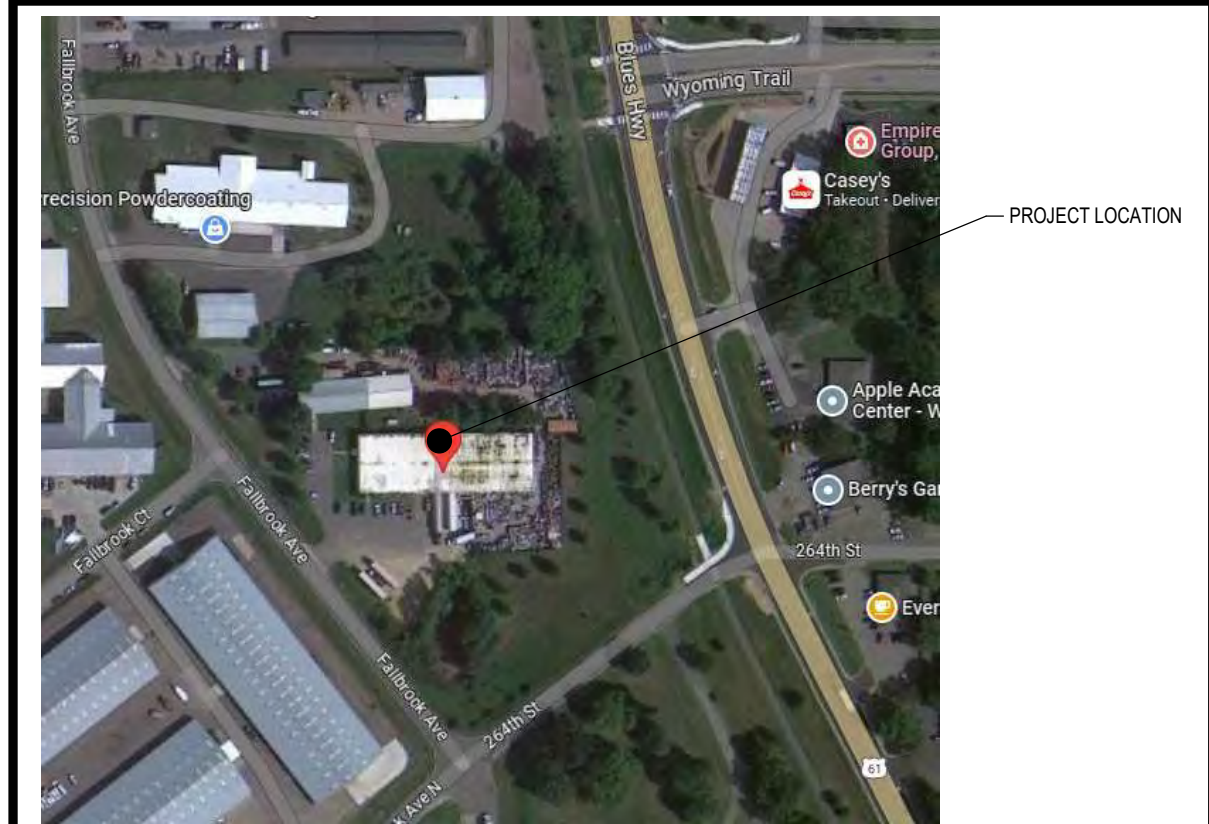
ALL SAFE GLOBAL - FENCE AND YARD EXPANSION PROJECT

26443 FALLBROOK AVE WYOMING, MN

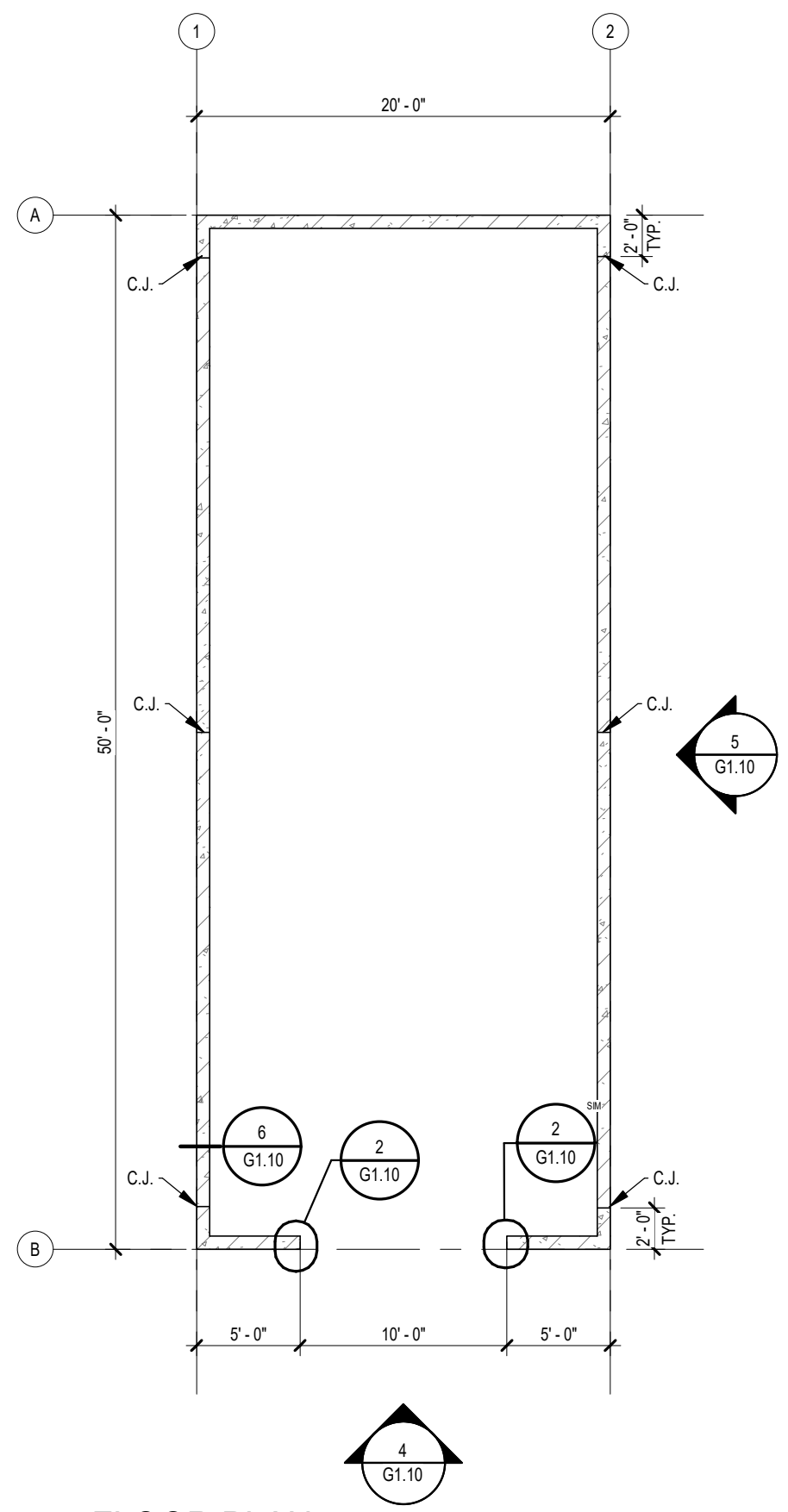
SHEET INDEX	
SHEET #	SHEET NAME
GENERAL	G1.10 TITLE SHEET
CIVIL	FIG 1 OUTDOOR STORAGE PLAN
# OF SHEETS: 2	



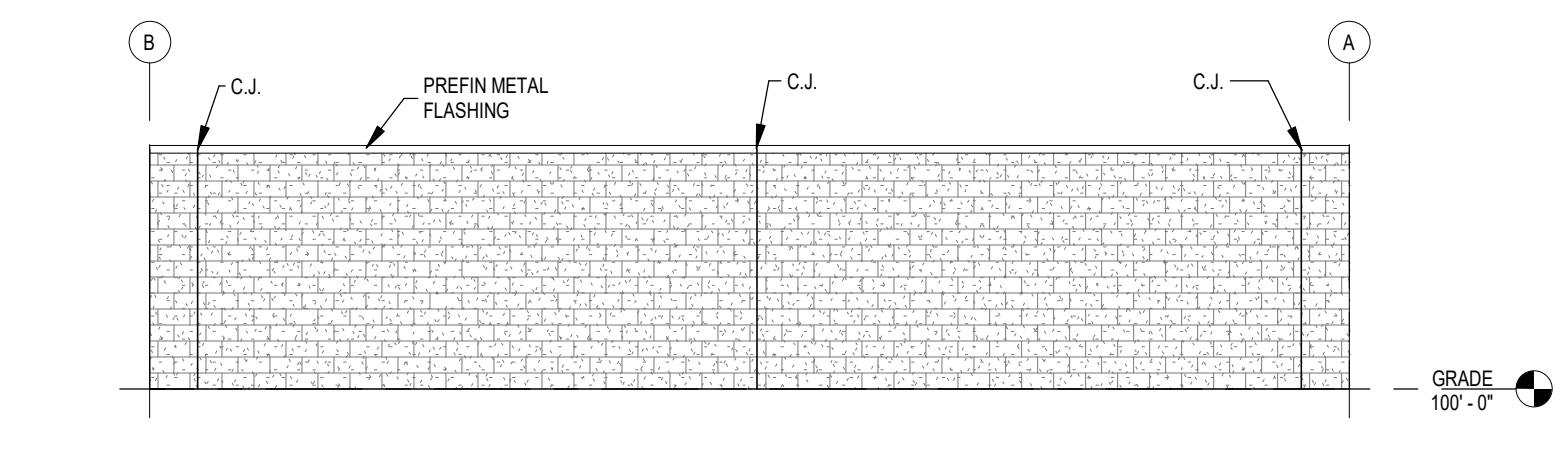
STATE MAP



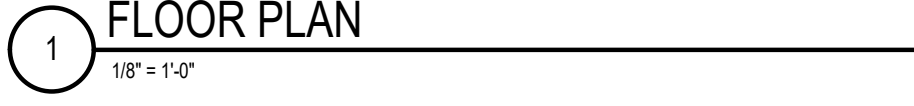
VICINITY MAP



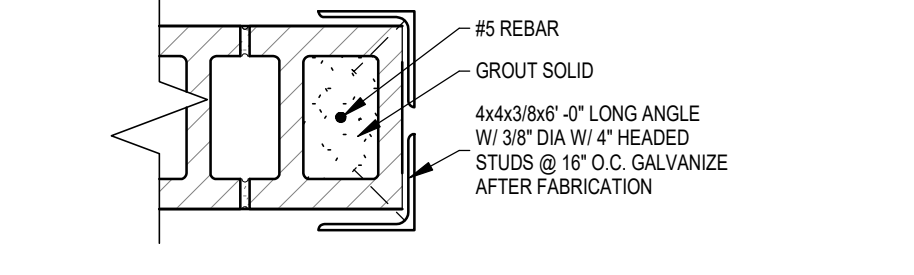
4 FRONT ELEVATION
1/8" = 1'-0"



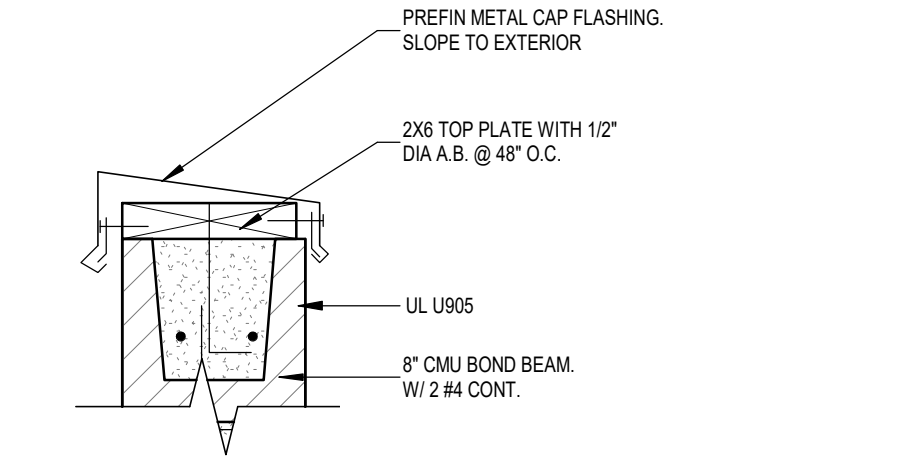
5 SIDE ELEVATION
1/8" = 1'-0"



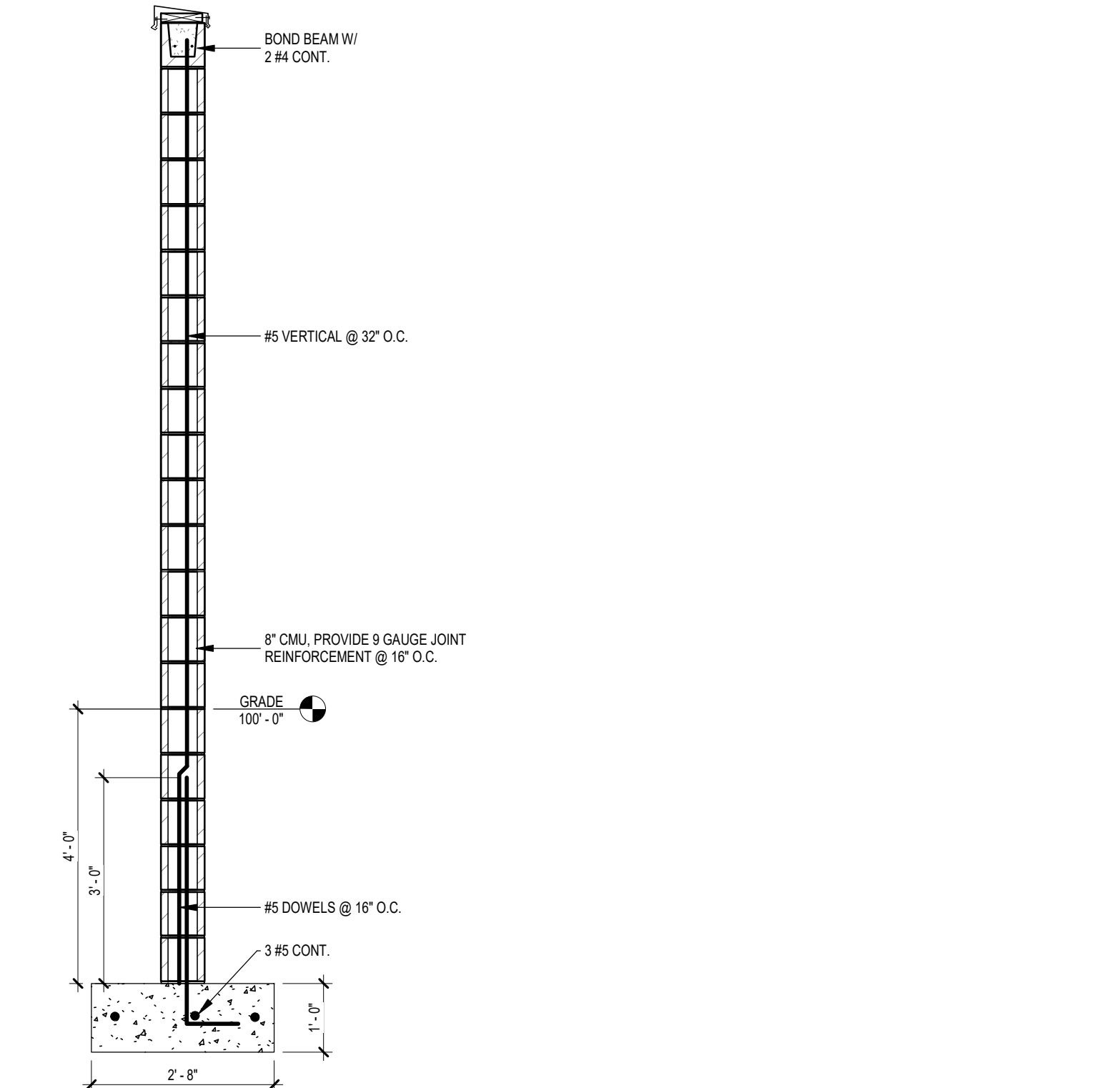
1 FLOOR PLAN
1/8" = 1'-0"



2 CORNER GUARD DETAIL
1 1/2" = 1'-0"



3 TOP OF CMU DETAIL
1 1/2" = 1'-0"



6 FOUNDATION DETAIL
1/2" = 1'-0"

STRUCTURAL NOTES

- I. DESIGN DATA:
 - A. BUILDING CODES
 1. INTERNATIONAL BUILDING CODE - 2018
 2. MINNESOTA BUILDING CODE - 2020
 3. AMERICAN CONCRETE INSTITUTE 318-11
 4. NMA. SPECIFICATION FOR THE DESIGN & CONSTRUCTION OF LOAD BEARING CONCRETE MASONRY
 5. AMERICAN INSTITUTE OF STEEL CONSTRUCTION, 14th EDITION
 6. CRSI, MANUAL OF STANDARD PRACTICE
 7. PRESTRESSED CONCRETE INSTITUTE (PCI) MNL 116 "MANUAL FOR QUALITY CONTROL FOR PLANTS AND PRODUCTION OF PRECAST CONCRETE PRODUCTS"
 - B. DESIGN LOADS

1. WIND LOAD:	EXPOSURE	C
	DESIGN WIND SPEED, ULTIMATE	115 MPH
	RISK CATEGORY	II
 - C. SPECIAL INSPECTION

OWNER SHALL EMPLOY A SPECIAL INSPECTION AGENCY TO PROVIDE INSPECTION DURING CONSTRUCTION IN ACCORDANCE WITH SECTION 1704 OF THE IBC. SPECIAL INSPECTOR TO PROVIDE FINAL SIGNED REPORT TO OWNER, BUILDING OFFICIAL, AND STRUCTURAL ENGINEER.

THE FOLLOWING ITEMS REQUIRE SPECIAL INSPECTION:

 3. MASONRY: PERIODIC INSPECTION PER LEVEL 1.
 4. CONCRETE: CONCRETE AND REINFORCEMENT PLACEMENT, CONCRETE STRENGTH, SLUMP, AIR TEST.
- II. SITE WORK:
 - A. SOIL REPORT

2. DESIGN NET SOIL BEARING CAPACITY IS AS FOLLOWS:	
a. SPREAD FOOTINGS	2000 PSF
b. STRIP FOOTINGS	2000 PSF
 3. CONTRACTOR TO HAVE BOTTOM OF EXCAVATION INSPECTED BY SOILS ENGINEER PRIOR TO CASTING FOOTINGS TO VERIFY SOIL BEARING CAPACITY.
 4. MINIMUM DEPTH FROM EXTERIOR GRADE TO BOTTOM OF BUILDING PERIMETER FOUNDATION SHALL BE 3'-4" ALL OPEN AIR FOUNDATIONS SHALL HAVE A MINIMUM OF 5'-0" OF FROST PROTECTION.
 5. BACKFILL EVENLY ON EACH SIDE OF WALLS IN 8' LIFTS TO A MINIMUM OF 98% OF THE MAXIMUM STANDARD PROCTOR DENSITY.
 6. FOOTINGS TO BEAR ON UNDISTURBED, UNFROZEN SOIL. FILL BELOW FOOTINGS SHALL BE PLACED IN 8' LIFTS AND COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM STANDARD PROCTOR DENSITY.
- III. CONCRETE:

A. CONCRETE MATERIAL PROPERTIES	FC PSI	SLUMP
	28 DAYS	INCHES
1. CONCRETE PROPERTIES		
a. FOOTINGS, WALLS	3,000 PSI	3" - 4"
b. INTERIOR SLAB ON GRADE	4,000 PSI	3" - 4"
c. EXTERIOR SLAB ON GRADE	4,000 PSI	3" - 4"

 2. ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED TO GIVE THE CONCRETE AN AIR CONTENT OF 5% - 8% BY VOLUME.
 3. CONCRETE MIX DESIGNS AND SUPPORTIVE DATA MUST BE SUBMITTED FOR APPROVAL ACCORDING TO ACI 318-11, SECTION 5.3. SEE SPECIFICATIONS FOR MORE INFORMATION.
- IV. MASONRY:

A. MATERIAL PROPERTIES	STRENGTH (PSI)	ASTM
1. HOLLOW MASONRY UNITS	1900	C90-N1
2. HOLLOW UNIT MASONRY (ASSEMBLY)	1350 fm	
3. GROUTED HOLLOW UNIT MASONRY (ASSEMBLY)	1500 fm	
6. MORTAR TYPE S (LOAD BEARING BLOCK)	1500 mo	C270
7. GROUT	2000 mo	C476
8. REINFORCING BARS	60,000 mo	A615
9. COLD DRAWN STEEL WIRE	70,000 mo	A82

 1. DESIGN IS BASED ON INSPECTED VALUES AS PUBLISHED IN THE "BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES" (ACI 530-02/ASCE 5-02)
 2. ALL HOLLOW UNIT BLOCK COMPRESSION TEST STRENGTHS REQUIRED TO ACHIEVE THE f_m STATED ABOVE SHALL BE ACCORDING TO "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACI 530-1-02/ASCE 6-02) BASED ON STRENGTHS BY THE UNIT STRENGTH METHOD SECTION 1.6.
 3. MASONRY WALLS SHALL HAVE CONTROL JOINTS AT A MAXIMUM OF 30'-0" UNLESS NOTED OTHERWISE.
 4. PROVIDE STANDARD 90° HOOK DOWELS BETWEEN FOUNDATIONS AND WALLS EQUAL TO THE SIZE AND SPACING OF THE VERTICAL REINFORCING UNLESS NOTED OTHERWISE.
 5. PROVIDE 9 GA. HORIZONTAL JOINT REINFORCEMENT EVERY COURSE IN STACK BOND WALLS AND EVERY OTHER COURSE IN RUNNING BOND WALLS.
 6. REINFORCEMENT SPLICES SHALL BE A MINIMUM OF 48 BAR DIAMETERS FOR TENSION SPLICES AND 30 BAR DIAMETERS FOR COMPRESSION SPLICES. ALL SPLICES SHALL MEET TENSION REQUIREMENTS UNLESS NOTED OTHERWISE.
 7. PROVIDE CONTINUOUS BOND BEAM REINFORCEMENT WITH TWO #4 BARS, OR AS NOTED. DISCONTINUE BARS AT CONTROL JOINTS, UNLESS NOTED OTHERWISE.

GENERAL FLOOR PLAN NOTES:

- ALL INTERIOR PARTITION WALLS ARE METAL STUDS @ 16" O.C. WITH 5/8" GWB EACH SIDE (U.N.O.)
- DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECTS ATTENTION IMMEDIATELY
- ALL PIPING, CONDUITS, AND RELATED MECHANICAL AND ELECTRICAL ITEMS SHALL BE CONCEALED WITHIN DRYWALL FURRING AS REQUIRED IN FINISHED AREAS WHETHER SHOWN ON DRAWINGS OR NOT (U.N.O.)
- PROVIDE METAL PLATE BACKING AND/OR TREATED WOOD BLOCKING IN WALLS WHERE WALL-MOUNTED EQUIPMENT IS SHOWN ON PLANS OR ELEVATIONS. VERIFY HEIGHT AND LENGTH WITH ACTUAL EQUIPMENT.
- ALL MECHANICAL EQUIPMENT PADS TO BE 4" HIGH U.N.O. LENGTH AND WIDTH OF PADS TO BE VERIFIED BY CONTRACTOR.
- ALL DIMENSIONS ARE CLEAR FROM THE CENTER OF WALL/PARTITION, TO CENTER OF WALL/PARTITION. SEE PARTITION TYPES FOR ACTUAL THICKNESS OF PARTITIONS. MASONRY WALLS ARE DIMENSIONED TO THE NOMINAL FACE.
- ALL EXTERIOR DIMENSIONS ARE TO THE FACE OF STUD. ALL INTERIOR DIMENSION ARE TO THE CENTER OF THE WALL (U.N.O.)
- PATCH ALL HOLES IN SURFACES WHERE EQUIPMENT HAS BEEN REMOVED OR DEMOLITION HAS OCCURRED. PREPARED SURFACES AS REQUIRED FOR NEW FINISHES. PATCH TO MATCH ADJACENT SURFACE IF NOT SCHEDULED.
- ALL FLOOR OPENINGS AND DEPRESSIONS IN THE WORK SHALL BE FILLED OR CLOSED U.N.O. WITH MATERIALS TO MATCH ADJACENT SURFACES. FINISHES ARE FIRE RATED.

DESIGN TEAM:

ARCHITECTURAL: Wisdeth Smith Nolting & Assoc.
3777 40th St NW, Suite 200
Rochester, MN 55901
Office Phone: (507) 292-8743
Contact: DIANA J. HLEBICHUK
Phone: (507) 206-2135

CIVIL: Wisdeth Smith Nolting & Assoc.
5368 260th St
Wyoming, MN 55902
Office Phone: (651) 464-3130
Contact: FRANK BRODDEEN
Phone: (651) 358-2345

STRUCTURAL: Wisdeth Smith Nolting & Assoc.
610 Fillmore St
Alexandria, MN 56308
Office Phone: (320) 762-8149
Contact: KENT ROHR
Phone: (320) 335-5012

PROJECT NAME: ALL SAFE GLOBAL - FENCE AND YARD EXPANSION PROJECT
PROJECT ADDRESS: 26443 FALLBROOK AVE WYOMING, MN
PROJECT #: 2023-10167

WIDSETH
ARCHITECTS ■ ENGINEERS ■ SCIENTISTS ■ SURVEYORS

REVISIONS		
#	DESCRIPTION	DATE

HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

Kent Rohr
2023-07-20 LIC#: 21179

HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

Diana J. Hlebichuk
2023-07-20 LIC#: 44719

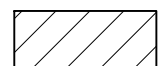


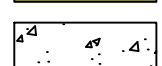
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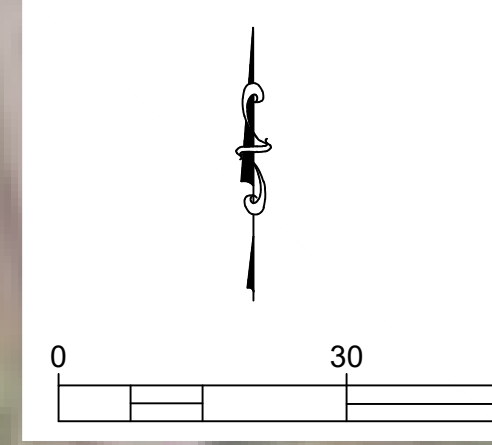
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 WYOMING, MINNESOTA 55092
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 WYOMING, MN 55092
 CONTACT: JONATHON PETERSON
 EMAIL: JPETERSON@ALLSAFE.NET
 PH: (866) 958-3473

LEGEND

-  PROPOSED STORAGE AREA (SEE PLAN FOR DETAILS)
-  PROPOSED OUTDOOR CONTROL AREA (FLAMMABLE STORAGE AREA)
-  PROPOSED FORKLIFT ACCESS AISLE
-  PROPOSED WALKWAY AISLE

NOTES
 SEE ARCHITECTURAL PLANS FOR OUTDOOR STORAGE AREA
 STRUCTURE DETAILS.



WIDSETH
 ARCHITECTS • ENGINEERS • SURVEYORS

DATE:	REVISIONS DESCRIPTION	BY:
11/16/2023	PLANNING COMMISSION CONDITIONS	FEB

DATE:	REVISIONS DESCRIPTION	BY:
SEPTEMBER 2023	AS SHOWN	FEB
SCALE:	DRAWN BY:	TMH
1"=40'	CHECKED BY:	

DATE:	REVISIONS DESCRIPTION	BY:
SEPTEMBER 2023	AS SHOWN	FEB
SCALE:	DRAWN BY:	TMH
1"=40'	CHECKED BY:	

ALL SAFE GLOBAL - FENCE AND YARD EXPANSION PROJECT
 26443 FALLBROOK AVE
 WYOMING, MN
OUTDOOR STORAGE PLAN

SHEET NO.
FIG. 1

SITE: PARID: 21.00054.00
 26443 FALLBROOK AVE
 WYOMING, MINNESOTA 55092
 ZONE: INDUSTRIAL

OWNER: MORGAN INDUSTRIES INC & C/O ALL SAFE INC
 26443 FALLBROOK AVE
 WYOMING, MN 55092
 CONTACT: JONATHON PETERSON
 EMAIL: JPETERSON@ALLSAFE.NET
 PH: (866) 958-3473

CIVIL ENGINEER: WIDSETH (WIDSETH SMITH NOLTING)
 5368 266TH ST
 WYOMING, MN 55092
 CONTACT: FRANK BRODEEN, PE
 EMAIL: FRANK.BRODEEN@WIDSETH.COM
 PH: (651)-358-2345



HALLBERG INC.
 PID: 21.00043.00

HALLBERG INC.
 5311 264TH ST
 WYOMING, MN 55092
 PID: 21.00233.00

HALLBERG INC.
 26327 FALLBROOK AVE
 WYOMING, MN 55092
 PID: 21.00233.00

CAUTION ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND AND OVERHEAD UTILITIES NOT SHOWN ON THE PLAN THAT MAY BE REQUIRED TO BE REMOVED. IT IS THE CONTRACTORS RESPONSIBILITY TO REQUEST A GOPHER STATE ONE CALL PRIOR TO THE START OF ANY CONSTRUCTION AND COORDINATE ALL WORK WITH THE RESPECTIVE UTILITY COMPANIES.

WIDSETH
 ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

DATE	REVISION DESCRIPTION	BY

DATE: OCTOBER 2023
 SCALE: AS SHOWN
 DRAWN BY: FEB
 CHECKED BY: TMH
 JOB NUMBER: 2023-10167

ALL SAFE GLOBAL - FENCE AND YARD EXPANSION PROJECT
 26443 FALLBROOK AVE
 WYOMING, MN
 TRUCK TURNING MOVEMENTS - EXISTING LOADING DOCK

SHEET NO.
FIG. 2